



Stop - Call Before You Dig!
Pennsylvania Act 287 of 1974 as amended by
Act 50 of 2017 73P.S. §176 et. seq. requires
notification by excavators, designers, or any
person preparing to disturb the earth's
surface anywhere in the commonwealth
Pennsylvania One Call System, Inc.
811 or 1-800-242-1776

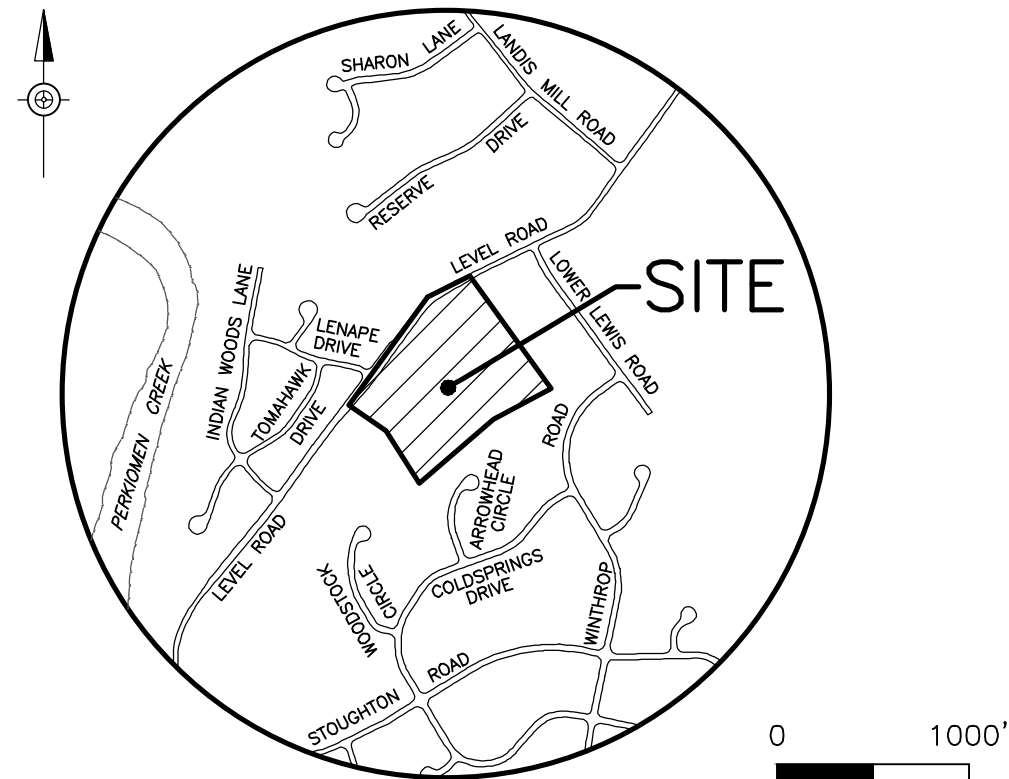
PA ONE CALL UTILITY OWNERS & RESPONSES:

THE FOLLOWING RESPONSES WERE RECEIVED TO PA ONE CALL
SERIAL NO: 20193150797 AT THE FOLLOWING LOCATION: 232 LEVEL ROAD

UTILITY RESPONSE:

AUDUBON WATER COMPANY (YT)
002 - CONFLICT. LINES NEARBY. DIRECT CONTACT TO FOLLOW BY FACILITY OWNER.
COMCAST CABLE (HRA)
001 - CLEAR - NO FACILITIES.
COMCAST CABLE COMMUNICATIONS INC (CS)
001 - CLEAR - NO FACILITIES.
CROWN CASTLE (ASL)
001 - CLEAR - NO FACILITIES.
LOWER PROVIDENCE TOWNSHIP (LPR)
001 - CLEAR - NO FACILITIES.
LOWER PROVIDENCE TWP SEWER AUTH (RW1)
003 FIELD MARKED.
PECO ENERGY (KC)
002 - CONFLICT. LINES NEARBY. DIRECT CONTACT TO FOLLOW BY FACILITY OWNER.
VERIZON PENNSYLVANIA LLC (YI)
999 - DID NOT RESPOND THROUGH PA ONE CALL.

PRELIMINARY & FINAL LAND DEVELOPMENT PLAN FOR
ARROWHEAD ELEMENTARY SCHOOL
LOWER PROVIDENCE TOWNSHIP - MONTGOMERY COUNTY
PENNSYLVANIA



LOCATION MAP

SCALE: 1"=1000'

RECORD OWNER & APPLICANT

METHACTON SCHOOL DISTRICT
TAX PARCEL #43-00-07231-50-2
1001 KRIEBEL ROAD
NORRISTOWN, PA 19403
DBV 3721-510

SITE AREA CALCULATIONS

GROSS LOT AREA 561,063 SF (12.880 AC)
AREA OF LEGAL R.O.W. 14,684 SF
AREA OF ULTIMATE R.O.W. 22,209 SF
NET LOT AREA 524,171 SF (12.033 AC)

SITE SUMMARY

AREA TO TITLE LINE 12.880 ACRES
AREA TO LEGAL R.O.W. 12.543 ACRES
AREA TO ULTIMATE R.O.W. 12.033 ACRES

EXISTING IMPERVIOUS COVERAGES

BUILDING 59,870 SF (1.374 AC)
PAVEMENT 83,920 SF
CONCRETE 13,740 SF
TOTAL 157,530 SF (3.616 AC)

PROPOSED IMPERVIOUS COVERAGES

BUILDING 57,820 SF (1.327 AC)
PAVEMENT 77,830 SF
CONCRETE 14,980 SF
TOTAL 150,630 SF (3.458 AC)

STATEMENT OF USE:

REPLACEMENT OF EXISTING ELEMENTARY SCHOOL BUILDING AND FACILITY WITH A NEW BUILDING, PARKING, AND OTHER RELATED IMPROVEMENTS.

ZONING DATA

ZONING DISTRICT - R2 RESIDENTIAL DISTRICT WITH PUBLIC FACILITIES OPEN SPACE OVERLAY
EXISTING AND PROPOSED USE: ELEMENTARY SCHOOL

	REQUIRED	EXISTING	PROPOSED
MINIMUM TRACT SIZE	1.0 ACRES	12.543 ACRES	12.033 ACRES
MINIMUM STREET FRONTAGE	100 FT	935 FT	925 FT
MINIMUM LOT WIDTH (AT SETBACK LINE)	150 FT	911 FT	911 FT
MINIMUM YARD SETBACKS			
FRONT YARD	40 FT	20 FT	20 FT
SIDE YARD	10 FT/60 FT	20 FT/40 FT	20 FT/40 FT
BACK YARD	50 FT	50 FT	50 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT
MAXIMUM BUILDING COVERAGE	30%	10.95%	11.03%
MAXIMUM IMPERVIOUS COVERAGE	50%	28.83%	28.74%
MINIMUM VEGETATION, TREES OR LANDSCAPE	30%	74.25%	71.26%
MINIMUM DISTANCE BETWEEN BUILDINGS	25 FT	NA	NA
MINIMUM PARKING AREA SETBACKS			
FROM ULTIMATE R.O.W.	25 FT	25 FT	25 FT
FROM BUILDING	15 FT	15 FT	15 FT
FROM PROPERTY LINES	10 FT	10 FT	10 FT

PARKING REQUIREMENTS

REQUIRED EXISTING PROPOSED

MINIMUM STALL SIZE: 9' x 18' VARIES 9'x18'

OFF-STREET PARKING

REQUIRED: 1.75 SPACES PER CLASSROOM
(SCHOOL SHALL DESIGNATE AREA OF LEVEL LAWN OR FIELD FOR OVERFLOW PARKING FOR SPECIAL EVENTS, WHICH SHALL PROVIDE AT LEAST 100 SPACES)

53 CLASS ROOMS X 1.75 SPACES = 92 SPACES

EXISTING CONDITION:
90 SPACES, (2 ADA ACCESSIBLE)

PROPOSED CONDITION:
98 SPACES, (4 ADA ACCESSIBLE), OVERFLOW OF 100 SPACES IS PROVIDED IN OPEN GRASS FIELD AREA

LOWER PROVIDENCE TOWNSHIP PLANNING COMMISSION

I HEREBY CERTIFY THAT THE LOWER PROVIDENCE TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN AND RECOMMENDED APPROVAL OF THIS FINAL SUBDIVISION AND/OR LAND DEVELOPMENT PLAN TO THE BOARD OF SUPERVISORS AT A MEETING HELD ON THE ____ DAY OF ____, 20__.

CHAIRPERSON

LOWER PROVIDENCE TOWNSHIP BOARD OF SUPERVISORS

I HEREBY CERTIFY THAT THIS FINAL SUBDIVISION AND/OR LAND DEVELOPMENT PLAN WAS APPROVED AS TO LAYOUT AND LOCATION BY THE LOWER PROVIDENCE TOWNSHIP BOARD OF SUPERVISORS AT A MEETING HELD ON THE ____ DAY OF ____, 20__.

CHAIRPERSON

TOWNSHIP SECRETARY

RECORDER OF DEEDS

RECORDED THIS ____ DAY OF ____, 20__, IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PENNSYLVANIA IN PLAN BOOK ____, PAGE ____.

RECORDING NOTE:

SHEETS AND OF THIS PLAN SET WILL BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE MONTGOMERY COUNTY RECORDER OF DEEDS OFFICE.

CERTIFICATE OF OWNERSHIP	
METHACTON SCHOOL DISTRICT:	
BY: _____	SIGNATURE
NOTARY ACKNOWLEDGEMENT	
STATE OF PENNSYLVANIA COUNTY OF MONTGOMERY	
ON THIS ____ DAY OF ____, 2020, BEFORE ME THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____, WHO BEING DULY SWORN ACCORDING TO LAW, ACKNOWLEDGED HIMSELF TO BE THE _____ OF THE METHACTON SCHOOL DISTRICT, THE RECORD OWNER FOR THIS LAND DEVELOPMENT PLAN AND THAT HE AS SUCH BEING AUTHORIZED TO DO SO DEPOSES AND SAYS THAT THE PLAN THEREOF WAS MADE AT ITS DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND THAT THEY DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.	
IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.	
NOTARY PUBLIC _____	MY COMMISSION EXPIRES _____

APPLICANT'S ENGINEER'S CERTIFICATION

I, NICHOLAS E. FEOLA, A PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT THE PLAN AND DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LOWER PROVIDENCE TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AND WERE PREPARED BY ME OR UNDER MY DIRECTION FOR WHICH I ACCEPT FULL RESPONSIBILITY.

SIGNATURE _____ DATE _____
PE NO. PE046396E

APPLICANT'S SURVEYOR'S CERTIFICATION

I, MATTHEW D. PROUT, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SIGNATURE _____ DATE _____
PLS LICENSE NO: SU056468

SHEET LIST		
SHEET NO.	DRAWING NO.	SHEET DESCRIPTION
1	TS198043	TITLE SHEET
2	GN198043	GENERAL NOTES
3	EC198043	EXISTING CONDITIONS-DEMOLITION PLAN - PHASE 1 CONSTRUCTION
4	EC198043	EXISTING CONDITIONS-DEMOLITION PLAN - PHASE 2 CONSTRUCTION
5	AE198043	AERIAL SURROUNDING FEATURES PLAN
6	LO198043	LAYOUT PLAN
7	PH198043	PHASING PLAN - PHASE 1 CONSTRUCTION
8	PH298043	PHASING PLAN - PHASE 2 CONSTRUCTION
9	GU198043	GRADING & UTILITY PLAN - PHASE 1 CONSTRUCTION
10	GU298043	GRADING & UTILITY PLAN - PHASE 2 CONSTRUCTION
11	DP198043	STORM & SANITARY SEWER PROFILES
12	LA198043	LANDSCAPE PLAN
13	LI198043	LIGHTING PLAN
14	TT198043	TRUCK TURNING PLAN
15	CD198043	CONSTRUCTION DETAILS - SITE
16	CD298043	CONSTRUCTION DETAILS - ADA & SIGNS
17	CD398043	CONSTRUCTION DETAILS - SANITARY SEWER
18	CD498043	CONSTRUCTION DETAILS - WATER
19	CD598043	CONSTRUCTION DETAILS - LANDSCAPE
20	CD698043	CONSTRUCTION DETAILS - LIGHTING

PLANS TO BE RECORDED

SUPPLEMENTAL DRAWINGS:

SHEET LIST		
SHEET NO.	DRAWING NO.	SHEET DESCRIPTION
1	ES198043	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1 CONSTRUCTION
2	ES298043	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2 CONSTRUCTION
3	ES398043	EROSION AND SEDIMENT CONTROL PLAN
4	ES498043	EROSION AND SEDIMENT CONTROL PLAN
5	ES598043	EROSION AND SEDIMENT CONTROL DETAILS
6	ES698043	EROSION AND SEDIMENT CONTROL DETAILS
7	ES798043	EROSION AND SEDIMENT CONTROL NOTES

SHEET LIST		
SHEET NO.	DRAWING NO.	SHEET DESCRIPTION
1	PC198043	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN - PHASE 1 CONSTRUCTION
2	PC298043	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN - PHASE 2 CONSTRUCTION
3	PC398043	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
4	PC498043	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
5	PC598043	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
6	PC698043	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
7	PC798043	POST CONSTRUCTION STORMWATER MANAGEMENT NOTES

TO BE RECORDED WITH POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) INSTRUMENT FILING NOTICE

NO.	REVISION	DATE	BY

SEAL

MANAGER

NF _____

DESIGN

KK _____

DRAFT

BG _____

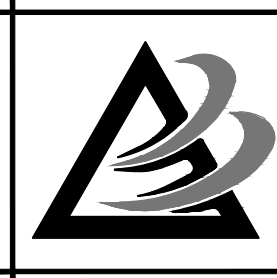
FILE

MET-02 _____

NOTES

SCALE _____

AS NOTED



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT

TITLE SHEET - RECORD PLAN 1 OF 3

ARROWHEAD ELEMENTARY SCHOOL

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

198043-00

SHEET NO.

1 OF 20

DWG. NO.

TS198043

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED ON FIELD SURVEY PERFORMED BY BURSICH ASSOCIATES, INC. IN NOVEMBER, 2019.
2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MIGHT SHOW THAT THE PROPERTY IS SUBJECT TO ADDITIONAL EASEMENTS, RIGHT OF WAYS, OR OTHER RESTRICTIONS OR AGREEMENTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
3. HORIZONTAL DATUM IS BASED ON NAD 83 (PA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE).
4. VERTICAL DATUM IS BASED ON NAVD 88.
5. SITE BENCH MARK: STORM MANHOLE COVER LOCATED 25+/- FEET SOUTH OF UTILITY POLE #915 TOP OF COVER ELEVATION = 243.29 FEET.
6. REFERENCE PLANS:
 - SUBDIVISION PLAN ENTITLED "ARROWHEAD" PREPARED BY BURSICH ASSOCIATES, INC. DATED 2/3/1988, LAST REVISED 5/7/1991, RECORDED AS PLAN BOOK A-52 PAGE 491.
 - SUBDIVISION PLAN ENTITLED "COLDSPRING CROSSING" PREPARED BY YERKES ASSOCIATES, INC. DATED 4/30/1975, RECORDED AS PLAN BOOK A-27 PAGE 96.
 - MINOR SUBDIVISION PLAN ENTITLED "258 LEVEL ROAD" PREPARED BY ALL COUNTY AND ASSOCIATES, INC. DATED 1/8/2007, LAST REVISED 8/12/2009, RECORDED AS PLAN BOOK 35 PAGE 87.
7. A PA ONE CALL WAS PERFORMED FOR DESIGN PURPOSES, SERIAL NUMBER 2019-315-0797.
8. THE PENNSYLVANIA NATURAL DIVERSITY INVENTORY (PNDI) WAS PERFORMED ON FEBRUARY 21, 2020 AND NO ENDANGERED SPECIES WERE INDICATED.
9. THE LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES WERE LOCATED AND FIELD MARKED BY MASTER LOCATORS, ENGAGED BY AND ON BEHALF OF THE OWNER, IN NOVEMBER, 2019. THE MARKOUTS WOULD BE LOCATED BY BURSICH ASSOCIATES, INC. THE LOCATION OF OTHER EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH, OR HORIZONTAL OR VERTICAL LOCATION OF EXISTING UNDERGROUND UTILITIES CANNOT BE GUARANTEED. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION IN ACCORDANCE WITH PENNSYLVANIA ACT 287 AS AMENDED BY ACT 50 2017 "ONE CALL" SYSTEM. NO COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY THEIR WORK.
10. BY GRAPHIC PLOTTING ONLY, THE PREMISES SHOWN HEREON DO NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) 42091C0237G, EFFECTIVE DATE 3/2/2016.
11. A WETLAND INVESTIGATION OF THE SUBJECT SITE WAS CONDUCTED BY SETH BACON SOIL & WETLAND CONSULTING, ON NOVEMBER 21, 2019 WHICH CONCLUDED THAT NO FEDERALLY REGULATED WATERCOURSES OR WETLANDS WERE DEEMED PRESENT.
12. SOILS INFORMATION SHOWN FROM INFORMATION CONTAINED ON THE USDA - NRCS WEB SOIL SURVEY.
13. ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. INSTALLATION OF ALL UTILITIES SHALL BE STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, AUTHORITY, OR OTHER PUBLIC UTILITY CONCERNED.
14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AND BEST MANAGEMENT PRACTICES (BMPs) LOCATED ON THE SITE. NO CHANGES SHALL BE MADE TO THE FACILITIES, PIPES, STRUCTURES, OR FINISHED GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE BOARD OF PENNSYLVANIA AND/OR ANY APPLICABLE GOVERNMENTAL REGULATORY AGENCIES. REPRESENTATIVES OF THE MUNICIPALITY AND/OR OTHER APPLICABLE GOVERNMENTAL AGENCIES SHALL HAVE THE PERMISSION TO ACCESS THE STORMWATER MANAGEMENT FACILITIES THROUGH A BLANKET EASEMENT OVER THE SUBJECT PROPERTY TO ALLOW ENTRY TO PERFORM INSPECTIONS, AND TO ALLOW ENTRY AND EXECUTION OF ALL NECESSARY REPAIRS TO THE FACILITIES SHOULD THE PROPERTY OWNER FAIL TO MAINTAIN THE FACILITIES IN ACCORDANCE WITH THE APPROVED PLAN.
15. PUBLIC WATER SERVICE IS CURRENTLY PROVIDED TO THE PROPERTY BY AUDUBON WATER COMPANY, AND WILL CONTINUE TO BE SERVED IN THE SAME FASHION. ALL WATER FACILITIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS AND ANY OTHER AGENCIES WITH JURISDICTION.
16. PUBLIC SEWER IS CURRENTLY PROVIDED TO THE SITE BY LOWER PROVIDENCE TOWNSHIP SEWER AUTHORITY AND WILL CONTINUE TO BE SERVED IN THE SAME FASHION. ALL SANITARY SEWER FACILITIES AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THEIR STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS AND OTHER AGENCIES WITH JURISDICTION.
17. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE APPLICABLE STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
18. UNLESS NOTED OTHERWISE NO THE PLANS OR IN THE PERMITS GOVERNING THE WORK, ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING APPROPRIATE STANDARDS AND SPECIFICATIONS:
 - A. LOWER PROVIDENCE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND AMENDMENTS.
 - B. PENNDOT PUBLICATION 408 SPECIFICATIONS, LATEST EDITION AND ALL ADDENDA.
19. RETAINING WALLS 4 FEET OR GREATER IN HEIGHT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER SIGNING IN THE COUNCIL OF PENNSYLVANIA CIVIL AND SIGNATURE APPEARING ON THE FINAL DESIGN. CONSTRUCTION DRAWINGS AND SUPPORTING CALCULATIONS SHALL BE PROVIDED TO THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION OF THE WALLS. WALLS IN EXCESS OF 30 INCHES IN HEIGHT REQUIRE A SAFETY FENCE A MINIMUM OF 42 INCHES IN HEIGHT.
20. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING FOOTPRINT DIMENSIONS AND LOCATIONS OF ALL ENTRY/EXIT POINTS AND ELEVATIONS.
21. CONTRACTOR SHALL REFER TO MECHANICAL/ELECTRICAL/PLUMBING DRAWINGS FOR EXACT BUILDING UTILITY SERVICE LOCATIONS, AND SITE ELECTRICAL AND COMMUNICATIONS DESIGN.
22. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND IN CASE OF CONFLICT, TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND PLANS, ETC.
23. ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE MOST CURRENT VERSIONS OF THE MUTCD AND PENNDOT PUBLICATION 236M, "HANDBOOK OF APPROVED SIGNS".
24. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD AND PENNDOT PUBLICATION 111M "TRAFFIC CONTROL - PAVEMENT MARKINGS AND SIGNING STANDARDS".
25. CONTRACTOR SHALL VERIFY THAT ALL RAMPS AND SIDEWALKS MEET ADA REQUIREMENTS AND CODES PRIOR TO POURING OF CONCRETE. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER OF RECORD IMMEDIATELY.
26. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OR BURSICH ASSOCIATES, INC. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADE SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN. ENGINEER RESERVES THE RIGHT TO CORRECT THESE DRAWINGS.
27. DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE HAZARDOUS/UNSATISFACTORY OFF-SITE IN ACCORDANCE WITH REMEDIAL ACTION CODES, ORDINANCES, AND LAWS.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
29. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURE, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT AND SIDEWALKS TO REMAIN AND PROVIDE SAFE WORK AREAS.
30. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCIES OF THE BEGINNING DATE OF CONSTRUCTION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCIES.
31. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS /MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF IDENTIFIED WORK PRIOR TO STARTING CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.

32. BURSICH ASSOCIATES, INC. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS, STANDARDS, CODES, ORDINANCES OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BURSICH ASSOCIATES, INC. REVIEW SHALL NOT BE CONSIDERED AN ENDORSEMENT OF THE CONTRACTOR'S WORK OR A GUARANTEE OF THE CONTRACTOR'S ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BURSICH HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BURSICH SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF THE CONTRACTOR'S WORK OR EQUIPMENT, OR FOR ANY COSTS INCURRED BY THE CONTRACTOR, BURSICH SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
33. NEITHER THE PROFESSIONAL ACTIVITIES OF BURSICH ASSOCIATES, INC. NOR THE PRESENCE OF BURSICH ASSOCIATES, INC. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, THE OBLIGATION TO MAINTAIN THE SAFETY OF THE PROJECT AND THE PERSONNEL ON THE PROJECT. BURSICH ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S PERFORMANCE OF THE PROJECT, INCLUDING PERFORMING, SUPERINTENDING AND COORDINATING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BURSICH ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S PERFORMANCE OF THE PROJECT, INCLUDING CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BURSICH ASSOCIATES, INC. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL MAINTAIN AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

1. STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUNICIPAL, COUNTY, PADEP, AND PENNDOT STANDARDS AND REGULATIONS AS APPLICABLE.
2. WHEN REINFORCED CONCRETE STORM PIPE (RCP) IS SPECIFIED ON THE PLANS, IT SHALL HAVE RUBBER O-RING GASKETS, AND COMPLY WITH ASTM C76 STANDARDS FOR CLASS III WALL B PIPE, UNLESS OTHERWISE NOTED, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS SPECIFIED, IT SHALL BE SMOOTH LINED CORRUGATED PIPE AND CONFORM TO AASHTO M294 AND TYPE S, WITH GASKET FOR SOIL TIGHT JOINT, UNLESS OTHERWISE NOTED, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
4. STORM SEWER INLETS, MANHOLES, HEADWALLS AND ENDWALLS SHALL BE IN ACCORDANCE WITH PENNDOT'S ROADWAY STANDARD CONSTRUCTION DRAWINGS RC-72M, LATEST REVISION AND PUBLICATION 408 SPECIFICATIONS, LATEST REVISION.
5. ALL INLETS SHALL BE FURNISHED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES.
6. STORM SEWER MANHOLES SHALL BE FABRICATED OF REINFORCED CONCRETE EXCEPT WHERE OTHERWISE NOTED. ALL STRUCTURES SHALL BE DESIGNED FOR HS-25 HIGHWAY LOADING.
7. STORM INLETS WHEN SPECIFIED WITH WATER QUALITY INSERTS SHALL BE PROVIDED WITH THE REQUIRED SUMP DEPTH TO INSTALL THE SNOUT OR APPROVED EQUAL HOOD IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
8. PIPE LENGTHS SHOWN ARE COMPUTED FROM THE CENTER OF STRUCTURE TO THE CENTER OF STRUCTURE.
9. GRATE ELEVATIONS FOR INLETS ALONG CURBS ARE COMPUTED TO THE CENTER OF THE INLET AT GUTTERLINE.
10. GRATE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE COMPUTED TO THE CENTER OF THE INLET IN BOTH DIMENSIONS.
11. ALL STORM CONNECTIONS TO EXISTING PIPE TO BE REPLACED SHALL BE RECONNECTED TO THE NEW PIPE WITH A SADDLE TEE OR FITTING.
12. EXISTING INLETS AND STORM SEWERS INDICATED AS FILLED WITH DEBRIS SHALL BE CLEANED AND FLUSHED. NEW INLETS AND STORM SEWERS SHALL BE CHECKED FOR SILT AND DEBRIS AFTER CONSTRUCTION AND FLUSHED/CLEANED IF NECESSARY.

1. SITE GRADING SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS IN THE PLAN SET. REFER TO CONTRACT SPECIFICATIONS FOR EARTHWORK REQUIREMENTS.
2. THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR COMMENCEMENT OF CONSTRUCTION.
3. ALL UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM (PA ONE CALL) TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION, AT NO COST TO THE OWNER.
4. IN THE CASE OF DISCREPANCIES BETWEEN PLANS, THE RECORD PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY.
5. ALL SPOT ELEVATIONS SHOWN ON THE PLANS ARE BOTTOM FACE OF CURB OR TOP OF FINISHED PAVING UNLESS OTHERWISE NOTED.
6. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM THE REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS IS NOT PERMITTED.
7. CONTRACTOR SHALL VERIFY THAT ALL RAMPS AND SIDEWALKS MEET ADA REQUIREMENTS AND CODES PRIOR TO POURING OF CONCRETE. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER OF RECORD IMMEDIATELY.
8. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND IN PAVED AREAS SHALL NOT BE LESS THAN 1%. ALL AREAS MUST DRAIN TO DESIGNED DRAINAGE POINTS. PONDING OR PUDDLES WILL NOT BE PERMITTED.
9. THE TOPS OF ALL EXISTING AND PROPOSED UTILITY FRAMES, COVERS, MANHOLES, INLETS, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED, IF REQUIRED, TO BE FLUSH WITH THE PROPOSED GROUND SURFACE ELEVATIONS.
10. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
11. ALL WORK SHALL BE DONE WITHIN THE PROPERTY BOUNDARY OF THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS. IF IT IS NECESSARY TO WORK BEYOND THESE AREAS, THE CONTRACTOR SHALL ACQUIRE ADEQUATE APPROVAL FROM THE OWNER OF THE PROPERTY ON WHICH IT IS NECESSARY TO WORK.
12. CONTRACTORS SHALL HAVE ALL SUBMITTALS REQUIRED BY OWNER AND/OR THE MUNICIPALITY APPROVED PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
13. CONTRACTOR SHALL PROVIDE LAYOUT, LINE, AND GRADE UNLESS OTHERWISE NOTED.
14. LIMITS OF CURB AND SIDEWALK RECONSTRUCTION IS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATING AND REMOVING CONSTRUCTION TO THE NEAREST EXISTING JUNCTION. MATCH EXISTING SIDEWALK SCORING PATTERN. ALL SIDEWALK CONSTRUCTION SHALL MEET CURRENT ADA REQUIREMENTS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, AT A LEGAL OFF-SITE LOCATION.

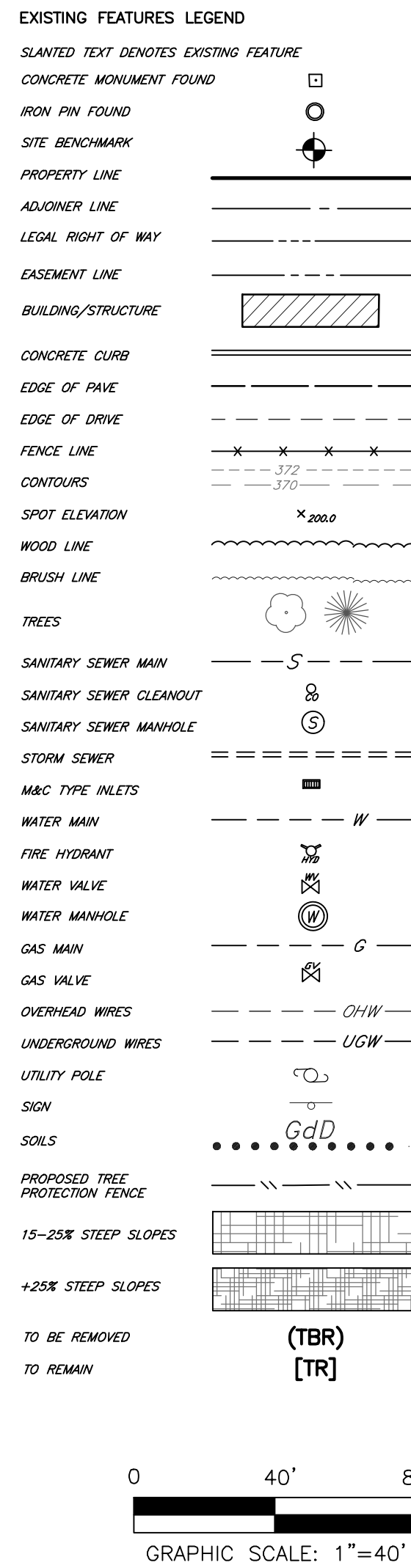
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE NECESSARY, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ABT EXISTING USERS OF THESE UTILITIES.
2. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND DOCUMENTS FOR ALL BUILDING INFORMATION AND UTILITY CONNECTION LOCATIONS TO INCLUDE SANITARY SEWER LATERALS, WATER SERVICES, ELECTRICAL, TELEPHONE, GAS, CABLE SERVICE, ETC.. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IN WRITING.
4. ALL UTILITIES SHALL BE PLACED UNDERGROUND. CONSTRUCTION OF UTILITIES SHALL BE TO THE PROPER STANDARDS OF THE APPLICABLE UTILITY AUTHORITY.
5. ALL UTILITY CROSSEINGS WITH SANITARY SEWERS SHALL HAVE 18-INCHES OF VERTICAL CLEARANCE OR CONCRETE ENCASEMENT SHALL BE PROVIDED (INCLUDING LATERALS AND WATER SERVICE).
6. THERE SHALL BE A FIVE FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY SEWER MAINS AND LATERALS AND LANDSCAPING, TREES, AND SHRUBS.
7. ALL SANITARY SEWER FACILITIES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOWER PROVINCE TOWNSHIP STANDARD SPECIFICATIONS AND DETAILS.
8. ALL WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AUDUBON WATER COMPANY SPECIFICATIONS AND DETAILS.
9. ALL WATER MAINS SHALL BE DOUBLE CEMENT LINED, THICKNESS CLASS 52 DUCTILE IRON PIPE WITH TYTON JOINTS AND WITH TYTON JOINTS, WITH AN INTERNAL SEAL COAT AND EXTERNAL ASPHALT SEAL IN ACCORDANCE WITH AWWA C104. ALL WATER LINE VALVES, FITTINGS, ETC. SHALL BE INSTALLED WITH MECHANICAL JOINTS AND MEGA-LUG RESISTANT GLANDS.
10. ANY SPRINKLER SYSTEM OR STAND PIPE FIRE DEPARTMENT CONNECTION (FDC) LOCATIONS MUST BE APPROVED BY THE APPLICABLE FIRE DEPARTMENT(S).
11. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL EXISTING ACTIVE UTILITIES THAT ARE NOT BEING REMOVED OR RELOCATED DURING CONSTRUCTION.
12. ALL BUILDINGS SHALL BE KNX BOX EQUIPPED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE IN EFFECT FOR THE JURISDICTION.
13. ALL UTILITIES SHOULD BE KEPT 10 FEET APART HORIZONTALLY OR WHEN CROSSING, 18-INCHES VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE). A MINIMUM OF 18-INCHES SHALL BE MAINTAINED BETWEEN VERTICALLY BETWEEN SANITARY SEWER AND STORM SEWER OR WATER LINES. IF THE MINIMUM CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASEMENT SHALL BE PROVIDED.
14. CLEAUNOUTS AND CURB BOXES WITHIN PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.
15. THE BARREL OF ALL FIRE HYDRANTS SHALL BE SET PERPENDICULAR TO THE GROUND WITH THE LOWEST DISCHARGE OUTLET AT 15-INCHES FROM THE FINISHED GRADE. LARGE HYDRANT OUTLETS SHOULD FACE THE STREET OR ROAD TOWARD THE PUMP.
16. NO STRUCTURES SHALL BE PLACED WITHIN UTILITY EASEMENTS, EXCEPT STRUCTURES ASSOCIATED WITH THE UTILITIES.
17. ALL GAS WORK AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL GUIDELINES AND REQUIREMENTS.
18. ALL ELECTRICAL WORK AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL GUIDELINES AND REQUIREMENTS.
19. REFER TO ELECTRICAL PLANS FOR ALL SITE ELECTRICAL LAYOUT AND DETAILS.
20. REFER TO COMMUNICATIONS PLANS FOR ALL SITE COMMUNICATION LAYOUT AND DETAILS.

1. ALL DEMOLITION MAY BEGIN UPON RECEIPT OF ALL NECESSARY APPROVALS AND PERMITS FROM APPLICABLE FEDERAL, STATE, AND LOCAL REGULATORY AGENCIES. ALL DEMOLITION SHALL BE PERFORMED BY A QUALIFIED, LICENSED CONTRACTOR IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. WITH DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
2. CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PER ACT 287, AS AMENDED, NOT LESS THAN THREE DAYS NOR MORE THAN TEN WORKING DAYS BEFORE COMMENCING DEMOLITION.
3. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHOD AND MEANS ARE TO BE ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ANY AREA FOR BOTH VEHICULAR AND PEDESTRIAN TRAFFIC BE SAFE, CLEAN, AND ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR UTILIZING APPLICABLE EROSION CONTROL MEASURES PRIOR TO AND DURING DEMOLITION. REFER TO THE EROSION & SEDIMENT CONTROL PLAN SHEETS FOR EROSION AND SEDIMENT CONTROL PROCEDURES.
6. THE CONTRACTOR SHALL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS THAT COULD ADVERSELY IMPACT WATER QUALITY. DEMOLITION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIAL, CONCRETE WASTE WATER, SANITARY WASTES, ETC. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSE KEEPING MATERIAL MANAGEMENT AND LITTER CONTROL. WHENEVER ANYTHING OF EXHAUSTION OF EXISTING MATERIALS, STRUCTURES, OR UTILITIES IS TO BE DISPOSED, DIRECT ALL PUMP DISCHARGES RESULTING FROM DEMATERING OPERATIONS TO A SUITABLE FILTERING DRAIN IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
7. SAFETY DEVICES (I.E. BARRICADES, WARNING TAPE, CHAIN LINK FENCING, ETC.) SHALL BE USED DURING DEMOLITION TO ENSURE THE SAFETY OF THE SURROUNDING PUBLIC.
8. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY AND ALL DEBRIS THAT MAY FALL ON THE ROADWAY OR SIDEWALKS, AND/OR MAY BE TRACKED ON THE ROADWAY OR SIDEWALKS.
9. ALL STRUCTURES, CONCRETE FOUNDATIONS AND FOOTINGS, PAVEMENT, SUBBASE AND MISCELLANEOUS ITEMS SHALL BE REMOVED. EXISTING SIDEWALKS AND DRIVEWAYS SHALL BE REMOVED. THE OPEN EXCAVATION AS A RESULT OF DEMOLITION WORK (I.E. FOUNDATIONS, BASEMENTS, TRENCHES, MANHOLES, INLETS, CULVERTS, AND UTILITY PIPING) SHALL BE BACKFILLED TO SURROUNDING GRADE LEVEL IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AFTER DEMOLITION IS COMPLETE.
10. ALL UTILITIES TO BE REMOVED SHALL BE CAPPED AND SEALED AS DIRECTED AND/OR REQUIRED BY THE UTILITY OWNER. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES ON SITE TO BE REMOVED. REFER TO ANY STAGING PLANS FOR TEMPORARY UTILITY CONNECTIONS.
11. UTILITY REMOVALS/ABANDONMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - A. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TAKE APPROPRIATE STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THE PLANS. THIS INFORMATION IS FOR INFORMATION ONLY. THE CONTRACTOR, FOR HIS CONVENIENCE ONLY, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF THE UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY AND OBLIGATION OF THE CONTRACTOR TO REPAIR AND/OR REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
 - B. CONTRACTOR TO NOTIFY APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL/ABANDONMENT OF SUCH UTILITY.
 - C. REMOVAL/ABANDONMENT OF PRIVATE UTILITY COMPANY SERVICES TO BE IN ACCORDANCE WITH EACH RESPECTIVE UTILITY COMPANY STANDARD SPECIFICATIONS AND REQUIREMENTS OR THE FOLLOWING PROCEDURE, WHICHEVER IS MORE RESTRICTIVE:
 - D. ALL PIPES TO BE ABANDONED SHALL EITHER BE EXCAVATED, REMOVED, AND THE APPROVED TRENCH BACKFILLED WITH FLOWABLE FILL OR ALTERNATE MATERIAL APPROVED BY THE CONTRACTOR AND THE GEOTECHNICAL ENGINEER OF RECORD, OR PIPE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL/SAND AND THE ENDS SEALED WITH WATERTIGHT GROUT.
 - E. ALL STRUCTURES TO BE ABANDONED IN PLACE SHALL HAVE AT MINIMUM THE FIRST 5 FEET BELOW PROPOSED GRADE EXCAVATED AND THE REMAINING STRUCTURE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL, CAPPED WITH A WATERTIGHT CONCRETE COVER AND SEALED WITH WATERTIGHT GROUT. WHERE SITE GRADING NECESSITATES STRUCTURE REMOVAL, THE ASSOCIATED PIPES SHALL BE FILLED WITH FLOWABLE FILL AND THE ENDS SEALED WITH WATERTIGHT GROUT. THE CONTRACTOR SHALL FIELD DRAINAGE OF THE FLOW TRENCH TO THE ADJACENT SIDEWALK OR DRIVEWAY. THE CONTRACTOR SHALL FIELD DRAINAGE ON ANY ADJACENT ROADWAY OR PROPERTY.
12. PRIOR TO STARTING ANY CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE, FIELD VERIFY, AND EXCAVATE TEST HOLES AS NECESSARY TO DETERMINE ACTUAL LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES WHERE PROPOSED UTILITIES, STRUCTURES OR OTHER WORK WILL CROSS EXISTING UTILITIES OR STRUCTURES. ANY DISCREPANCIES OR CONFLICTS BETWEEN EXISTING UTILITIES AND APPURTENANCES AND PROPOSED WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH ANY WORK. PREPARE AND PROVIDE A SKETCH TO THE ENGINEER LEGIBLY RECORDING TYPE AND SIZE OF UNDERGROUND UTILITIES AND APPURTENANCES AND MEASURED HORIZONTAL AND VERTICAL LOCATIONS REFERENCED TO PERMANENT SITE IMPROVEMENTS.
13. TREES TO BE REMOVED SHALL INCLUDE THE REMOVAL OF AND DISPOSAL OF TREES AND STUMPS.

1. TRAFFIC CONTROL SIGNS SHALL BE POSTED ON PENNDOT APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE TC-87000 SERIES IN PENNDOT PUBLICATION 111M.
2. ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE 2009 MUTCD AND THE MOST RECENT VERSION OF PENNDOT PUBLICATION 236M "HANDBOOK OF APPROVED SIGNS".
3. ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING STANDARDS:
 - A. PENNDOT DESIGN MANUAL 2, CHAPTER 6
 - B. PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M, RC-67M.
 - C. U.S. ACCESS BOARD, PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROG AW) AND ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAA).
4. ALL ADA ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT VERSION OF PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M, RC-67M, AND PENNDOT DESIGN MANUAL, CHAPTER 6.

[illegible]

LaB - LANSDALE LOAM, 3 TO 8 PERCENT SLOPES
PiB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES
ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES
UrYb - URBAN LAND-READINGTON COMPLEX, 0 TO 8 PERCENT SLOPES
Uusd - URBAN LAND-UDORTHERTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



0 40' 80'



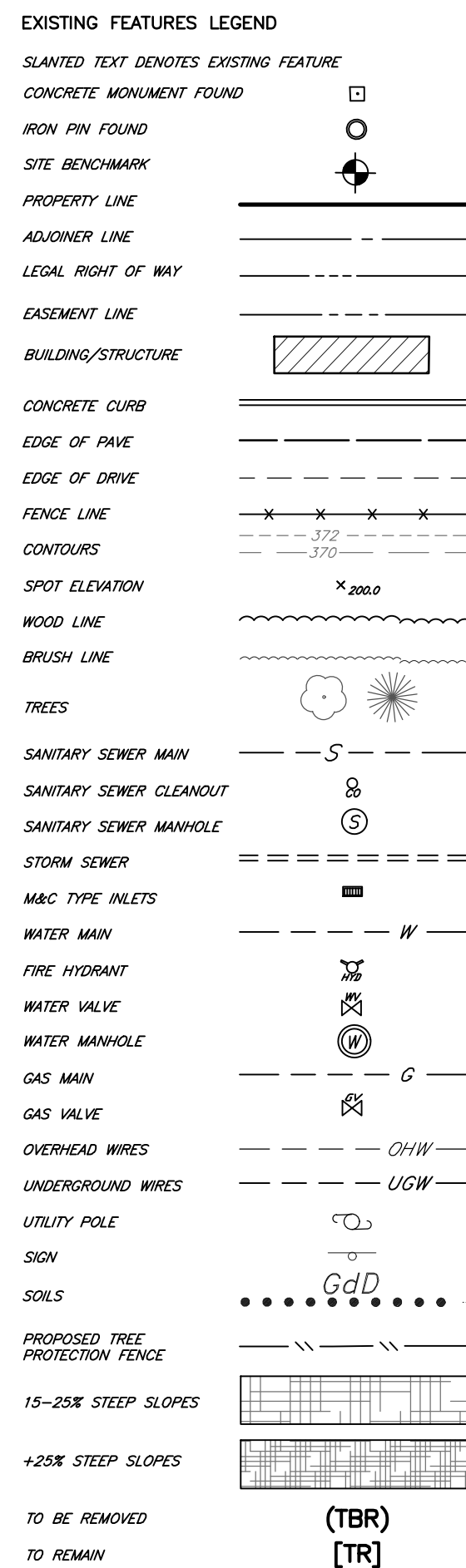
GRAPHIC SCALE: 1"=40'

[illegible]

© COPYRIGHT BURSICH ASSOCIATES, INC., 2020
ALL REPORTS, INCLUDING STATEMENTS, COMMENTS, DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND THEREFORE SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS. THE COPYRIGHT HERETO, ANY USE, REUSE OR MODIFICATION/ALTERNATION AND REPRODUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION/ALTERNATION BY ANYONE WITHOUT WRITTEN CONSENT SHALL BE DEEMED AN AGREEMENT BETWEEN THE USER AND BURSICH ASSOCIATES, INC. WHICH SHALL INDEMNIFY AND SAVE HARMLESS BURSICH ASSOCIATES, INC.

P:\MET-02\198043-00\dwg\LD Plan\EC198043.dwg, 3/16/2020 10:35:47 AM

LaB = LANSDALE LOAM, 3 TO 8 PERCENT SLOPES
PiB = PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES
ReB = READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES
UryB = URBAN LAND-READINGTON COMPLEX, 0 TO 8 PERCENT SLOPES
UusD = URBAN LAND-UORDORTHERS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES

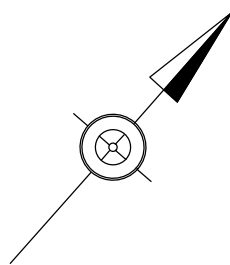


0 40' 80'

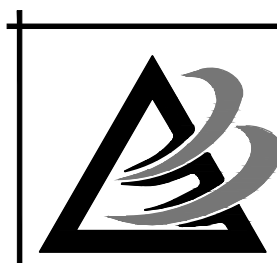


GRAPHIC SCALE: 1"=40'

NO.	REVISION	DATE	BY



SEAL	MANAGER NF _____	
	DESIGN KK	CHKD. BY
	DRAFT BG	CHKD. BY
	FILE MET-02	DATE 3/13/20
	NOTES	SCALE 1"=40'



BURSICH
ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19646
610.323.4040

www.bursich.com

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT

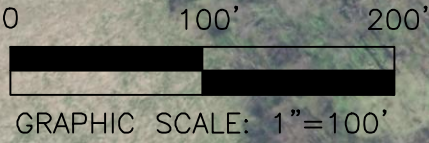
EXISTING CONDITIONS—DEMOLITION PLAN

PHASE 2 CONSTRUCTION

ARROWHEAD ELEMENTARY
SCHOOL

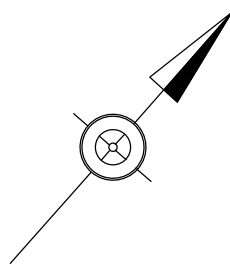
LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

DWG. NO.
FC298043



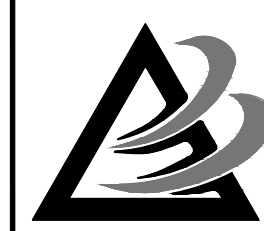
© COPYRIGHT BURSICH ASSOCIATES, INC. 2020
ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. ANY USE, REUSE, OR MODIFICATION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE PROHIBITED AND SHALL INURE TO THE BENEFIT OF BURSICH ASSOCIATES, INC. WITHOUT LIMITATION OF REMEDY.

NO.	REVISION	DATE	BY



SEAL

MANAGER NF	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MET-02	DATE 3/13/20
NOTES	SCALE 1"=100'



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

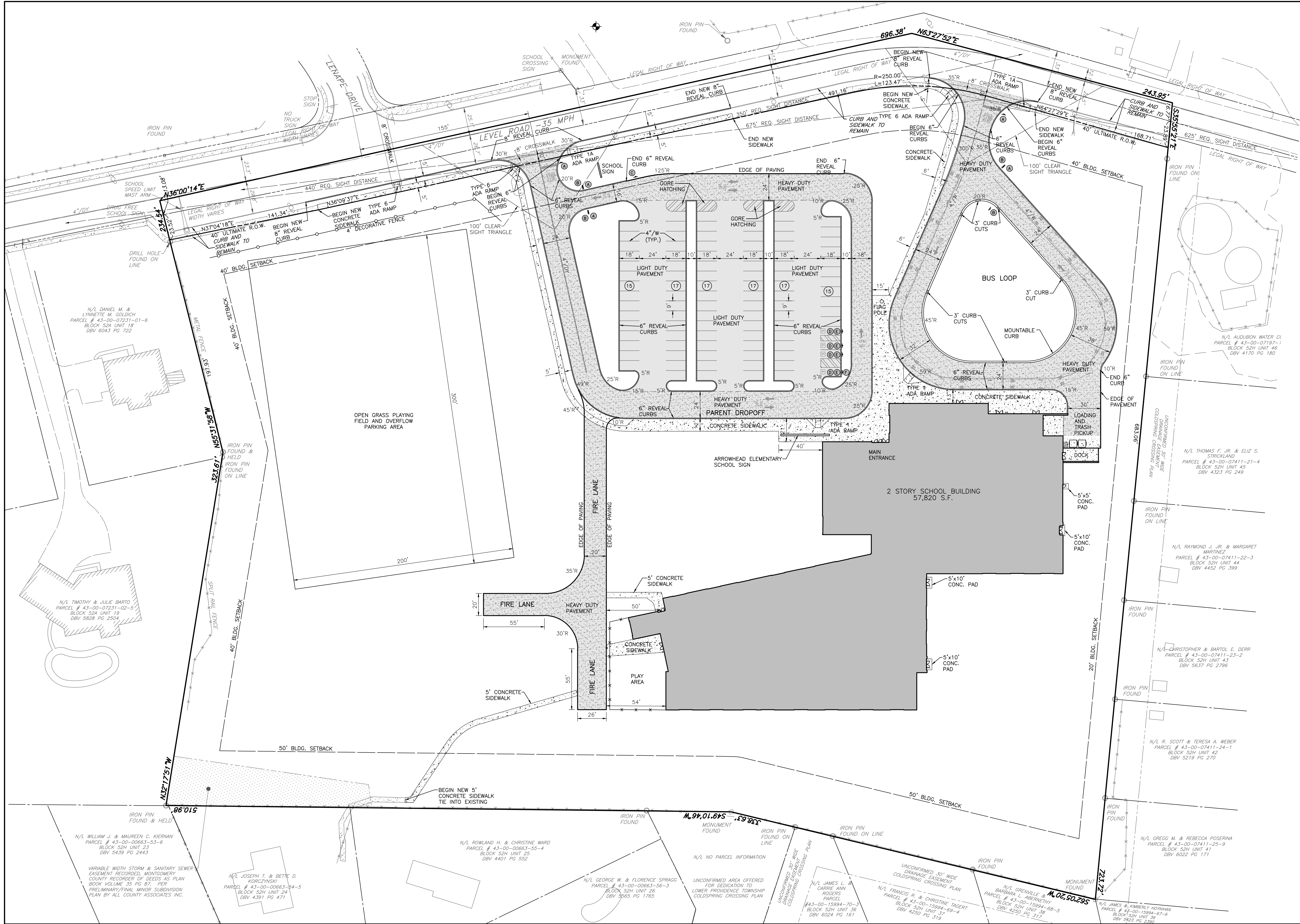
SUBJECT
AERIAL SURROUNDING FEATURES PLAN

**ARROWHEAD ELEMENTARY
SCHOOL**

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.	198043-00
SHEET NO.	5 OF 20
DWG. NO.	AE198043

© COPYRIGHT BURSICH ASSOCIATES, INC. 2020
INSTRUMENTS PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. ANY REUSE OR MODIFICATION OF ANY INSTRUMENT PREPARED BY BURSICH ASSOCIATES, INC. WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BURSICH ASSOCIATES, INC. FOR ANY DAMAGE, LOSS, OR INJURY ARISING FROM THE USE THEREOF.



PAVEMENT MARKINGS

EXISTING LEGEND

4" SOLID WHITE LINE
4" SOLID DOUBLE YELLOW LINE
SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

4" SOLID WHITE LINE
4" DOUBLE YELLOW LINE
24" SOLID WHITE LINE
VERTICAL TEXT DENOTES PROPOSED FEATURE

PAVEMENT MARKING NOTE:

- ALL PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE PENNDOT PUBLICATION 408 SPECIFICATIONS, LATEST EDITION.
- PAVEMENT MARKINGS TO BE LATEX, WATERBORNE EMULSION, LEAD AND CHROMATE FREE, READY MIXED, COMPLYING WITH FS TT-9-1952, TYPE II, WITH DRYING TIME OF LESS THAN 45 MINUTES, AS DESCRIBED IN PENNDOT PUB. 408, SECTION 964, OR HOT THERMOPLASTIC PAVEMENT MARKINGS, AS DESCRIBED IN PENNDOT PUB. 408, SECTION 960, MATERIALS AS PER BULLETIN 15.

EXISTING FEATURES LEGEND

SLANTED TEXT DENOTES EXISTING FEATURE

CONCRETE MONUMENT FOUND
IRON PIN FOUND
SITE BENCHMARK
PROPERTY LINE
ADJOINER LINE
LEGAL RIGHT OF WAY
EASEMENT LINE
BUILDING/STRUCTURE
CONCRETE CURB
EDGE OF PAVE
EDGE OF DRIVE
PROPOSED LEGEND
VERTICAL TEXT DENOTES PROPOSED FEATURE
BUILDING
CURB
DEPRESSED CURB
EDGE OF PAVING
FENCE
ADA DETECTABLE WARNING STRIP
SIGN

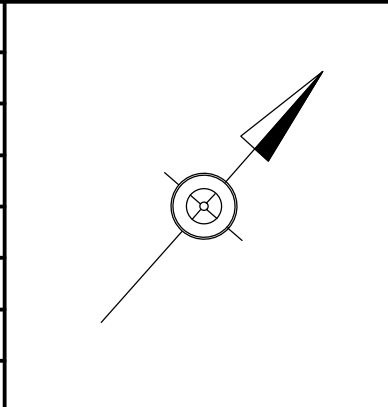
SIGN LEGEND

PLAN LABEL	DESCRIPTION	SERIES	SIZE
(A)	STOP	R1-1	30"x30"
(B)	DO NOT ENTER	R5-1	30"x30"
(C)	ONE WAY	R6-1L	36"x12"
(D)	ADA PARKING SIGN	R7-B	12"x18"
(E)	PENALTY SIGN	R7-BF	12"x18"
(F)	VAN ACCESSIBLE	R7-8P	12"x6"

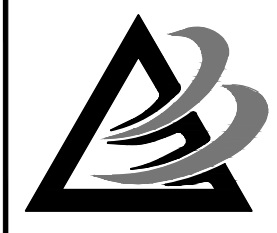
- NOTES:
- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE PENNDOT HANDBOOK OF APPROVED SIGNS, PUBLICATION 236, LATEST EDITION.
 - ALL SIGNS TO BE MOUNTED ON A PENNDOT TYPE B BREAKAWAY POST, UNLESS OTHERWISE NOTED.

0 40' 80'
GRAPHIC SCALE: 1"=40'

NO.	REVISION	DATE	BY



SEAL	MANAGER NF
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MET-02	DATE 3/13/20
NOTES	SCALE 1"=40'



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT
METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT
LAYOUT PLAN - RECORD PLAN 3 OF 3
ARROWHEAD ELEMENTARY SCHOOL
LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.
198043-00

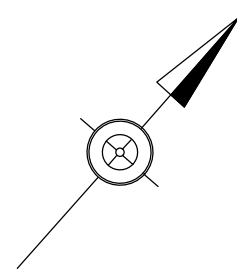
SHEET NO.
6 OF 20

DWG. NO.
LO198043

© COPYRIGHT BURSICH ASSOCIATES, INC. 2020
INSTRUMENTS PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING THE COPYRIGHT HEREIN, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. ANY USE, REUSE OR MODIFICATION, ALTERATION AND REPRODUCTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED.

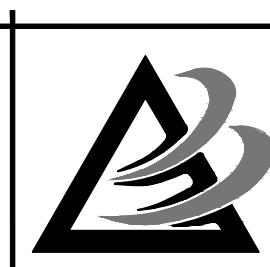
VARIABLE WIDTH STORM & SANITARY SEWER
EASEMENT RECORDED, MONTGOMERY
COUNTY RECORDER OF DEEDS AS PLAN
20K VOLUME 35 PG 87 PER
"CLIMINARY/FINAL MINOR SUBDIVISION
"N BY ALL COUNTY ASSOCIATES INC.

NO.	REVISION	DATE	BY



SEAL

MANAGER	NF
DESIGN	KK
CHKD. BY	
DRAFT	BG
CHKD. BY	
FILE	MET-02
DATE	3/13/20
NOTES	SCALE
	1"=40'



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT

PHASING PLAN - PHASE 1 CONSTRUCTION

**ARROWHEAD ELEMENTARY
SCHOOL**

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

198043-00

SHEET NO.

7 OF 20

DWG. NO.

PH198043

PHASE 1
PHASE 1 CONSISTS OF LIMITED DEMOLITION AND CONSTRUCTION OF THE NEW SCHOOL BUILDING. PROVIDE TEMPORARY UTILITY CONNECTIONS TO EXISTING SCHOOL THAT ARE DISRUPTED TO CONSTRUCT THE NEW SCHOOL. THE BUS LOOP AREA WILL SERVE AS THE CONSTRUCTION LAYDOWN AREA.

THE EXISTING SCHOOL IS TO REMAIN IN SERVICE DURING THE NEW SCHOOL CONSTRUCTION.

SEE GRADING AND UTILITY PLANS FOR FURTHER PHASING INFORMATION.

EXISTING FEATURES LEGEND

SLANTED TEXT DENOTES EXISTING FEATURE

CONCRETE MONUMENT FOUND

IRON PIN FOUND

SITE BENCHMARK

PROPERTY LINE

ADJOINER LINE

LEGAL RIGHT OF WAY

EASEMENT LINE

BUILDING/STRUCTURE

CONCRETE CURB

EDGE OF PAVE

EDGE OF DRIVE

PROPOSED LEGEND

VERTICAL TEXT DENOTES PROPOSED FEATURE

BUILDING

CURB

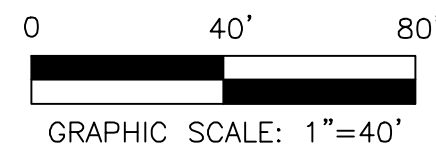
DEPRESSED CURB

EDGE OF PAVING

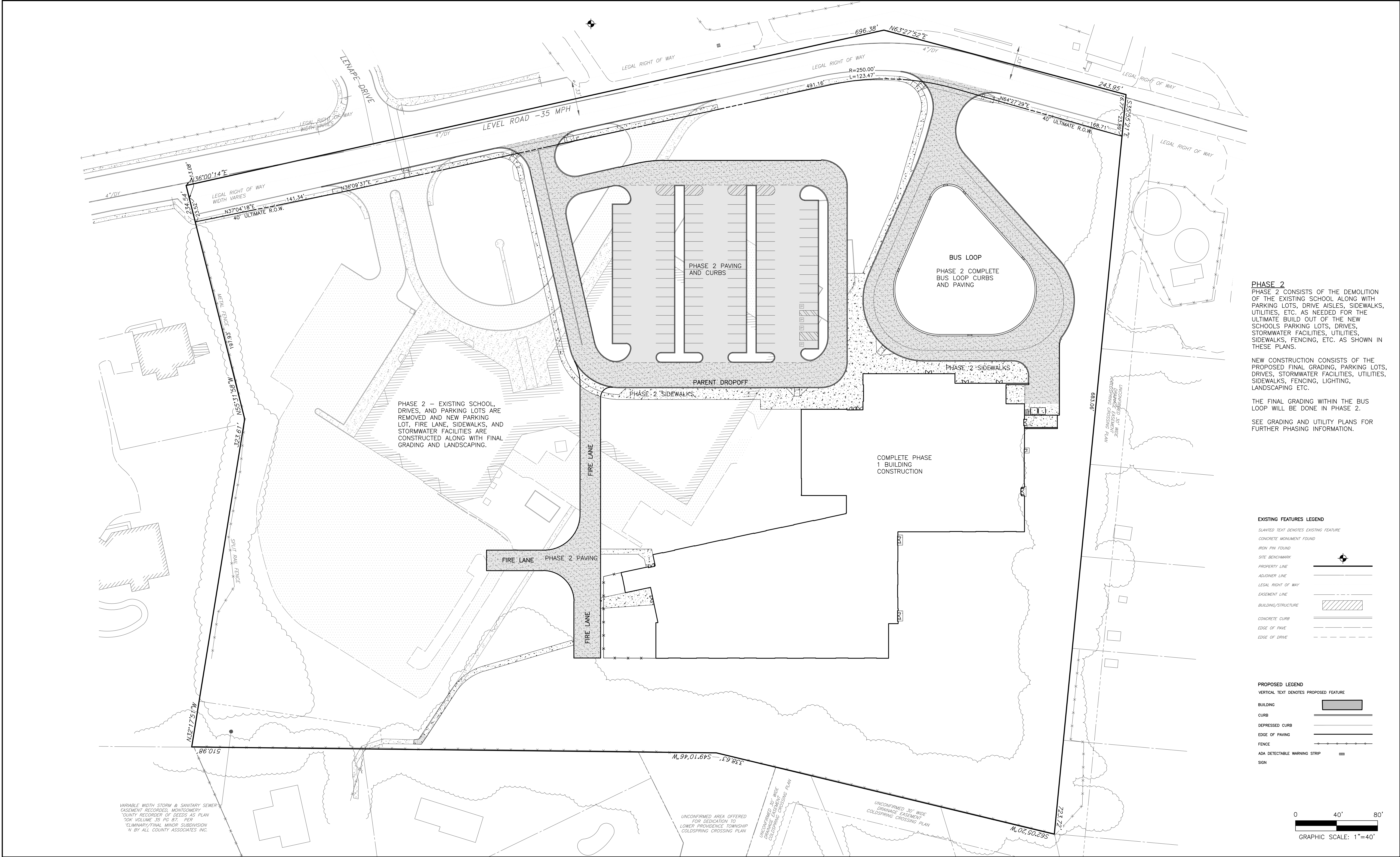
FENCE

ADA DETECTABLE WARNING STRIP

SIGN



© COPYRIGHT BURSICH ASSOCIATES, INC. 2020
INSTRUMENTS PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING THE COPYRIGHT HEREIN, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR REPRODUCTION OF THIS INSTRUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BURSICH ASSOCIATES, INC. THE USER AND BURSICH ASSOCIATES, INC. SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE USE THEREOF.



PHASE 2
PHASE 2 CONSISTS OF THE DEMOLITION OF THE EXISTING SCHOOL ALONG WITH PARKING LOTS, DRIVE AISLES, SIDEWALKS, UTILITIES, ETC. AS NEEDED FOR THE ULTIMATE BUILD OUT OF THE NEW SCHOOLS PARKING LOTS, DRIVES, STORMWATER FACILITIES, UTILITIES, SIDEWALKS, FENCING, ETC. AS SHOWN IN THESE PLANS.

NEW CONSTRUCTION CONSISTS OF THE PROPOSED FINAL GRADING, PARKING LOTS, DRIVES, STORMWATER FACILITIES, UTILITIES, SIDEWALKS, FENCING, LIGHTING, LANDSCAPING ETC.

THE FINAL GRADING WITHIN THE BUS LOOP WILL BE DONE IN PHASE 2.

SEE GRADING AND UTILITY PLANS FOR FURTHER PHASING INFORMATION.

EXISTING FEATURES LEGEND

SLANTED TEXT DENOTES EXISTING FEATURE

CONCRETE MONUMENT FOUND

IRON PIN FOUND

SITE BENCHMARK

PROPERTY LINE

ADJOINER LINE

LEGAL RIGHT OF WAY

EASEMENT LINE

BUILDING/STRUCTURE

CONCRETE CURB

EDGE OF PAVE

EDGE OF DRIVE

PROPOSED LEGEND

VERTICAL TEXT DENOTES PROPOSED FEATURE

BUILDING

CURB

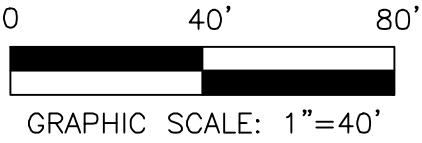
DEPRESSED CURB

EDGE OF PAVING

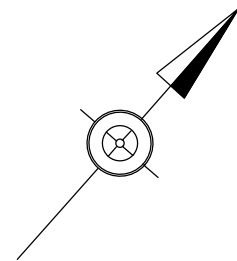
FENCE

ADA DETECTABLE WARNING STRIP

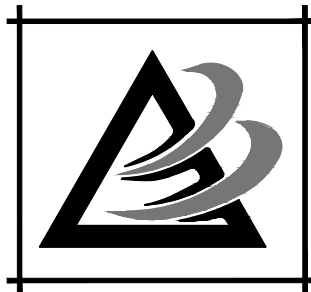
SIGN



NO.	REVISION	DATE	BY



SEAL	MANAGER NF
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MET-02	DATE 3/13/20
NOTES	SCALE 1"=40'



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT
METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT
PHASING PLAN - PHASE 2 CONSTRUCTION
ARROWHEAD ELEMENTARY SCHOOL
LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.
198043-00

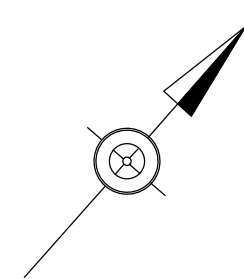
SHEET NO.
8 OF 20

DWG. NO.
PH298043

© COPYRIGHT BURSICH ASSOCIATES, INC., 2020
INSTRUMENT PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. ANY USE, REUSE OR MODIFICATION, ALTERATION AND REPRODUCTION OF THIS INSTRUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION OF THIS INSTRUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BURSICH ASSOCIATES, INC. FOR ANY DAMAGES, LOSSES AND EXPENSES ARISING FROM THE USE THEREOF.

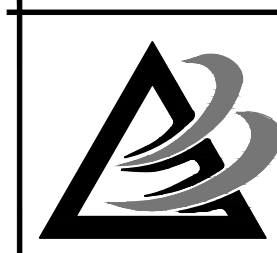
NO. 10. REVISION. DATE. BY.

P:\MET-02\198043-00\dwg\LD_Plan\GU198043.dwg, 3/16/2020 10:37:15 AM



SEAL

MANAGER	
NF	
DESIGN	CHKD. BY
KK	
DRAFT	CHKD. BY
BG	
FILE	DATE
MET-02	3/13/20
NOTES	SCALE
	1"=40'



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.233.4040

www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT

GRADING & UTILITY PLAN - PHASE 1 CONSTRUCTION

ARROWHEAD ELEMENTARY SCHOOL

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

198043-00

SHEET NO.

9 OF 20

DWG. NO.

GU198043

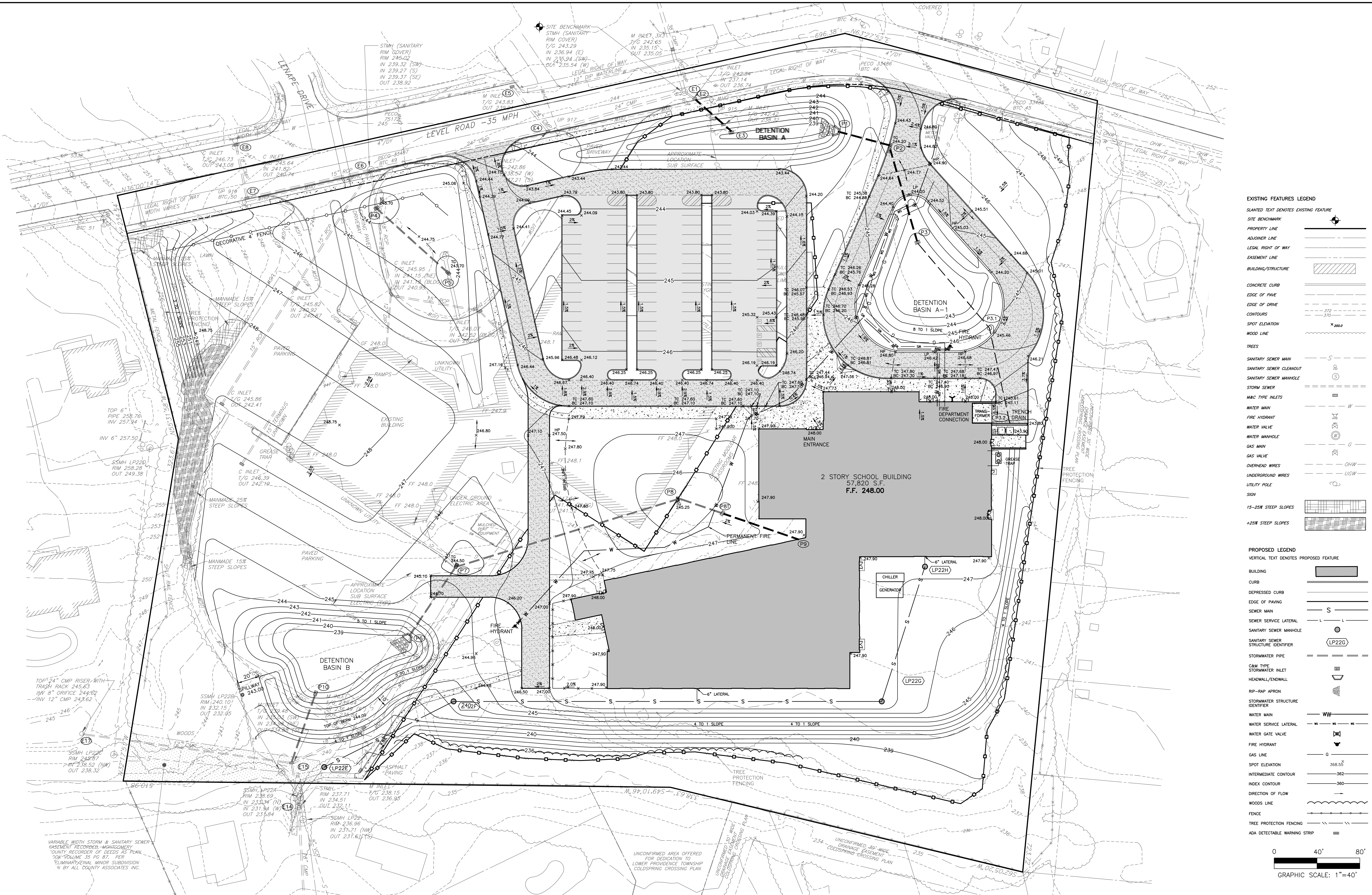
EXISTING FEATURES LEGEND

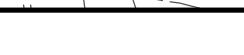
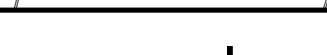
- SLANTED TEXT DENOTES EXISTING FEATURE
- SITE BENCHMARK
- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- EASEMENT LINE
- BUILDING/STRUCTURE
- CONCRETE CURB
- EDGE OF PAVE
- EDGE OF DRIVE
- CONTOURS
- SPOT ELEVATION
- WOOD LINE
- TREES
- SANITARY SEWER MAIN
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- STORM SEWER
- M&C TYPE INLETS
- WATER MAIN
- FIRE HYDRANT
- WATER VALVE
- WATER MANHOLE
- GAS MAIN
- GAS VALVE
- OVERHEAD WIRES
- UNDERGROUND WIRES
- UTILITY POLE
- SIGN
- 15-25% STEEP SLOPES
- +25% STEEP SLOPES

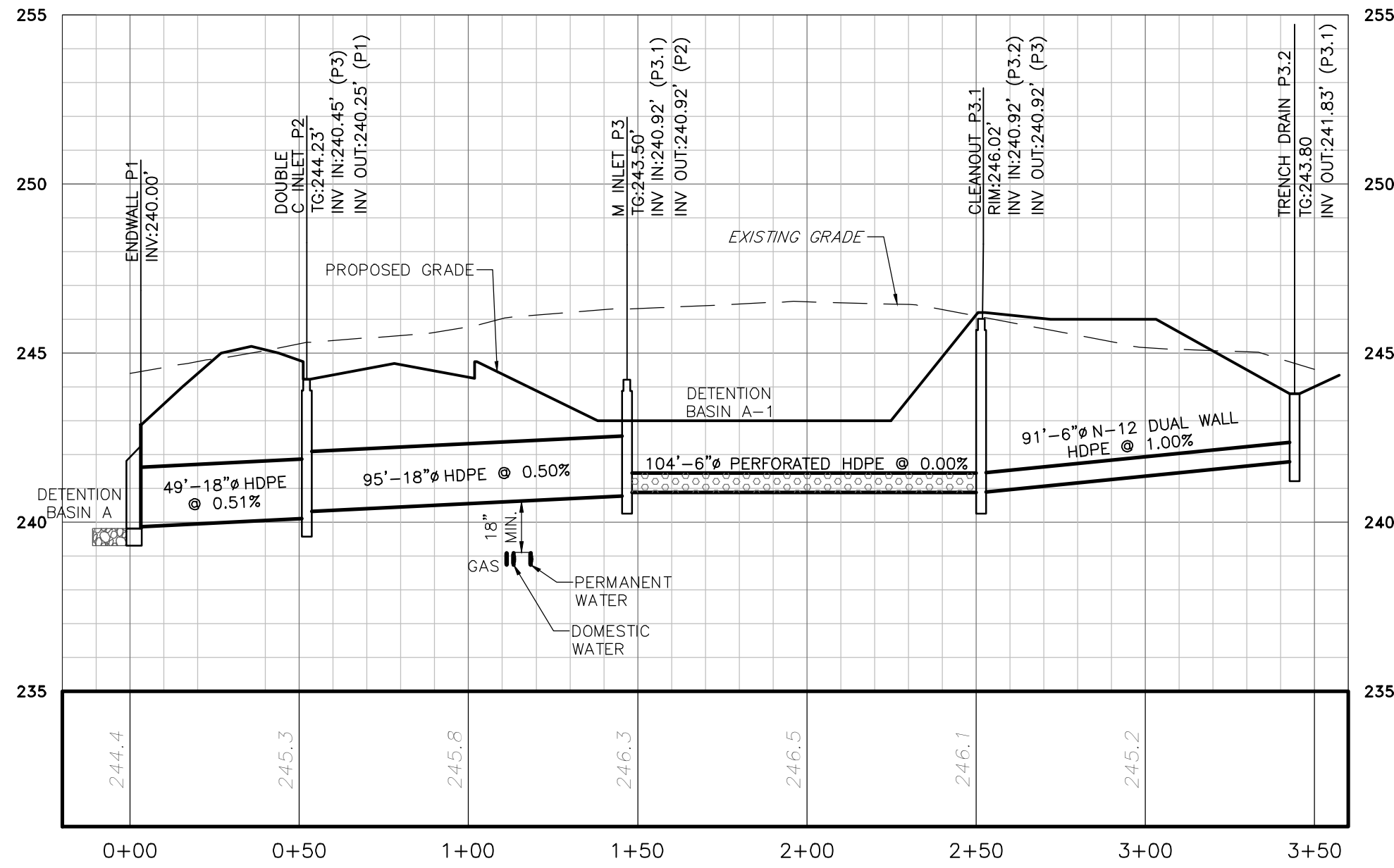
PROPOSED LEGEND

- VERTICAL TEXT DENOTES PROPOSED FEATURE
- BUILDING
- CURB
- DEPRESSED CURB
- EDGE OF PAVING
- SEWER MAIN
- SEWER SERVICE LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER STRUCTURE IDENTIFIER
- STORMWATER PIPE
- C&M TYPE STORMWATER INLET
- HEADWALL/ENDWALL
- RIP-RAP APRON
- STORMWATER STRUCTURE IDENTIFIER
- WATER MAIN
- WATER SERVICE LATERAL
- WATER GATE VALVE
- FIRE HYDRANT
- GAS LINE
- SPOT ELEVATION
- INTERMEDIATE CONTOUR
- INDEX CONTOUR
- DIRECTION OF FLOW
- WOODS LINE
- FENCE
- TREE PROTECTION FENCING
- ADA DETECTABLE WARNING STRIP

0 40' 80'
GRAPHIC SCALE: 1"=40'

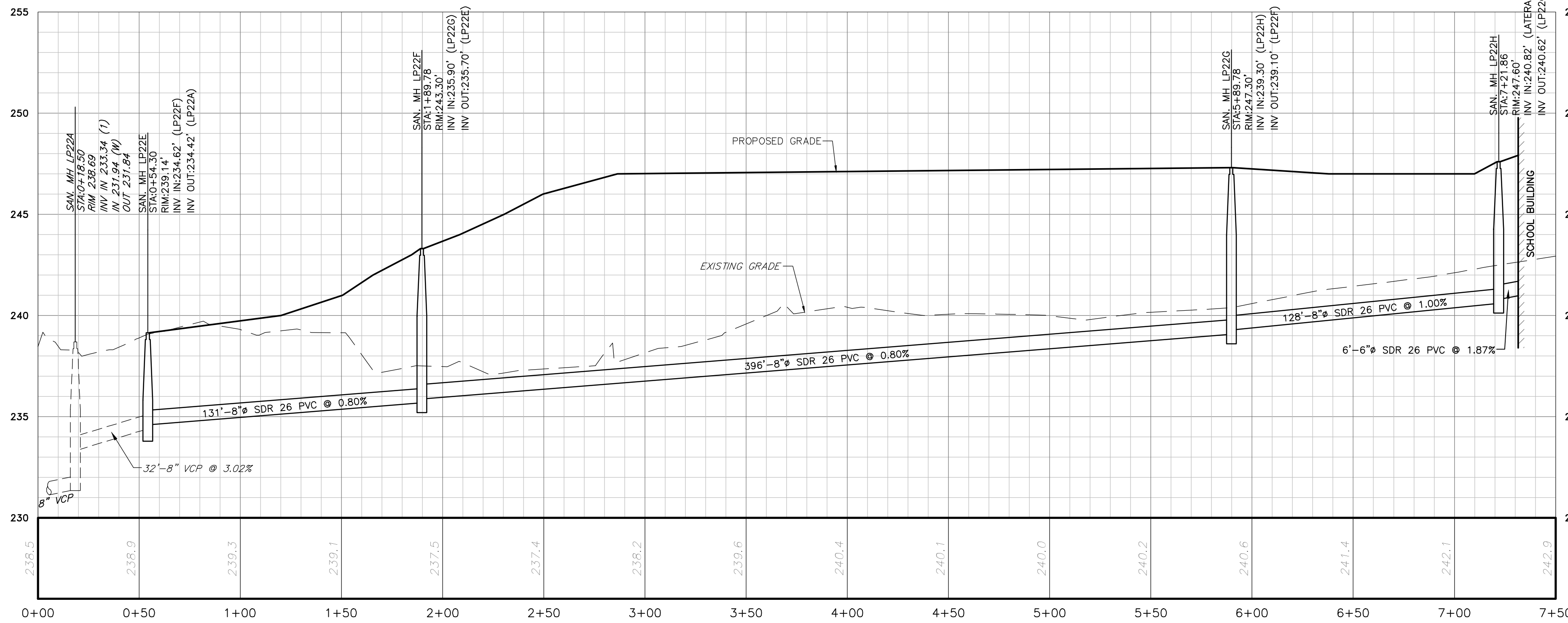


					SEAL	<table><tr><td colspan="2">MANAGER</td></tr><tr><td>NF</td><td>_____</td></tr></table>	MANAGER		NF	_____	 BURSICH ASSOCIATES ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS 2129 EAST HIGH STREET POTTSTOWN, PA 19404 610.323.4040	CLIENT METHACTON SCHOOL DISTRICT 1001 KRIEBEL MILL ROAD EAGLEVILLE, PA 19403 610-489-5000	SUBJECT GRADING & UTILITY PLAN – PHASE 2 CONSTRUCTION ARROWHEAD ELEMENTARY SCHOOL LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA	JOB NO.								
MANAGER																						
NF	_____																					
								198043-00														
								SHEET NO.														
								10 OF 20														
								DWG. NO.														
						GU298043																
NO.	REVISION	DATE	BY		<table><tr><td>DESIGN</td><td>CHKD. BY</td></tr><tr><td>KK</td><td></td></tr><tr><td>DRAFT</td><td>CHKD. BY</td></tr><tr><td>BG</td><td></td></tr><tr><td>FILE</td><td>DATE</td></tr><tr><td>MET-02</td><td>3/13/20</td></tr><tr><td>NOTES</td><td>SCALE</td></tr><tr><td></td><td>1"=40'</td></tr></table>	DESIGN	CHKD. BY	KK		DRAFT	CHKD. BY	BG		FILE	DATE	MET-02	3/13/20	NOTES	SCALE		1"=40'	www.bursich.com
DESIGN	CHKD. BY																					
KK																						
DRAFT	CHKD. BY																					
BG																						
FILE	DATE																					
MET-02	3/13/20																					
NOTES	SCALE																					
	1"=40'																					



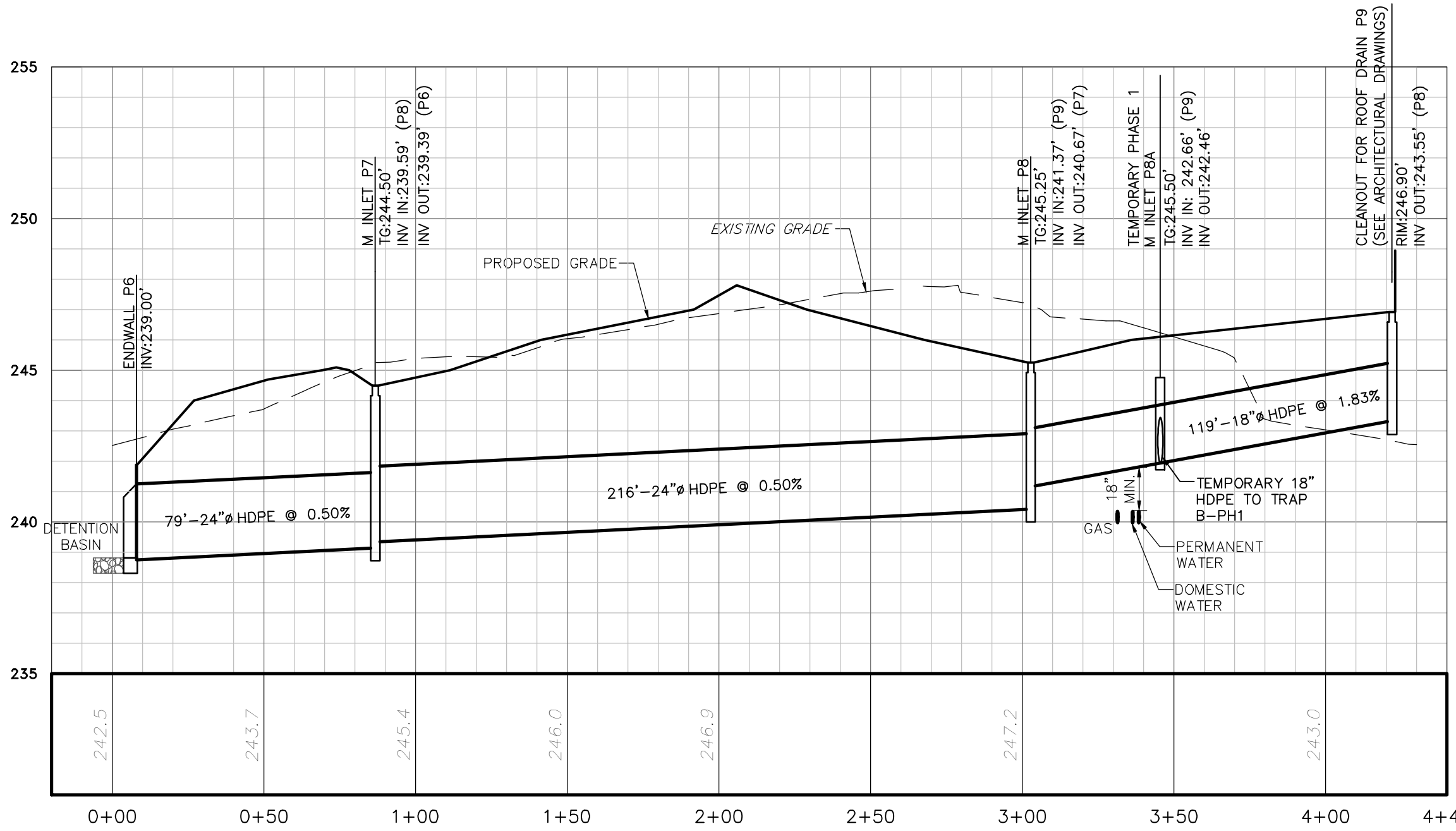
TRENCH DRAIN P3.2 TO ENDWALL P1

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



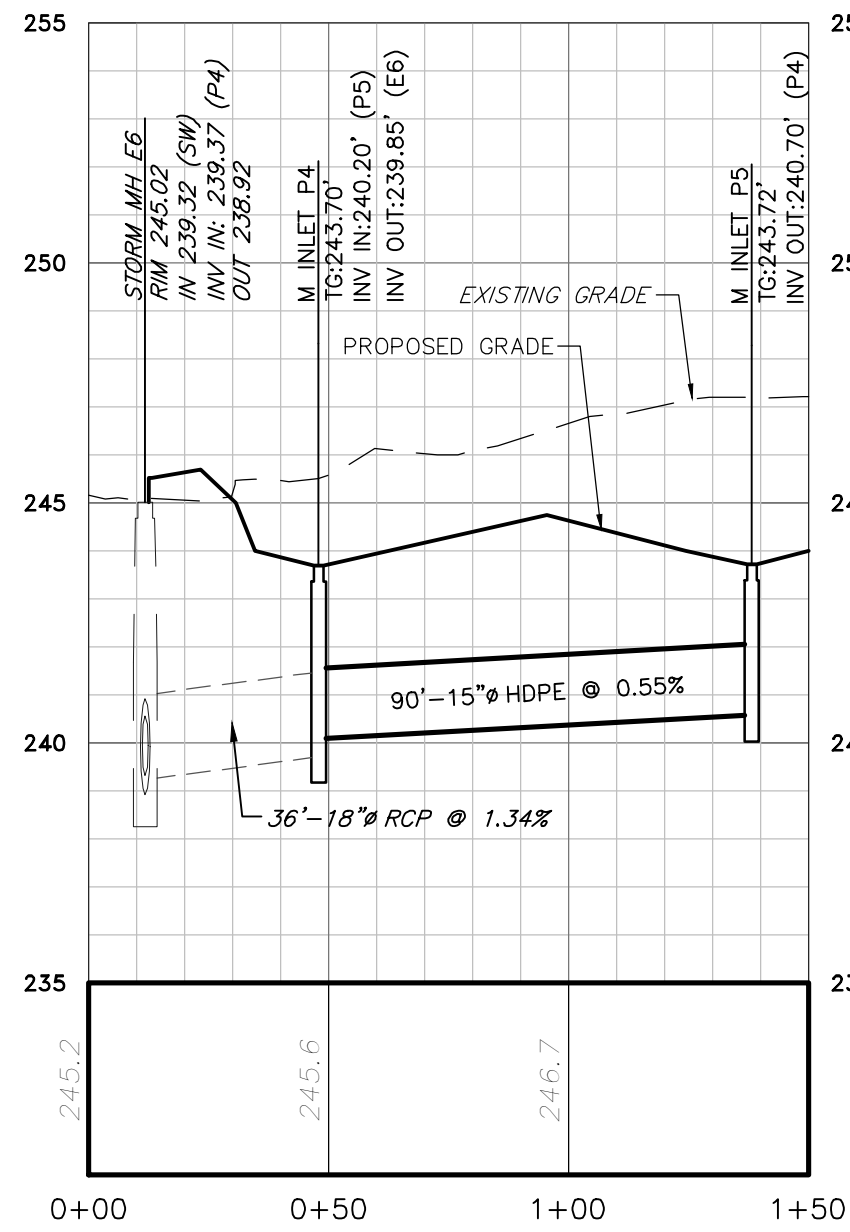
SANITARY MANHOLES MH4-MH3-MH2-MH1

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



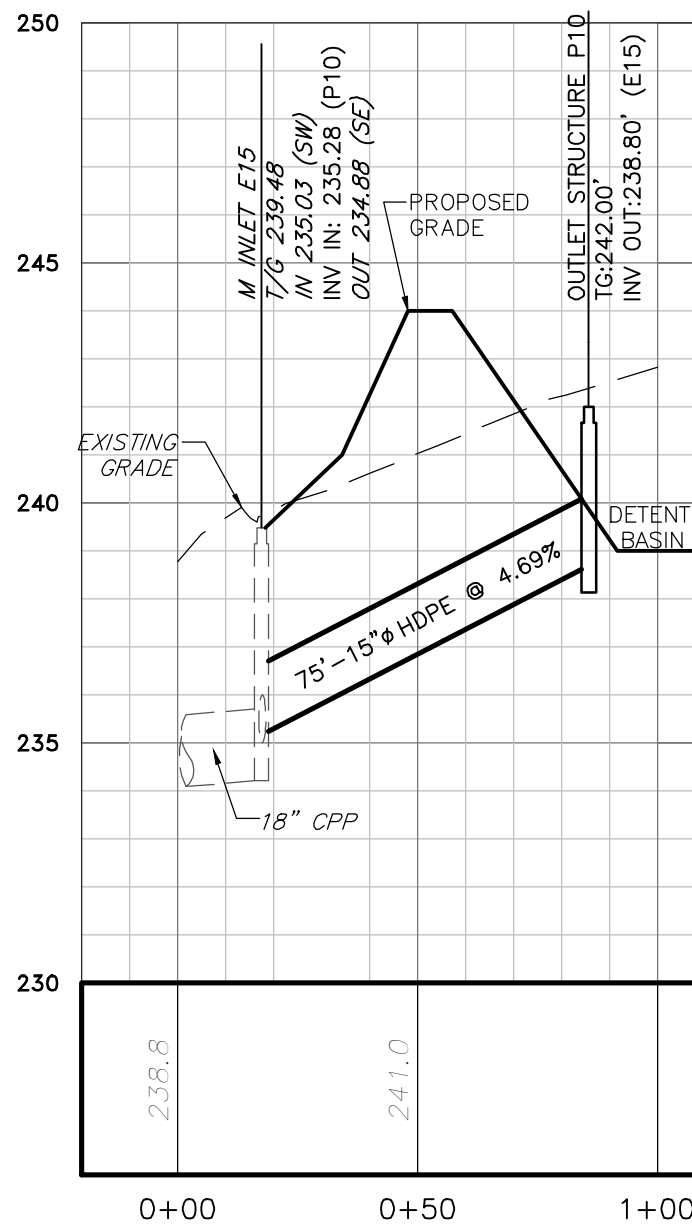
STORM DOWNSPOUT P9-INLETS P8-P7 TO ENDWALL P6

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



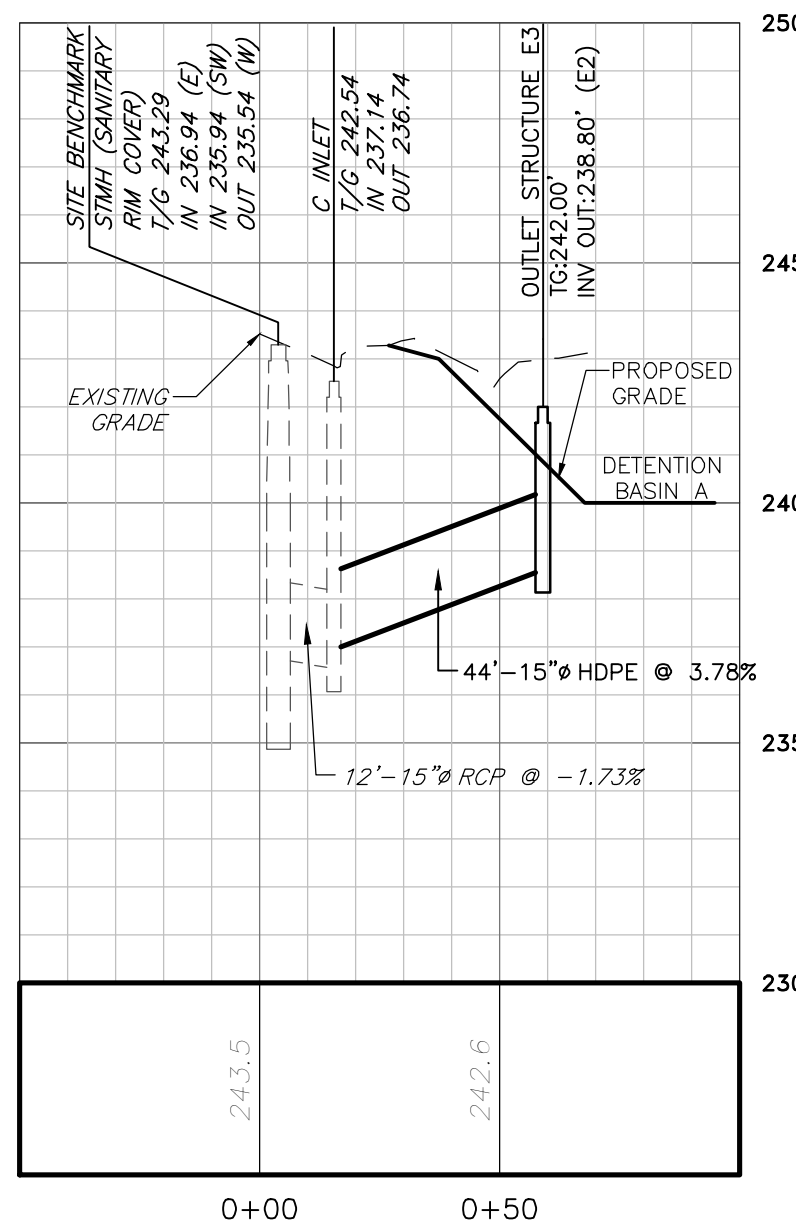
STORM INLETS P5-P4 TO EX. STORM MH E6

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



STORM INLET P10 TO E15

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



STORM INLET E3-E2 TO MH E1

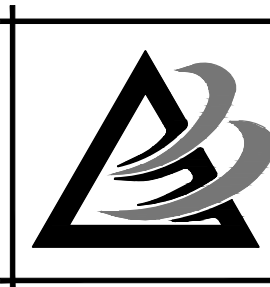
PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'

© COPYRIGHT BURSICH ASSOCIATES, INC. 2020
ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE, OR MODIFICATION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BURSICH ASSOCIATES, INC. FOR ANY DAMAGES, LOSSES AND EXPENSES ARISING FROM THE USE THEREOF.

NO.	REVISION	DATE	BY

SEAL

MANAGER	NF
DESIGN	KK
DRAFT	BG
FILE	MET-02
NOTES	
CHKD. BY	
CHKD. BY	
DATE	3/13/20
SCALE	AS NOTED



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19404
610.323.4040

www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT
STORM & SANITARY SEWER PROFILES

ARROWHEAD ELEMENTARY
SCHOOL

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

198043-00

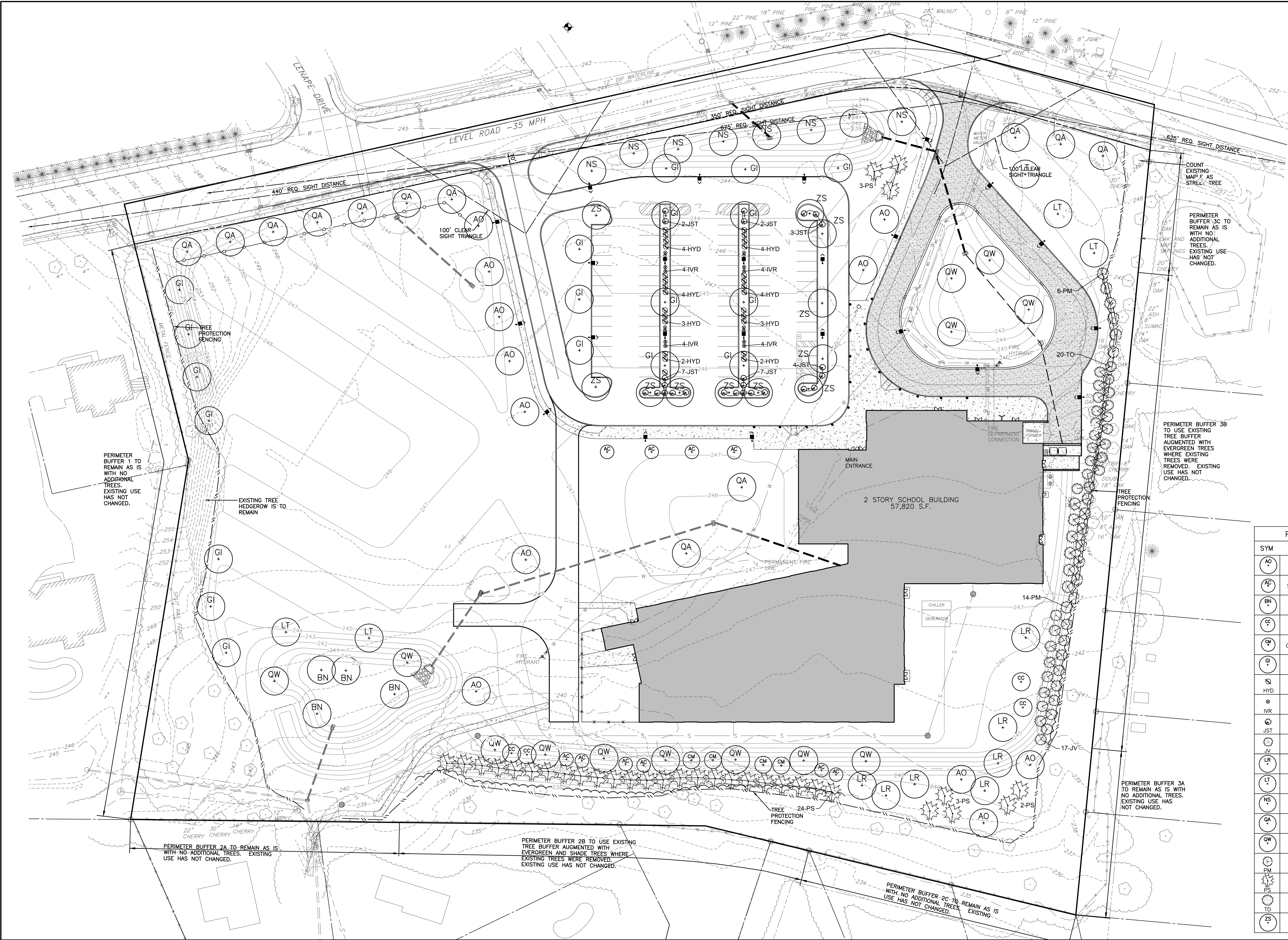
SHEET NO.

11 OF 20

DWG. NO.

DP198043

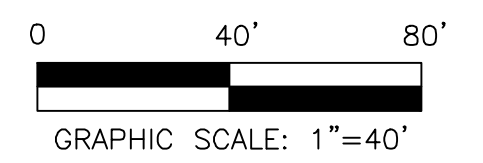
© COPYRIGHT BURSICH ASSOCIATES, INC. 2020
ALL INSTRUMENTS PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE, OR REPRODUCTION OF THIS INSTRUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BURSICH ASSOCIATES, INC. FOR ANY DAMAGES, LOSSES AND EXPENSES ARISING FROM THE USE THEREOF.



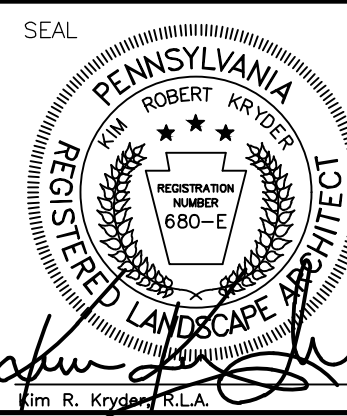
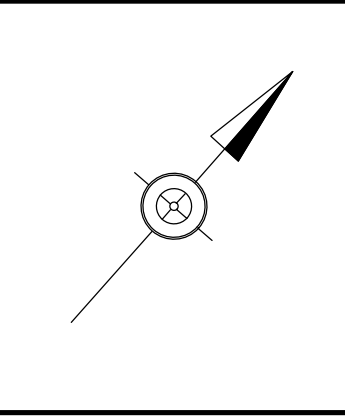
EXISTING FEATURES LEGEND	
SLANTED TEXT DENOTES EXISTING FEATURE	
SITE BENCHMARK	
PROPERTY LINE	
ADJACENT LINE	
LEGAL RIGHT OF WAY	
EASEMENT LINE	
BUILDING/STRUCTURE	
CONCRETE CURB	
EDGE OF PAVE	
EDGE OF DRIVE	
CONTOURS	
SPOT ELEVATION	
WOOD LINE	
TREES	
SANITARY SEWER MAIN	
SANITARY SEWER CLEWANT	
SANITARY SEWER MANHOLE	
STORM SEWER	
M&C TYPE INLETS	
WATER MAIN	
FIRE HYDRANT	
WATER VALVE	
WATER MANHOLE	
GAS MAIN	
GAS VALVE	
OVERHEAD WIRES	
UNDERGROUND WIRES	
UTILITY POLE	
SIGN	

PROPOSED LEGEND	
VERTICAL TEXT DENOTES PROPOSED FEATURE	
BUILDING	
CURB	
DEPRESSED CURB	
EDGE OF PAVING	
SEWER MAIN	
SEWER SERVICE LATERAL	
SANITARY SEWER MANHOLE	
SANITARY SEWER STRUCTURE IDENTIFIER	
STORMWATER PIPE	
C&M TYPE	
STORMWATER INLET	
HEADWALL/ENDWALL	
RIP-RAP APRON	
STORMWATER STRUCTURE IDENTIFIER	
WATER MAIN	
WATER SERVICE LATERAL	
WATER GATE VALVE	
FIRE HYDRANT	
GAS LINE	
SPOT ELEVATION	
INTERMEDIATE CONTOUR	
INDEX CONTOUR	
DIRECTION OF FLOW	
WOODS LINE	
FENCE	
TREE PROTECTION FENCING	
ADA DETECTABLE WARNING STRIP	
LIGHT	

PLANTING LIST	
SYM	COMMON NAME
AO	RED MAPLE 'OCTOBER GLORY'
AC	SHADBLow SERVICEBERRY
BN	RIVER BIRCH
CC	AMERICAN HORNBEAM
CM	CORNELIAN CHERRY DOGWOOD
GI	IMPERIAL HONEYLOCUST
HYD	SMOOTH HYDRANGEA
IVR	WINTERBERRY HOLLY
JST	TAMS JUNIPER
JV	EASTERN RED CEDAR
LR	ROTUNDILOBA SWEET GUM
LT	TULIP TREE
NS	BLACK GUM
QA	WHITE OAK
QW	WILLOW OAK
PM	DOUGLAS FIR
PS	WHITE PINE
TO	DARK GREEN ARBORVITAE
ZS	GREEN VASE JAPANESE ZELKOVA



NO.	REVISION	DATE	BY



MANAGER	NF
DESIGN	KK
CHKD. BY	
DRAFT	BG
CHKD. BY	
FILE	MET-02
DATE	3/13/20
NOTES	SCALE
	1\"=40'



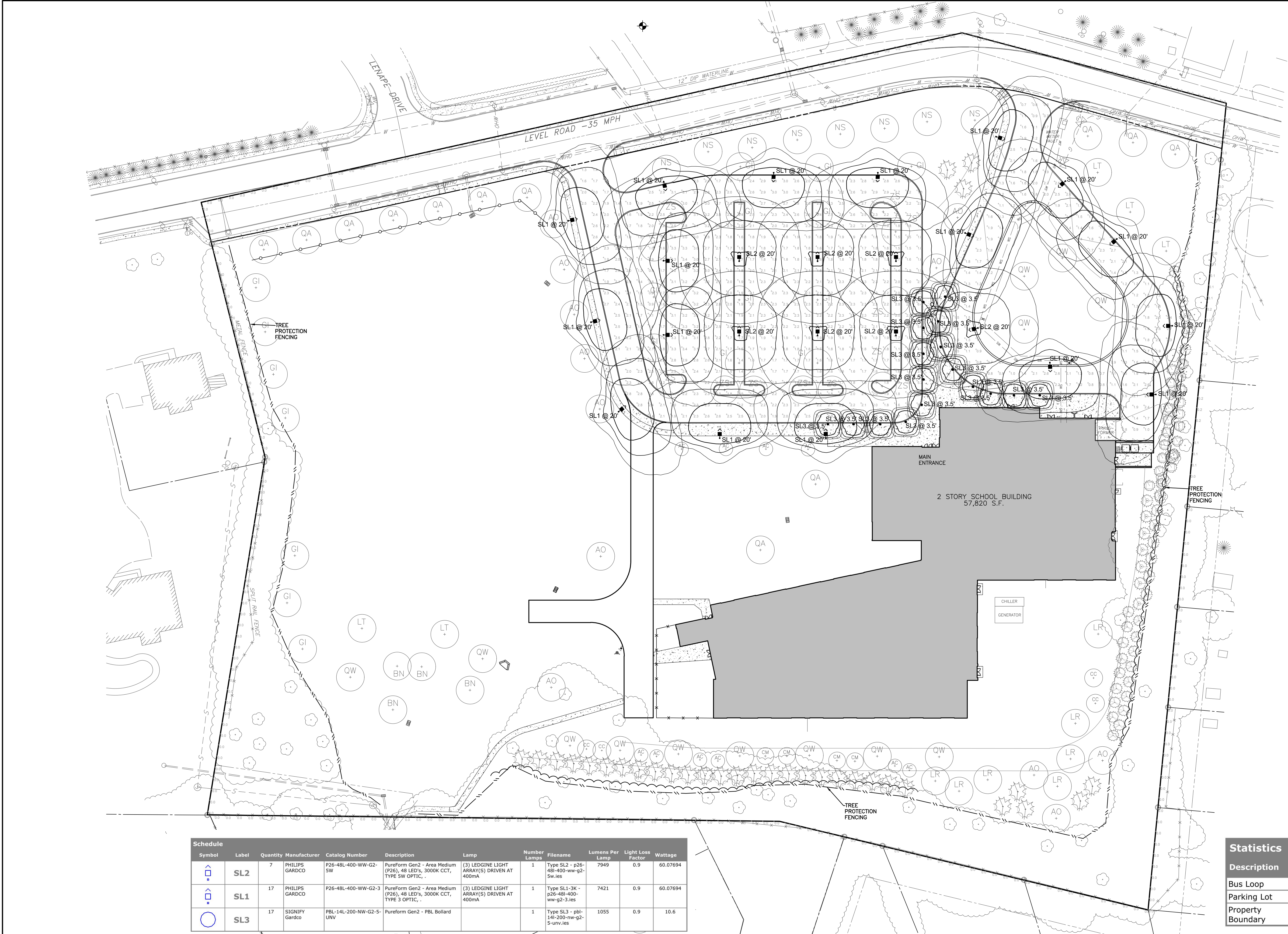
BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040
www.bursich.com

CLIENT
METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT
LANDSCAPE PLAN
ARROWHEAD ELEMENTARY SCHOOL
LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

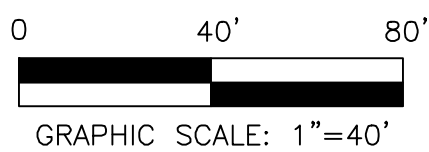
JOB NO.
198043-00
SHEET NO.
12 OF 20
DWG. NO.
LA198043

© COPYRIGHT BURSICH ASSOCIATES, INC. 2020
INSTRUMENTS PREPARED BY BURSICH ASSOCIATES, INC. AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BURSICH ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. ANY REUSE OR MODIFICATION OF THIS INSTRUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY REUSE OR MODIFICATION OF THIS INSTRUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BURSICH ASSOCIATES, INC. FOR ANY DAMAGES, LOSSES AND EXPENSES ARISING FROM THE USE THEREOF.



- EXISTING FEATURES LEGEND
- SLANTED TEXT DENOTES EXISTING FEATURE
- SITE BENCHMARK
- PROPERTY LINE
- ADJONER LINE
- LEGAL RIGHT OF WAY
- EASEMENT LINE
- BUILDING/STRUCTURE
- CONCRETE CURB
- EDGE OF PAVE
- EDGE OF DRIVE
- CONTOURS
- SPOT ELEVATION
- WOOD LINE
- TREES
- SANITARY SEWER MAIN
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- STORM SEWER
- M&C TYPE INLETS
- WATER MAIN
- FIRE HYDRANT
- WATER VALVE
- WATER MANHOLE
- GAS MAIN
- GAS VALVE
- OVERHEAD WIRES
- UNDERGROUND WIRES
- UTILITY POLE
- SIGN

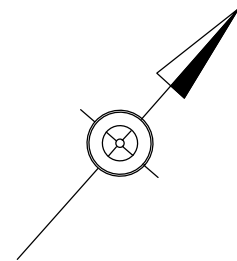
- PROPOSED LEGEND
- VERTICAL TEXT DENOTES PROPOSED FEATURE
- BUILDING
- CURB
- DEPRESSED CURB
- EDGE OF PAVING
- SEWER MAIN
- SEWER SERVICE LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER STRUCTURE IDENTIFIER
- STORMWATER PIPE
- C&M TYPE STORMWATER INLET
- HEADWALL/ENDWALL
- RIP-RAP APRON
- STORMWATER STRUCTURE IDENTIFIER
- WATER MAIN
- WATER SERVICE LATERAL
- WATER GATE VALVE
- FIRE HYDRANT
- GAS LINE
- SPOT ELEVATION
- INTERMEDIATE CONTOUR
- INDEX CONTOUR
- DIRECTION OF FLOW
- WOODS LINE
- FENCE
- TREE PROTECTION FENCING
- ADA DETECTABLE WARNING STRIP
- LIGHT



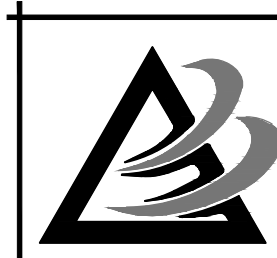
Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename
	SL2	7	PHILIPS GARDCO	P26-48L-400-WW-G2-5W	PureForm Gen2 - Area Medium (P26), 48 LED's, 3000K CCT, TYPE 5W OPTIC, .	(3) LEDGINE LIGHT ARRAY(S) DRIVEN AT 400mA	1	Type SL2 - p26-48l-400-ww-g2-5w.ies
	SL1	17	PHILIPS GARDCO	P26-48L-400-WW-G2-3	PureForm Gen2 - Area Medium (P26), 48 LED's, 3000K CCT, TYPE 3 OPTIC, .	(3) LEDGINE LIGHT ARRAY(S) DRIVEN AT 400mA	1	Type SL1-3K - p26-48l-400-ww-g2-3.ies
	SL3	17	SIGNIFY Gardco	PBL-14L-200-NW-G2-5-UVV	Pureform Gen2 - PBL Bollard		1	Type SL3 - pbl-14l-200-nw-g2-5-uvv.ies

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Bus Loop	+	1.6 fc	4.6 fc	0.5 fc	9.2:1	3.2:1
Parking Lot	+	2.2 fc	6.4 fc	0.8 fc	8.0:1	2.8:1
Property Boundary	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A

NO.	REVISION	DATE	BY



SEAL	MANAGER NF
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MET-02	DATE 3/13/20
NOTES	SCALE 1"=40'



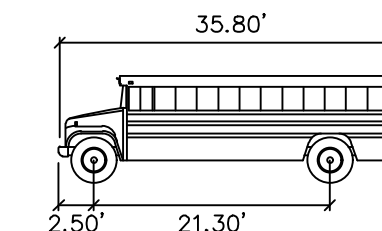
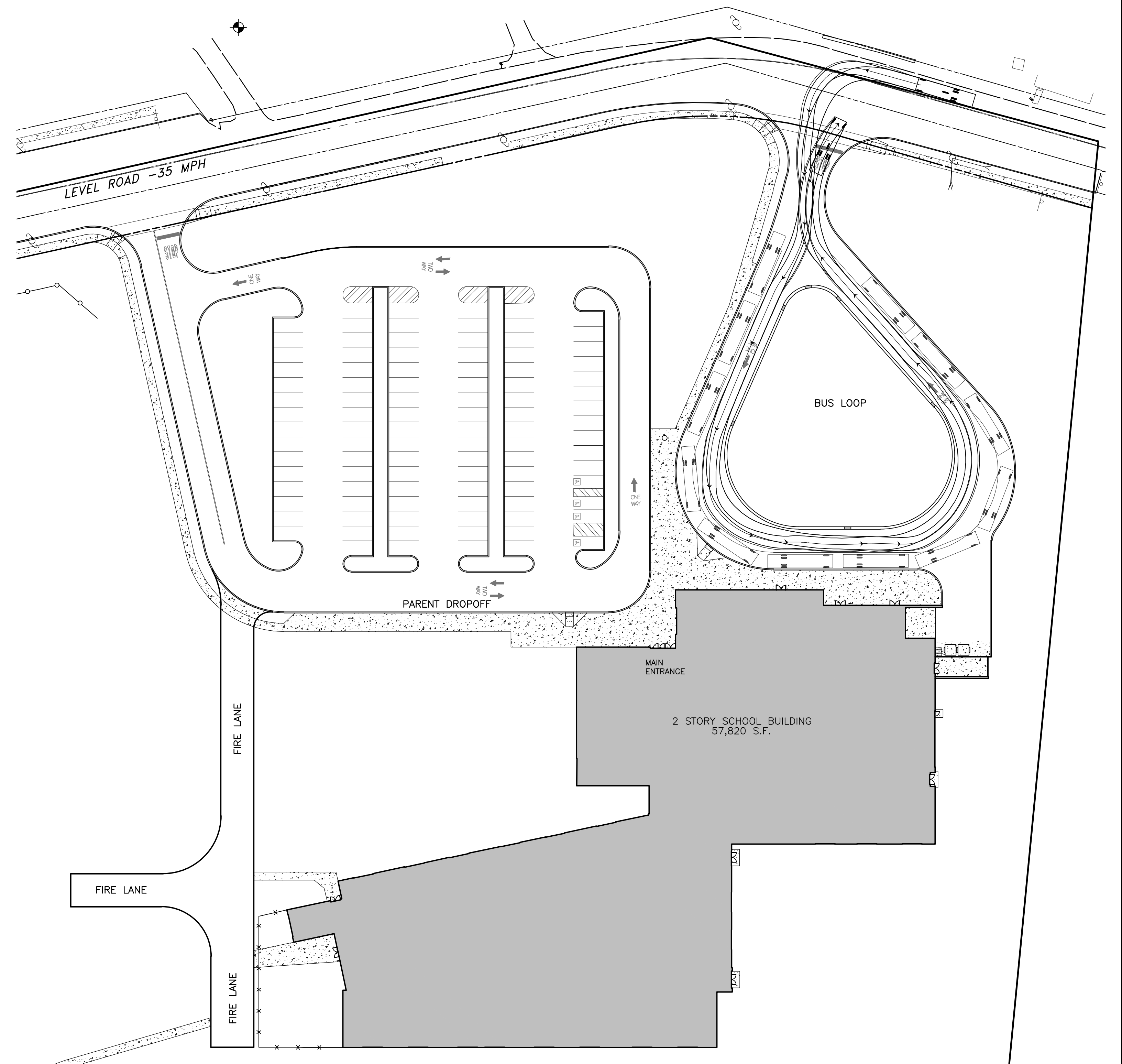
BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT
METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT
ARROWHEAD ELEMENTARY SCHOOL
LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.
198043-00
SHEET NO.
13 OF 20
DWG. NO.
L198043



S-BUS-36	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 37.6

0 40' 80'



GRAPHIC SCALE: 1"=40'

0 40' 80'



GRAPHIC SCALE: 1"=40'

MANAGER		NF _____
DESIGN	KK	CHKD. BY
DRAFT	BG	CHKD. BY
FILE	MET-02	DATE 3/13/20
NOTES	SCALE 1"=40'	



CLIENT
METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT

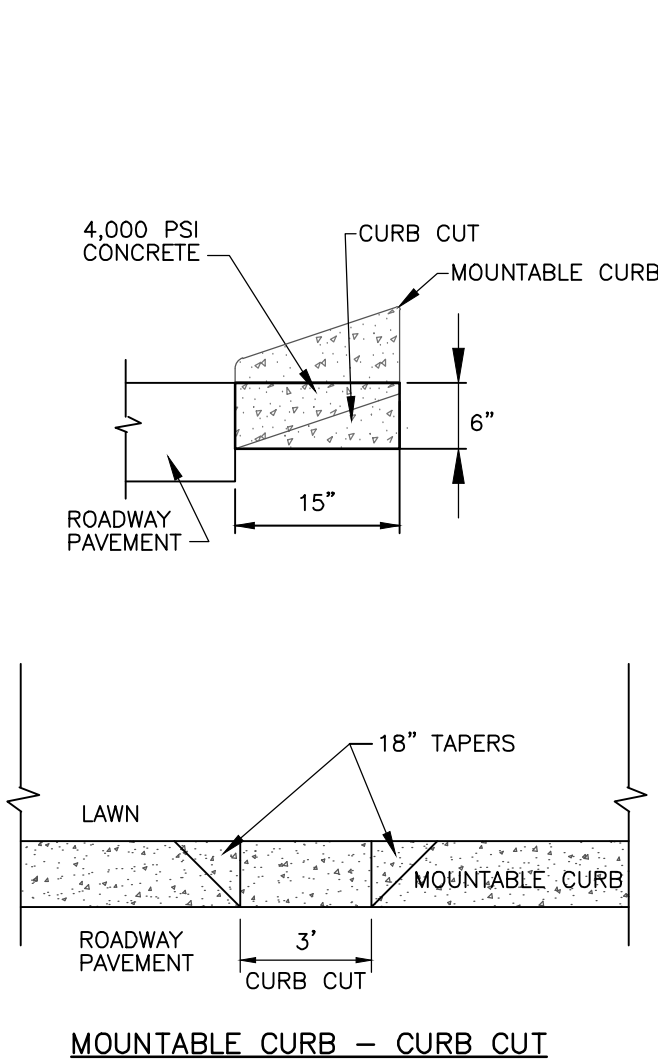
TRUCK TURNING PLAN

ARROWHEAD ELEMENTARY
SCHOOL

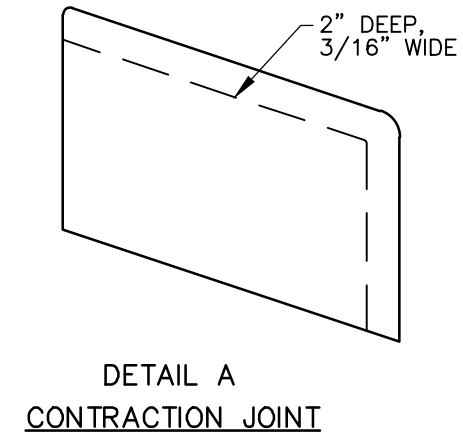
LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 198043-00
SHEET NO. 14 OF 20
DWG. NO. TT198043

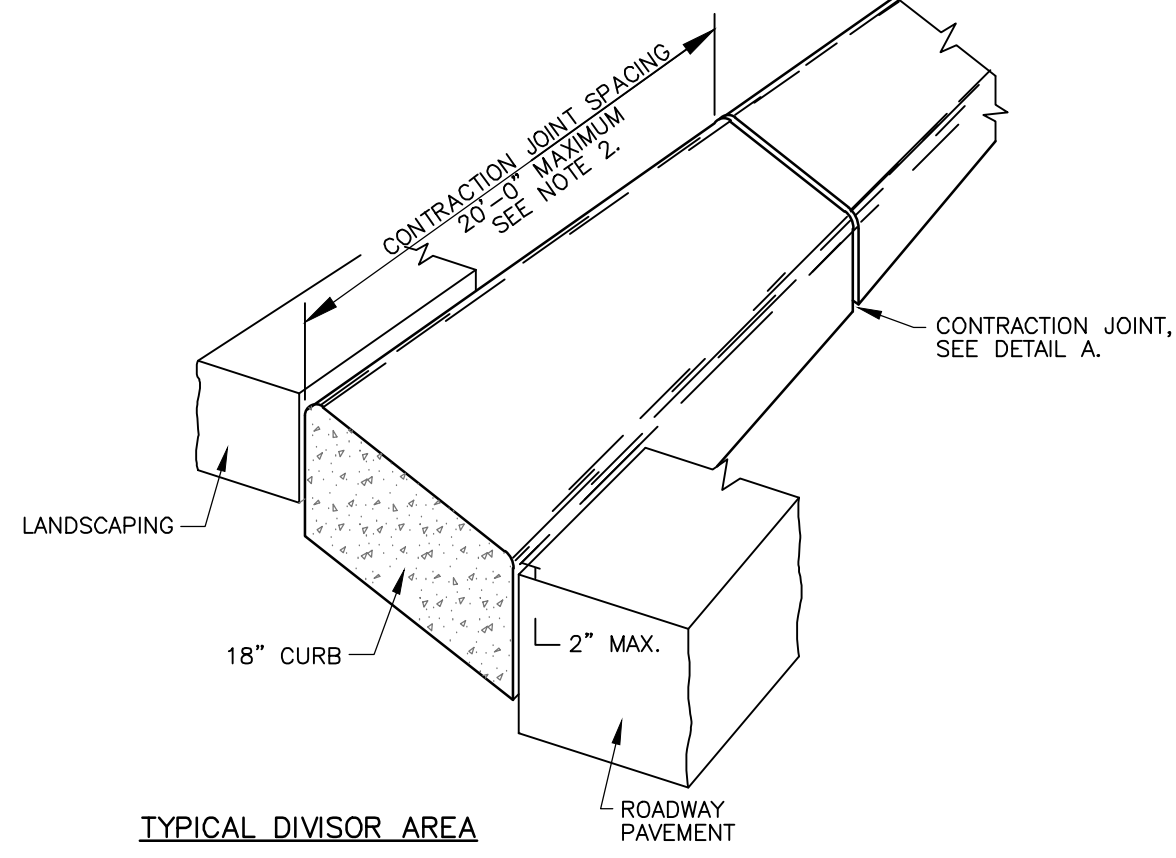
© COPYRIGHT BURSICH ASSOCIATES, INC., 2020
ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. ANY USE, REUSE OR MODIFICATION/ALTERATION AND REPRODUCTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION/ALTERATION AND REPRODUCTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION/ALTERATION AND REPRODUCTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED. ANY USE, REUSE OR MODIFICATION/ALTERATION AND REPRODUCTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF BURSICH ASSOCIATES, INC. IS STRICTLY PROHIBITED.



15" CONCRETE MOUNTABLE CURB
NO SCALE



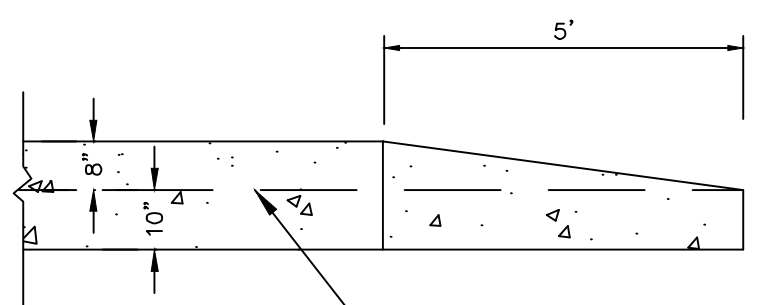
CONCRETE MOUNTABLE CURBS



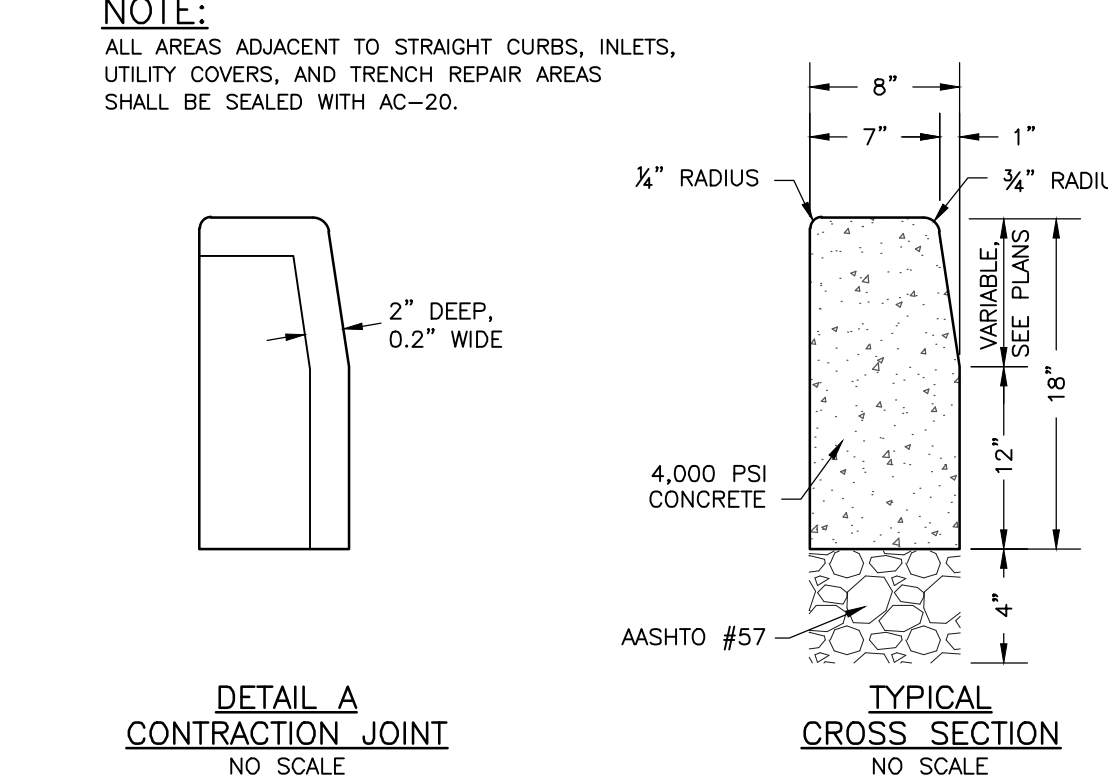
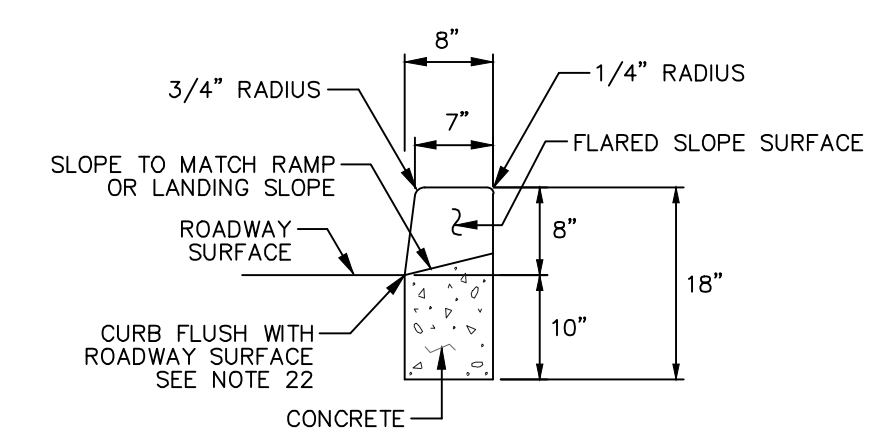
TYPICAL DIVISOR AREA

- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 633.
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS AND SEAL AS SPECIFIED IN SECTION 501.3(n), PUB. 408.
 3. PLACE 5/8-INCH PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

END CURB TREATMENT DETAIL
NO SCALE



DEPRESSED ADA CURB
NO SCALE

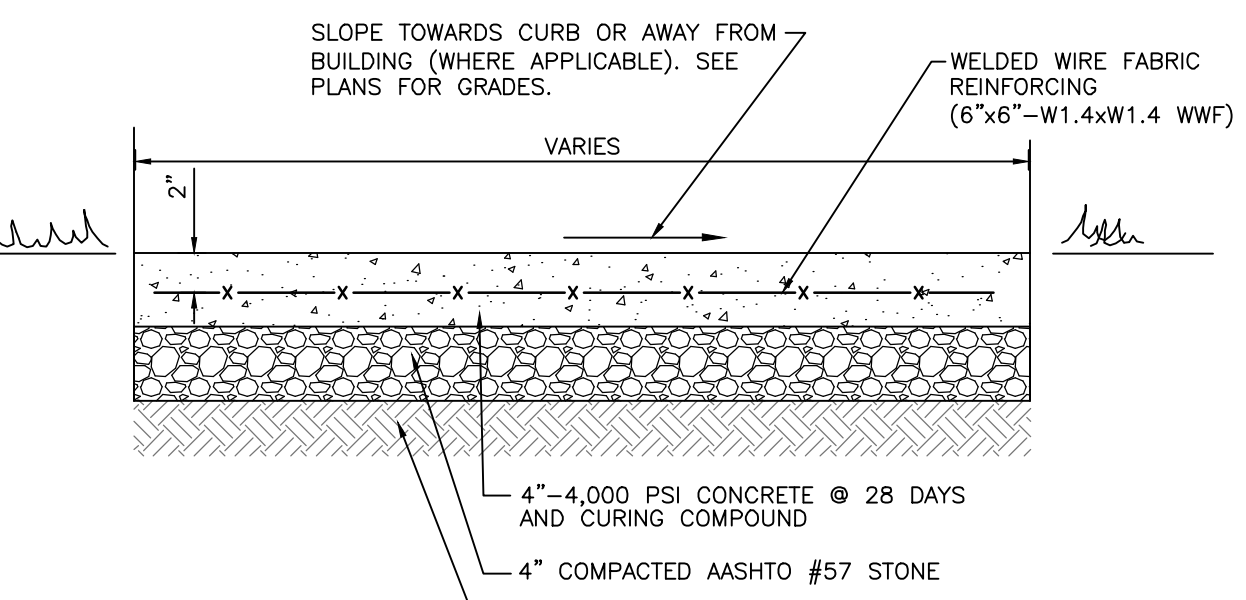


PLAIN CEMENT CONCRETE CURB
NO SCALE

- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 3. PLACE 3/4" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
 4. THE STONE BEDDING SHALL BE AASHTO #57.

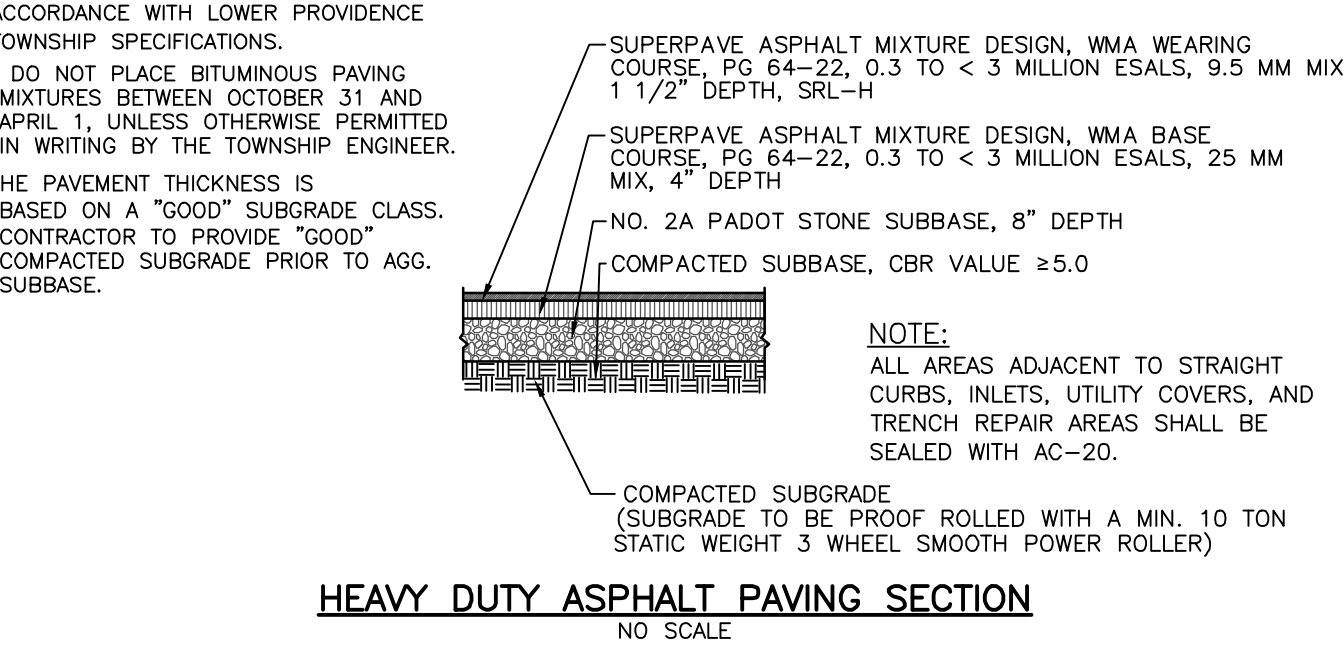
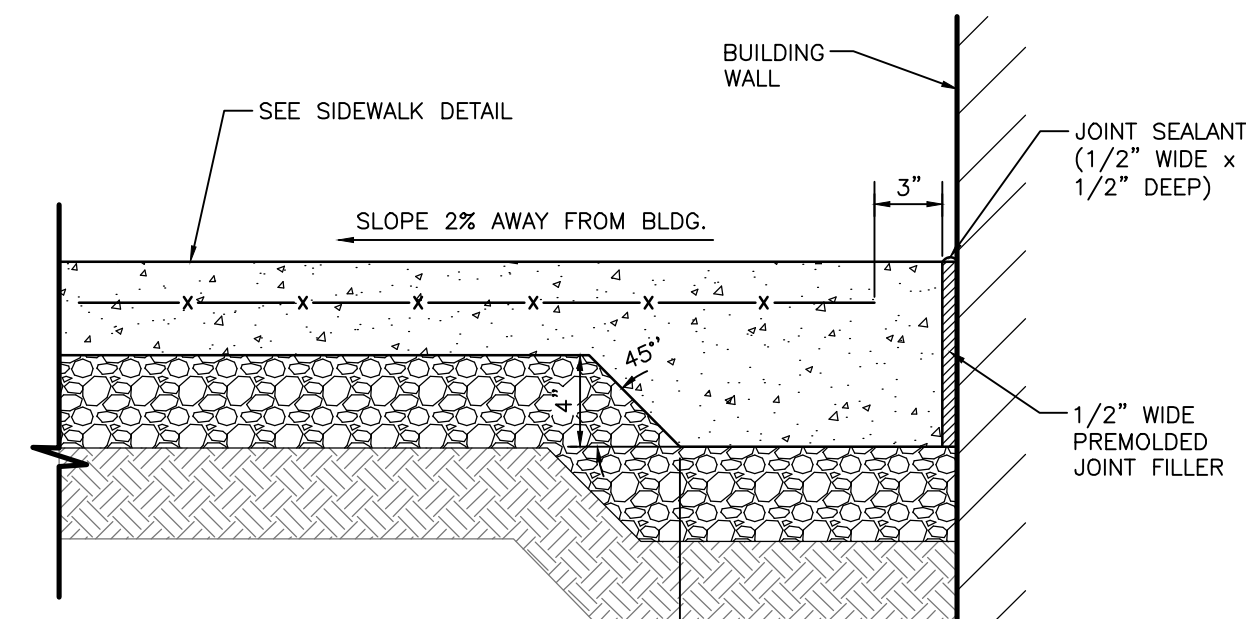
- NOTES:
1. PROVIDE 1/2" BITUMINOUS EXPANSION JOINTS WITH PREMOLDED JOINT FILLER AT 20' MAXIMUM INTERVALS CENTER TO CENTER AND CLEAN-CUT JOINTS, A MINIMUM 1" DEEP, SCORED AT 5' INTERVALS CENTER TO CENTER, UNLESS OTHERWISE SHOWN ON ARCHITECTURAL DRAWINGS. SIDEWALK JOINTS AGAINST BUILDINGS SHALL BE TOPPED WITH JOINT SEALANT.
 2. ALL SIDEWALKS TO HAVE A BROOM FINISH.

CONCRETE SIDEWALK DETAIL
NO SCALE

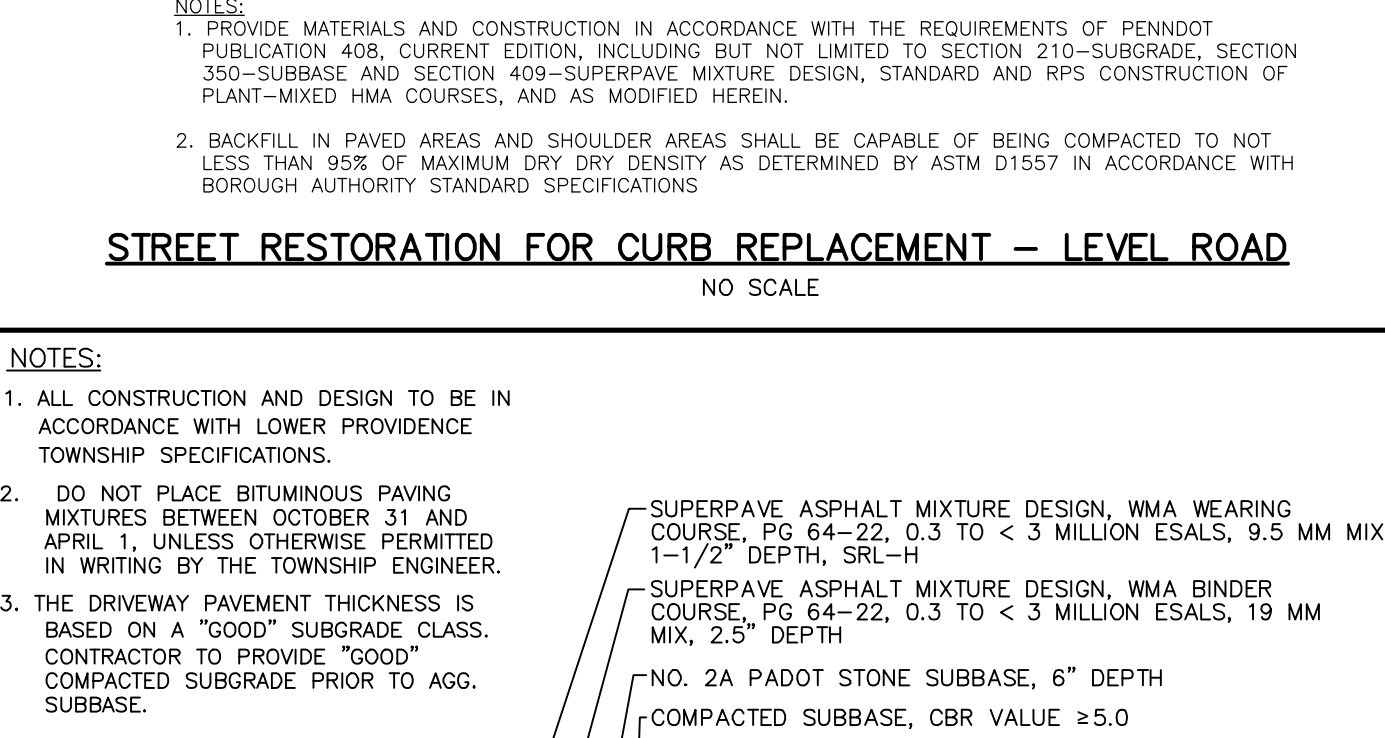


TYPICAL SIDEWALK SECTION AT BUILDING
NO SCALE

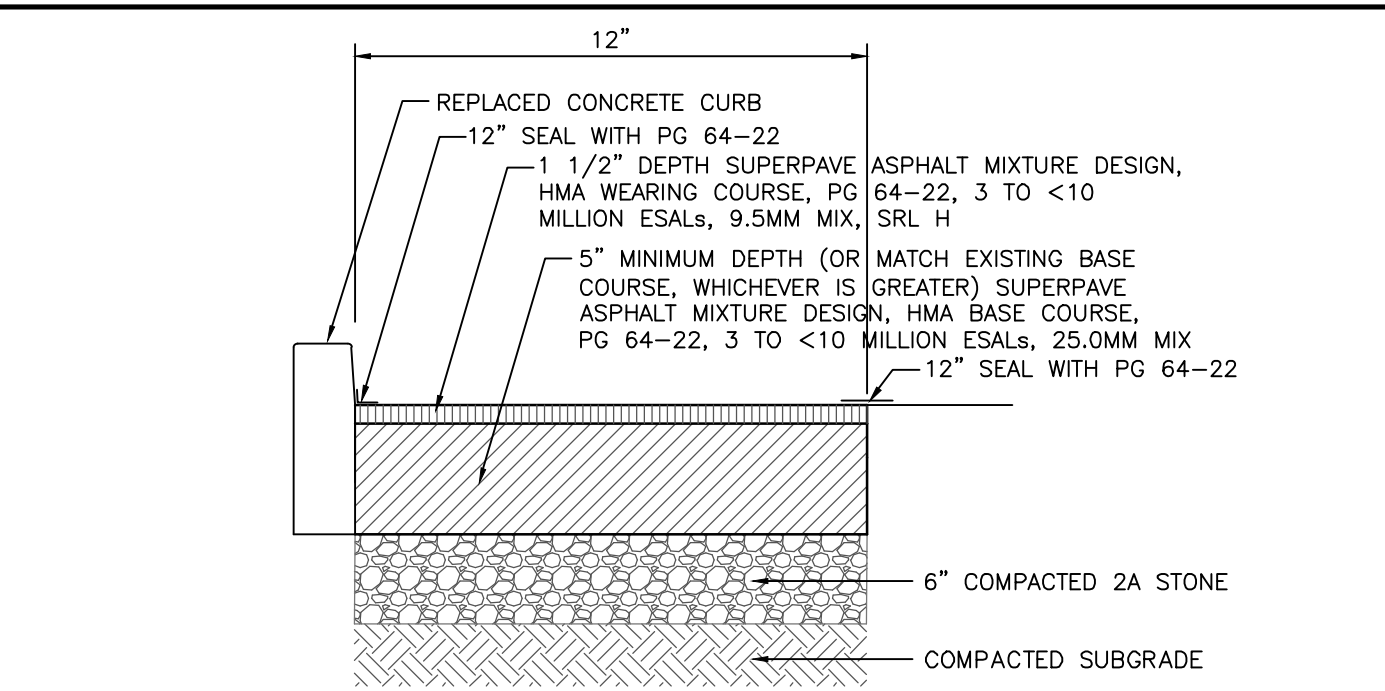
- NOTES:
1. REFER TO THE PROJECT SPECIFICATIONS FOR THE SIDEWALK MATERIALS AND CONSTRUCTION.
 2. BED FOR CONCRETE SIDEWALKS SHALL BE THOROUGHLY COMPACTED BY TAMPING.
 3. CUT JOINTS SHALL BE MADE AS NOTED ON THE TYPE 1 OR TYPE 2 SIDEWALK DETAILS AND TOPPED WITH JOINT SEALANT.



HEAVY DUTY ASPHALT PAVING SECTION
NO SCALE



LIGHT DUTY ASPHALT PAVING SECTION
NO SCALE

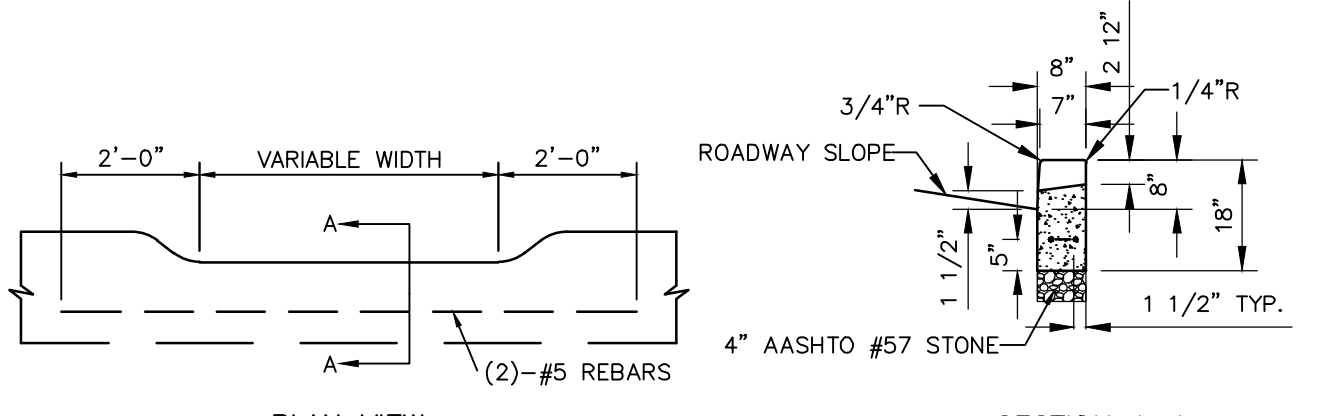


STREET RESTORATION FOR CURB REPLACEMENT - LEVEL ROAD
NO SCALE

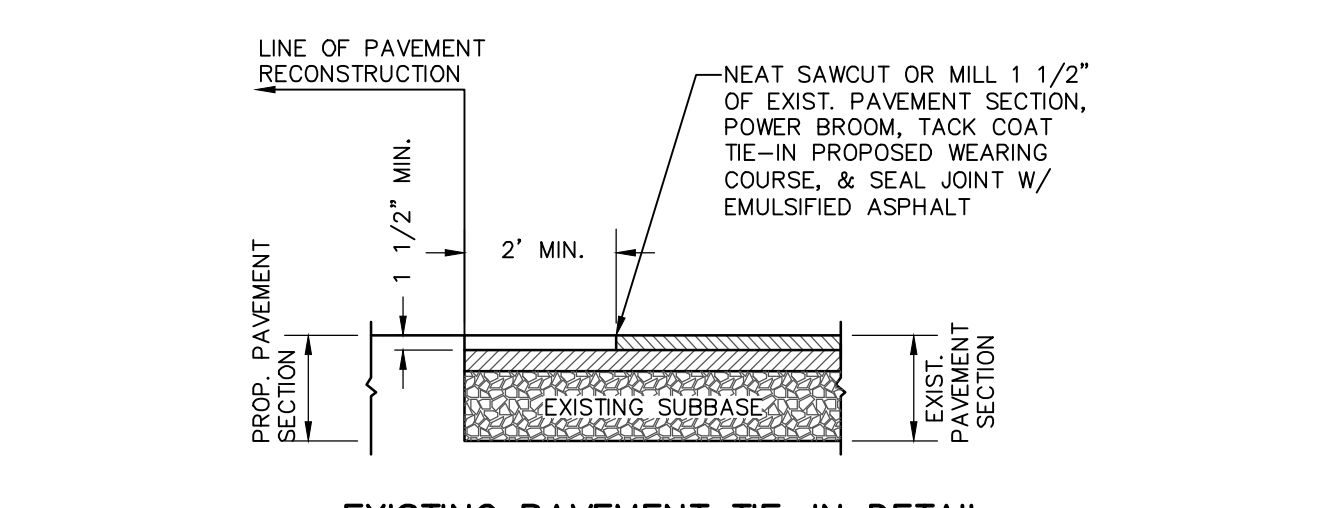
- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CONCRETE CURB GUTTER.
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 3. PLACE 3/4-INCH PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
 4. SEE RC-50 FOR PLAIN CONCRETE CURB SLOPED TOP TREATMENT AT END OF STRUCTURES.

DEPRESSED CURB

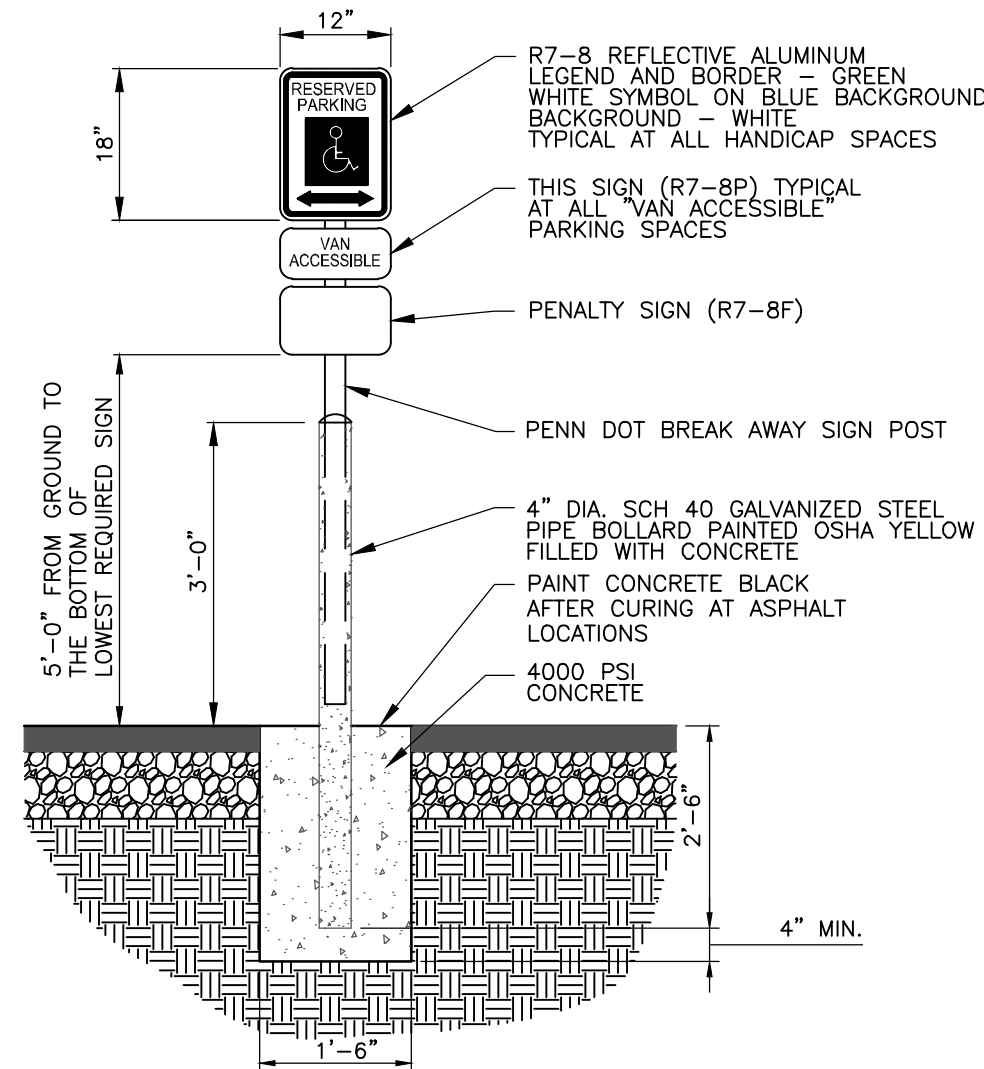
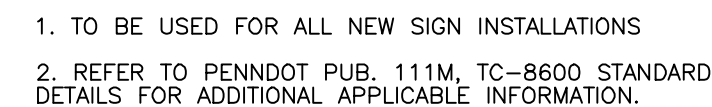
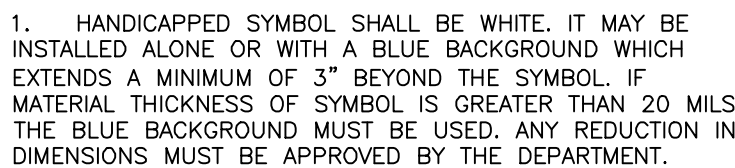
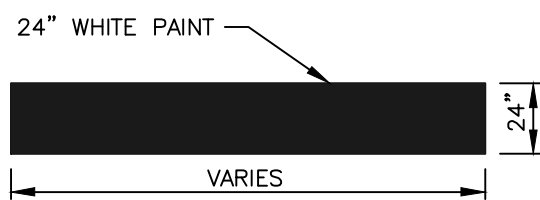
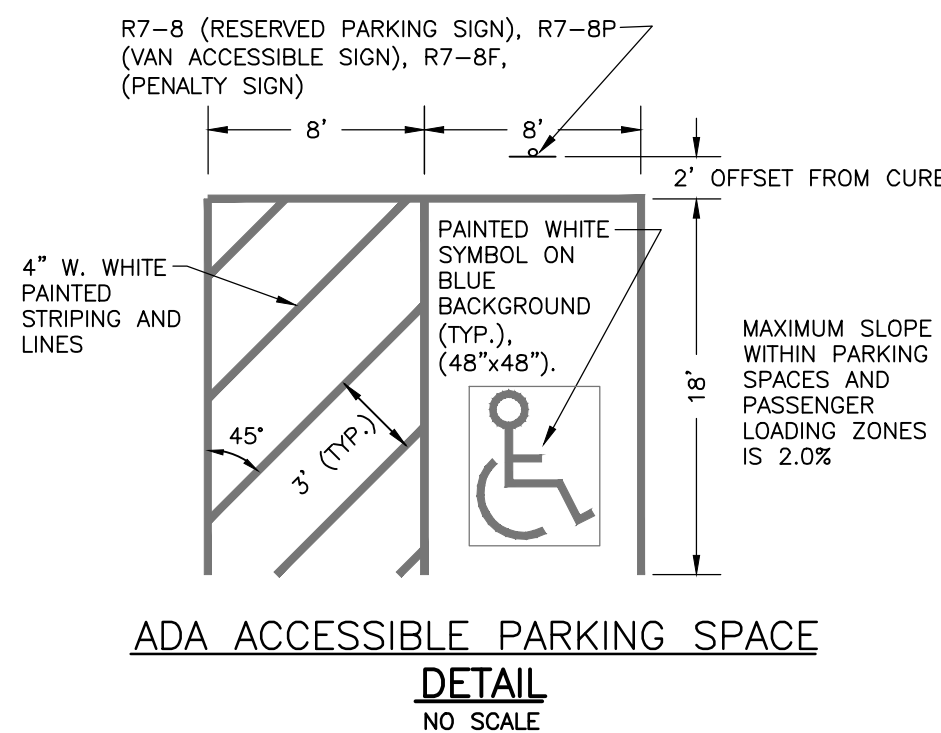
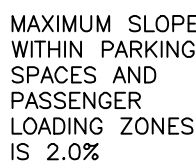
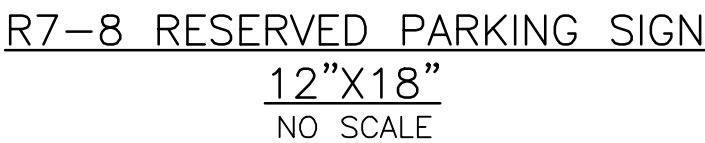
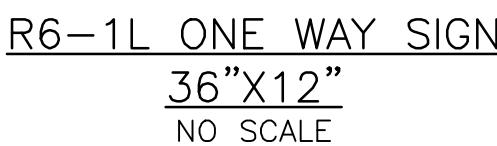
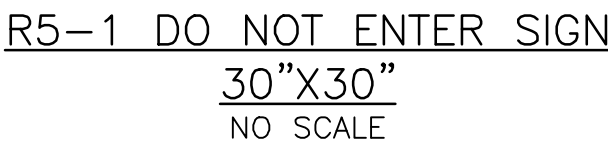
REFER TO PENNDOT RC-64 FOR ADDITIONAL INFORMATION



PLAN VIEW
SECTION A-A



EXISTING PAVEMENT TIE-IN DETAIL
NO SCALE



1. PLACE ONE SIGN AT EACH HANDICAP SPACE.
2. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

SEAL

BURSICH
ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT
CONSTRUCTION DETAILS – ADA & SIGNS

ARROWHEAD ELEMENTARY
SCHOOL

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

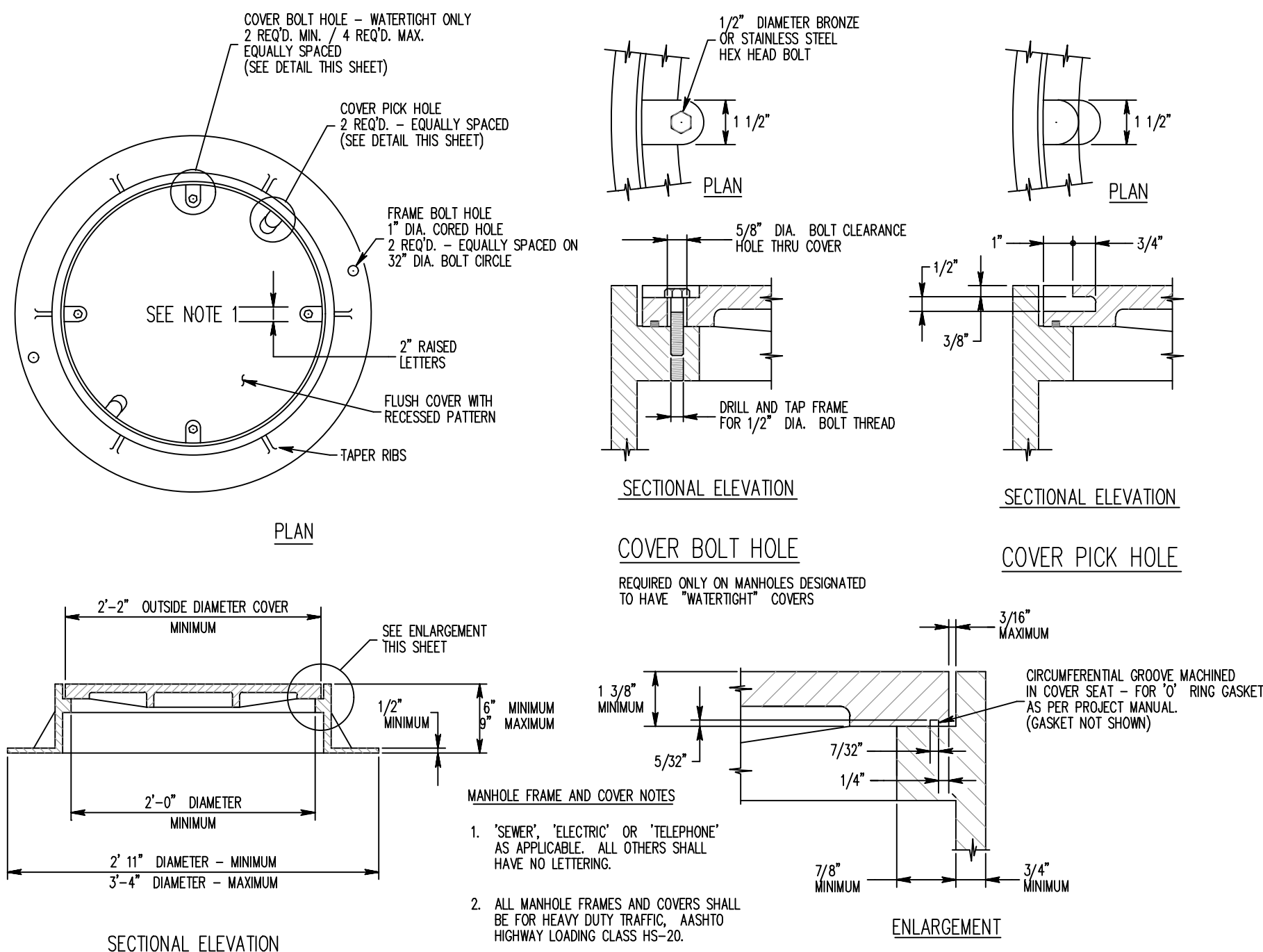
198043-00

SHEET M

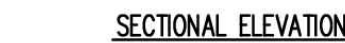
16 OF 20

DWG. NO.

CD298043



STANDARD AND WATERTIGHT
MANHOLE FRAME AND COVER



PIPE BEDDING

9. AS-BUILT RECORD DRAWINGS ARE ACCEPTED FOR DEDICATION FROM THE DEVELOPER'S ENGINEER.



STANDARD MANHOLE - TYPE "A"

SEAL

NF _____



www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT
CONSTRUCTION DETAILS - SANITARY SEWER

ARROWHEAD ELEMENTARY
SCHOOL

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

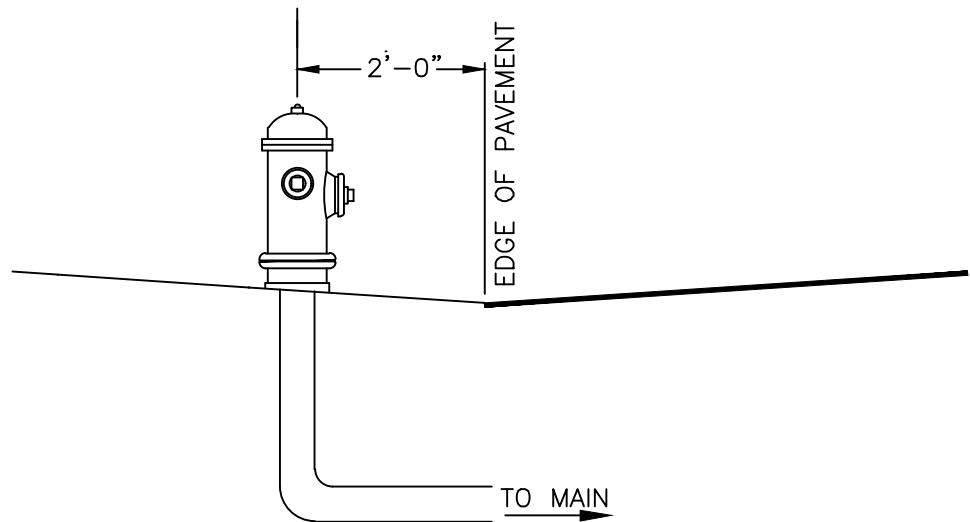
198043-00

SHEET NO.

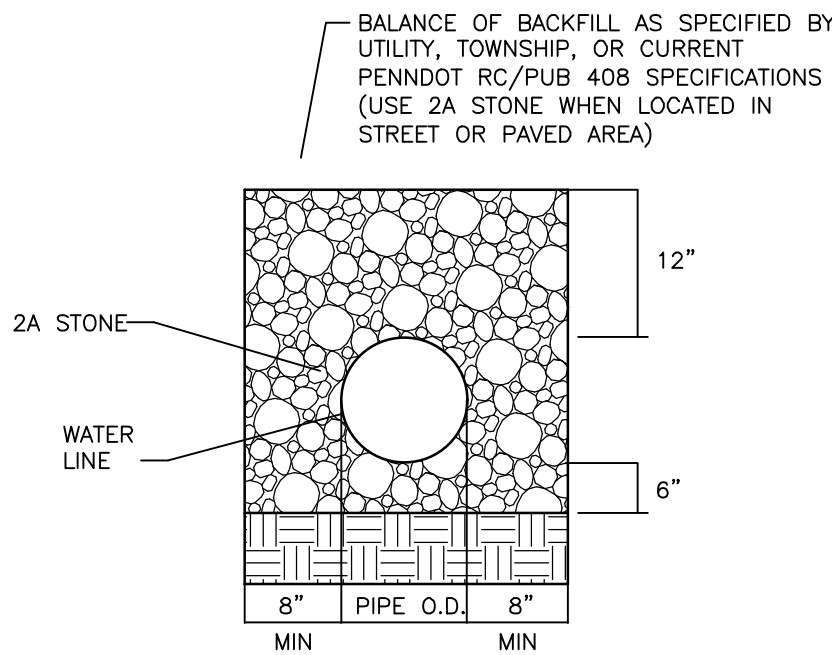
17 OF 20

DWG. NO.

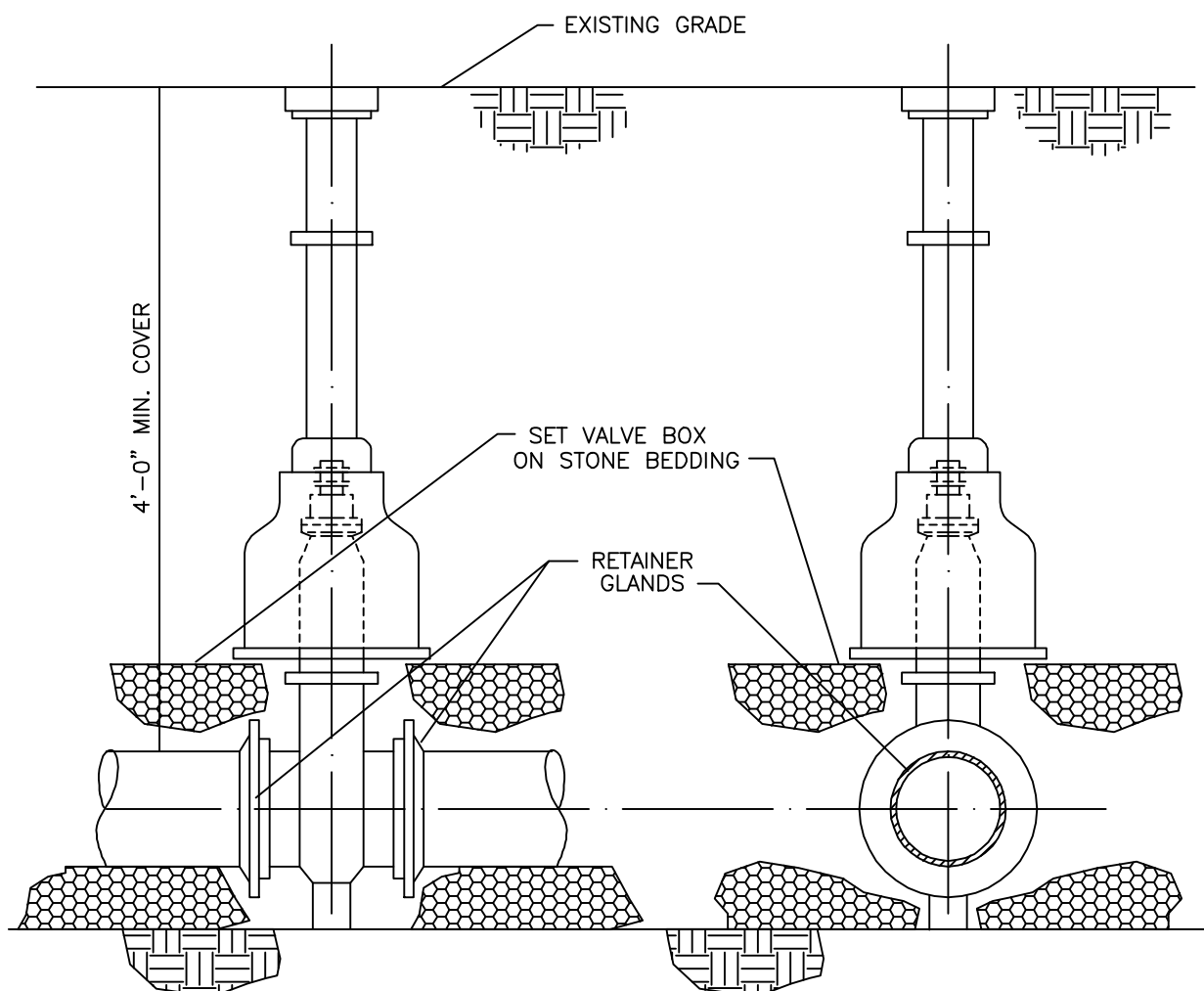
CD398043



FIRE HYDRANT LOCATION DETAIL
ALL WATERLINES AND APPURTENANCES SHALL CONFORM TO THE DETAILS AND SPECIFICATIONS OF THE AUDUBON WATER COMPANY

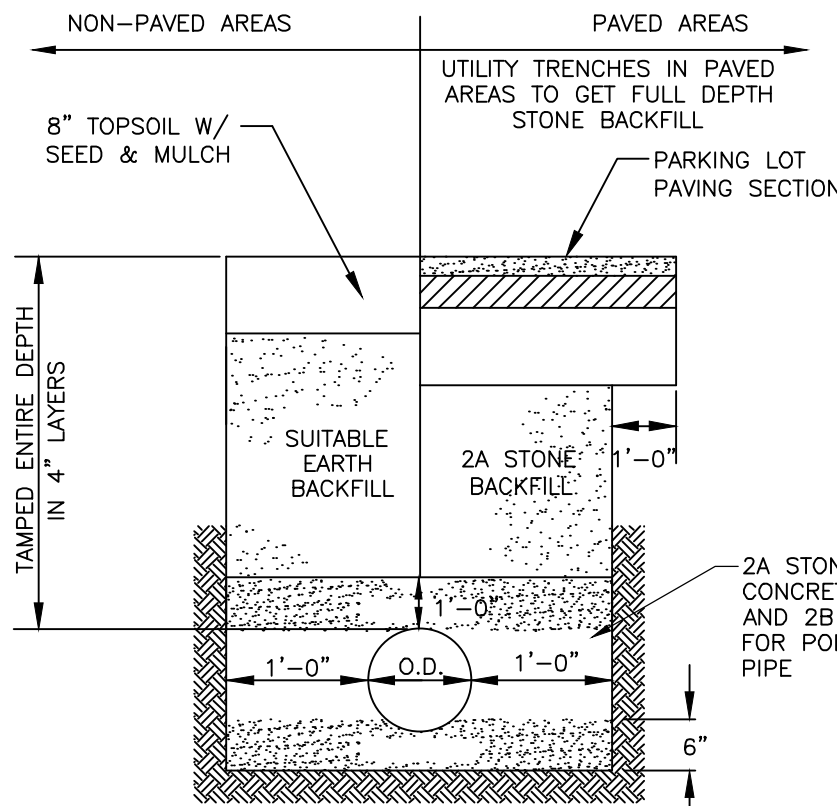


WATER TRENCH BACKFILL DETAIL
NO SCALE



- NOTES:
1. RETAINER GLANDS REQUIRED ON ALL MECHANICAL JOINT FITTINGS.
 2. VALVE BOX SHALL BE 2 PIECE SCREW TYPE.

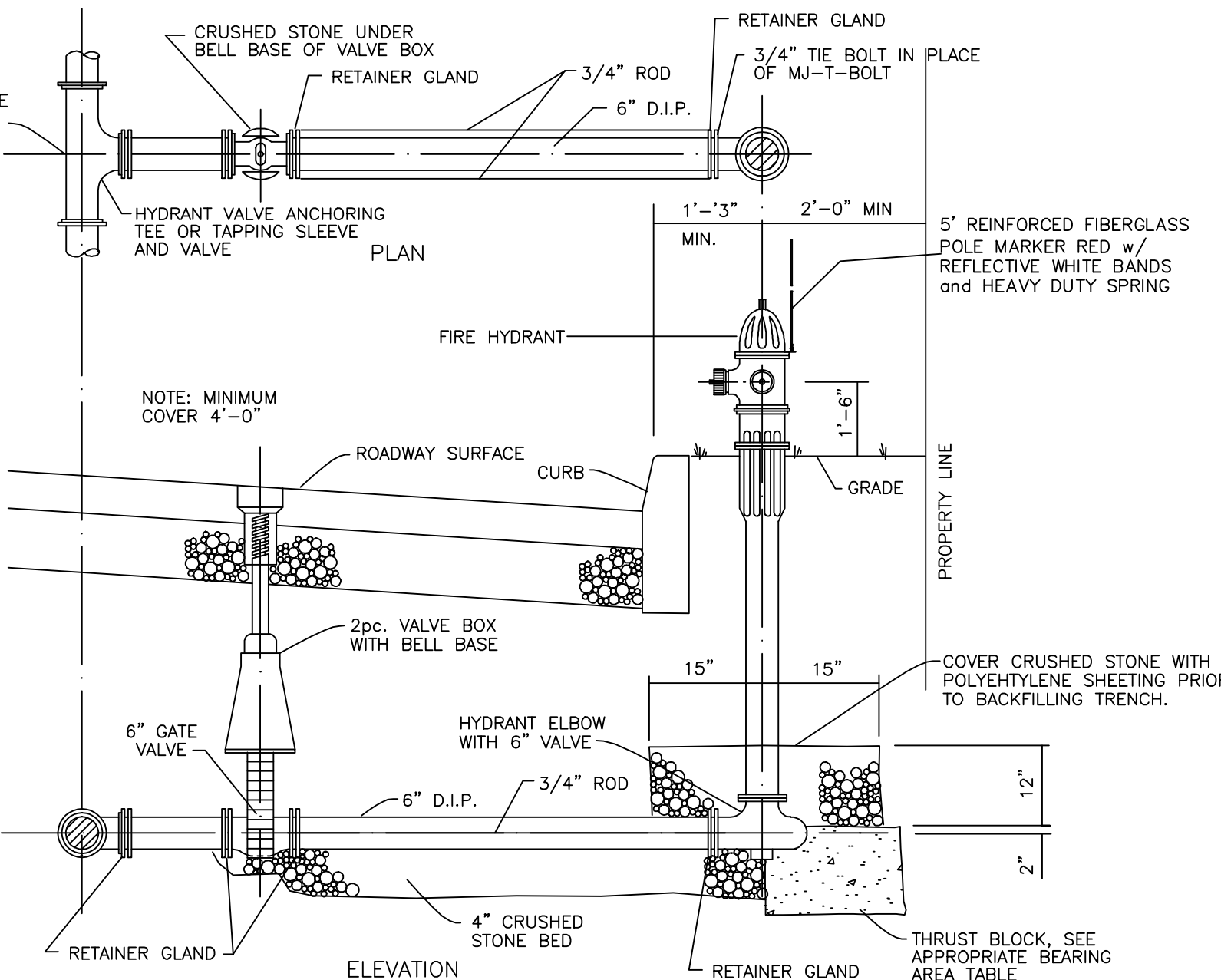
GATE VALVE INSTALLATION
NO SCALE



UTILITY TRENCH RESTORATION DETAIL
NO SCALE

NOTES

1. PREPARE BEDDING: BEDDING MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BEDDING MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS MATERIAL TO GENERALLY MATCH THE END SECTION. EXCAVATE AN AREA IN THE BEDDING WHERE THE TOE TROUGH WILL SEAT SO THAT THE END SECTION WILL ALIGN TO PROPER GRADE IN THE FINISHED INSTALLATION.
2. PLACE END SECTION ON PIPE; OPEN THE END SECTION COLLAR AND SEAT IT OVER THE LAST TWO PIPE CORRUGATIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS ALIGNED TO THE PROPER GRADE.
3. SECURE THE END SECTION: SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO CORRUGATIONS AT THE END OF THE PIPE. PLACE A WASHER ON EITHER END OF THE ROD; PLACE A NUT ON EITHER END OF THE ROD AND HAND TIGHTEN WITH A WRENCH UNTIL THE COLLAR IS TIGHT AROUND THE PIPE. DO NOT OVER-TIGHTEN.
4. SECURE TOE TROUGH: TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TOE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.
5. FINISH BACKFILL: SHOVEL BACKFILL AROUND THE END SECTION IN 6-TO 9-INCH LAYERS EQUALLY ON BOTH SIDES. KNIFING IT IN TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING AND COMPACTING BACKFILL MATERIAL IN LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.



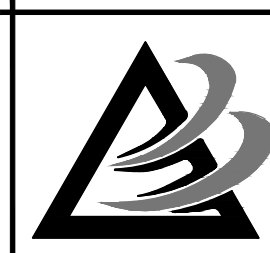
- NOTES:
1. RETAINER GLANDS REQUIRED ON ALL MECHANICAL JOINT FITTINGS.
 2. DRAIN HOLE IN HYDRANT MUST NOT BE OBSTRUCTED WITH CONCRETE.
 3. ALL TIE BOLTS, RODS NUTS AND WASHERS SHALL BE COATED WITH BITUMASTIC AFTER INSTALLATION.
 4. DETAILED HYDRANT SPECIFICATIONS AS TO THREAD DIMENSIONS AND COLOR-CODING TO BE COORDINATED WITH WATER COMPANY AND TOWNSHIP.

FIRE HYDRANT DETAIL
NO SCALE

NO.	REVISION	DATE	BY

SEAL

MANAGER NF	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MET-02	DATE 3/13/20
NOTES	SCALE AS NOTED



BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19404
610.323.4040

www.bursich.com

CLIENT

METHACTON SCHOOL DISTRICT
1001 KRIEBEL MILL ROAD
EAGLEVILLE, PA 19403
610-489-5000

SUBJECT

CONSTRUCTION DETAILS - WATER

ARROWHEAD ELEMENTARY SCHOOL

LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

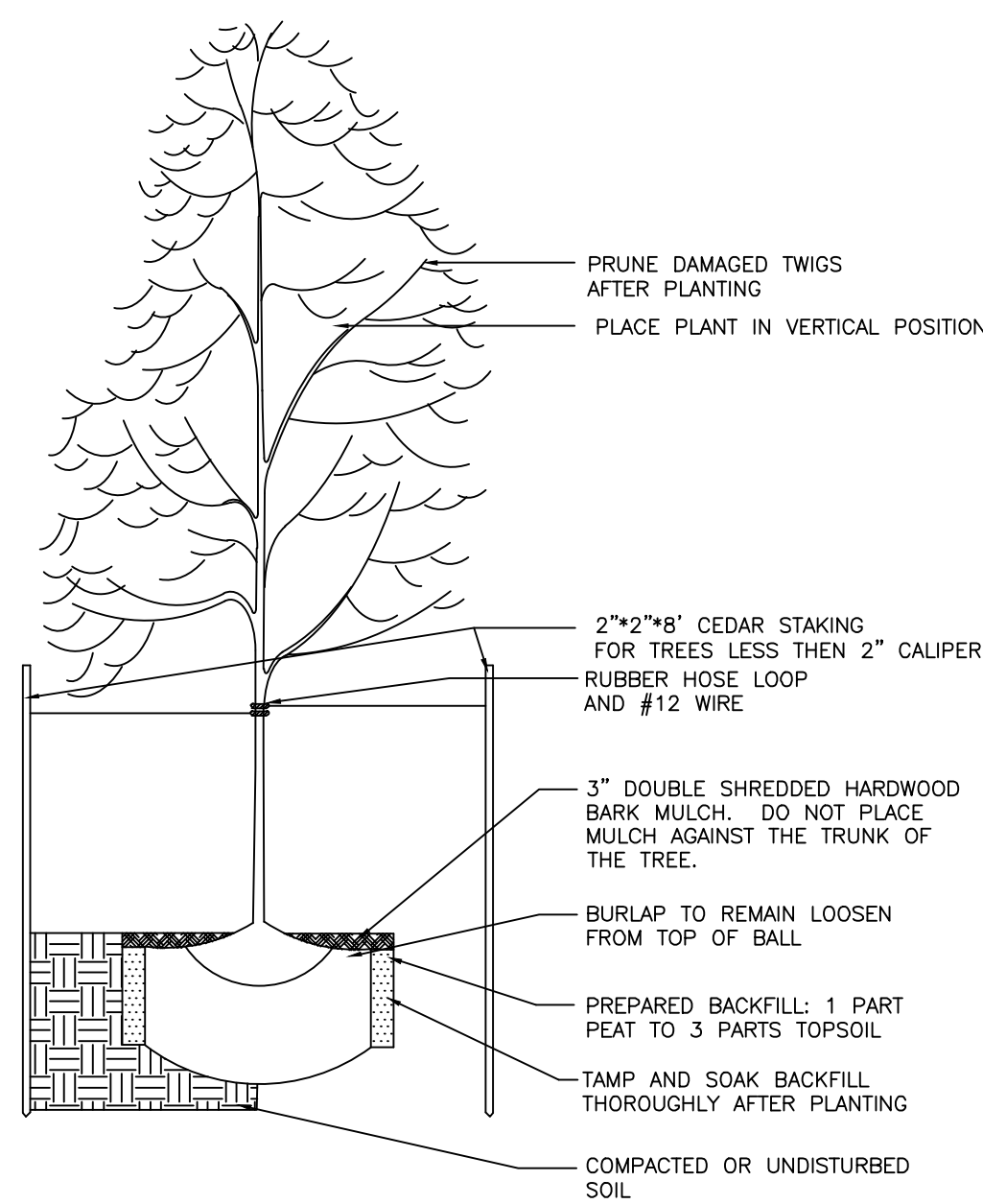
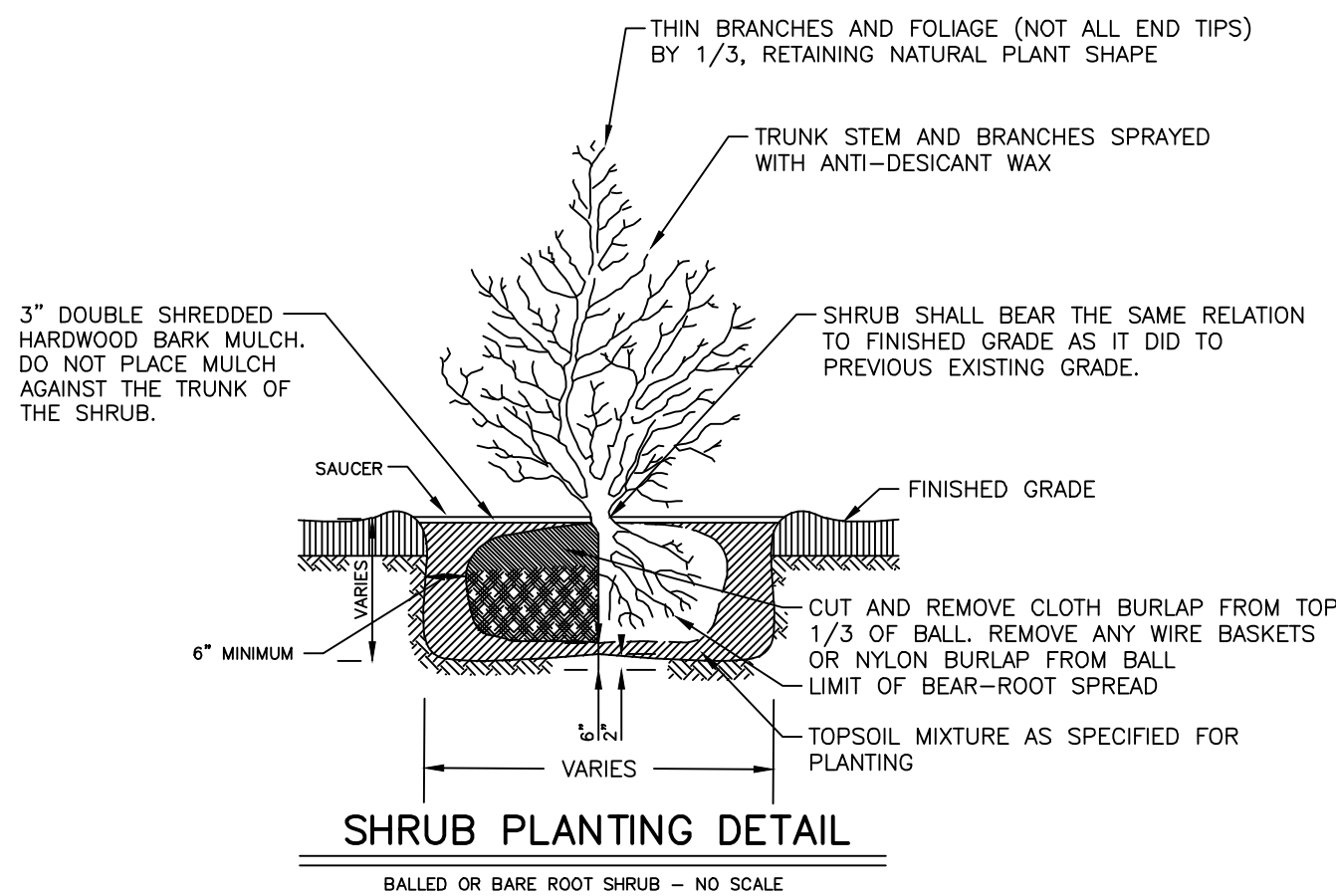
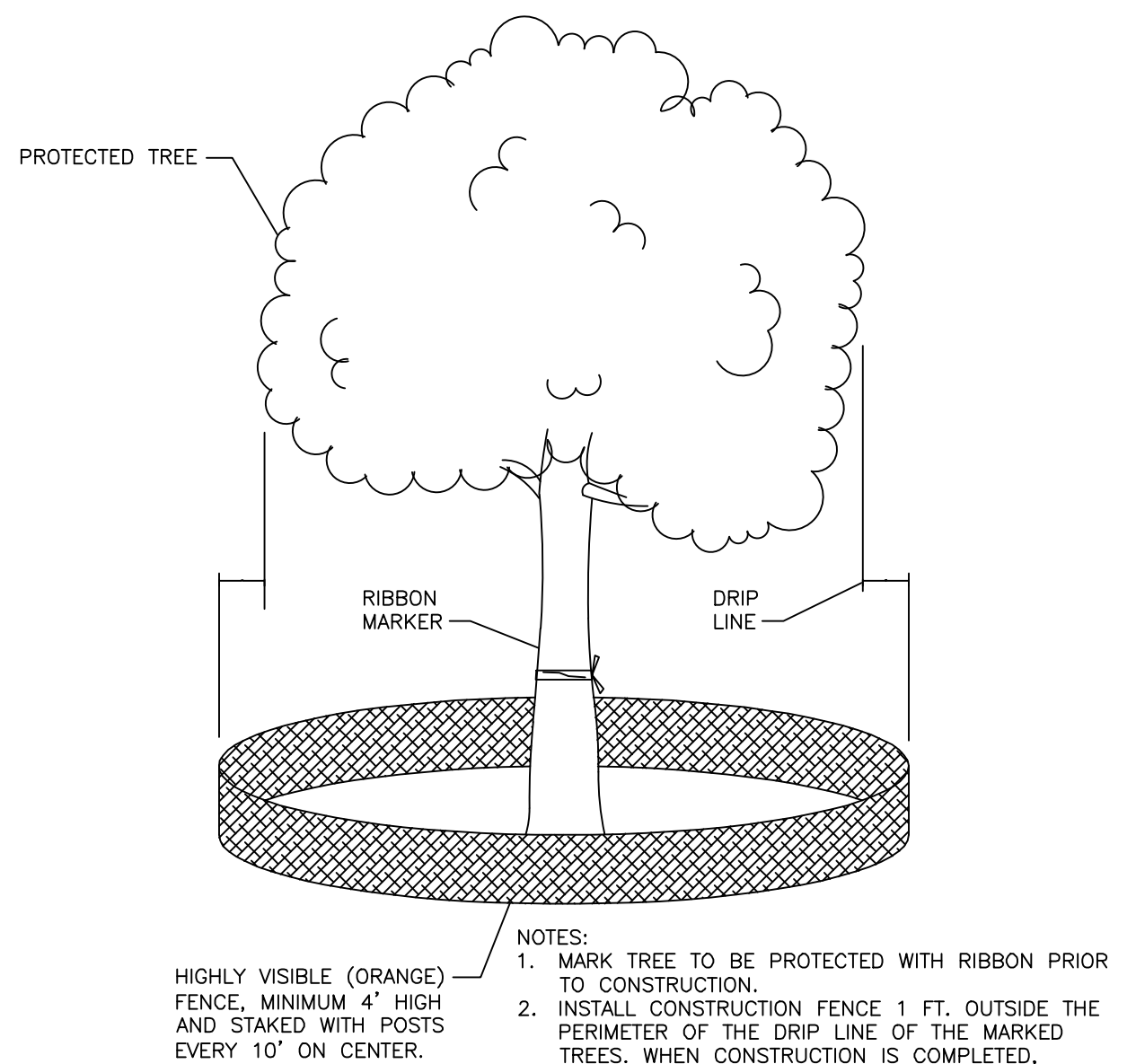
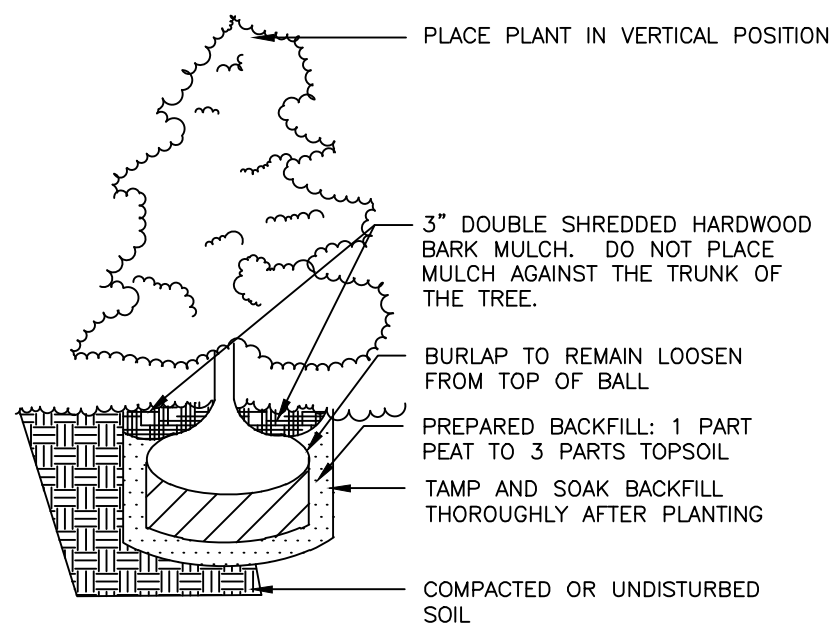
198043-00

SHEET NO.

18 OF 20

DWG. NO.

CD498043



PLANTING REQUIREMENTS

SECTION 123-50.A(3)			
<u>PARKING, LOADING AND DRIVEWAY LANDSCAPING</u>			
77,830 SF PAVEMENT			
1 SHADE TREES PER 5,000 SF OF PAVING	16	29	
1 EVERGREEN TREES PER 5,000 SF OF PAVING	16	3	
1 SHRUB PER 1,500 SF OF PAVING	52	67	

SECTION 123-50.B(1)
PERIMETER LANDSCAPING-ROAD RIGHT OF WAY
 LEVEL ROAD
 925 LF
 1 SHADE TREE PER 50' 19 18 NEW, 1 EXISTING

SECTION 123-50.B(2)
PERIMETER LANDSCAPING-PROPERTY LINES (USE SCREEN BUFFER)

- 1) DOUBLE ROW OF EVERGREEN TREES, 15' O.C. EVERGREEN TREES. TREES MAY BE EVERGREEN, FLOWERING, SHADE OR ORNAMENTAL
- 2) ADDITIONAL TREE PLANTING IN LIEU OF MOUNDING REQUIRES 50% OF THE REQUIRED TREES. AN ALTERNATIVE TO ONLY TREES MAY BE 50% TREES AND 50% LARGE SHRUBS AT A RATIO OF 2 SHRUBS PER TREE.

PROPOSED PERIMETER LANDSCAPING IS VARIED SINCE THE USE OF THE PROPERTY HAS NOT CHANGED AND THE PERIMETER IS RINGED WITH EXISTING TREE AND SAPLING HEDGEROWS. ALONG AREAS OF THE PROPERTY WHERE TREES WERE REMOVED DUE TO GRADING, THE EXISTING HEDGEROWS WERE BOLSTERED WITH ADDITIONAL EVERGREEN AND SHADE TREES.

BUFFER 1
THE EXISTING HEDGEROW WAS NOT DISTURBED AND WILL REMAIN AS THE BUFFER. NO
ADDITIONAL TREES ARE PROPOSED.

BUFFER 2A
THE EXISTING HEDGEROW WAS NOT DISTURBED AND WILL REMAIN AS THE BUFFER. NO
ADDITIONAL TREES ARE PROPOSED.

BUFFER 2B
THE EXISTING HEDGEROW WAS DISTURBED AND TREES WERE REMOVED. 24 ADDITIONAL
EVERGREEN TREES WERE ADDED TO THE EXISTING HEDGEROW.

BUFFER 2C
THE EXISTING HEDGEROW WAS NOT DISTURBED AND WILL REMAIN AS THE BUFFER. NO
ADDITIONAL TREES ARE PROPOSED.

BUFFER 3A
THE EXISTING HEDGEROW WAS NOT DISTURBED AND WILL REMAIN AS THE BUFFER. NO
ADDITIONAL TREES ARE PROPOSED.

BUFFER 3B
THE EXISTING HEDGEROW WAS DISTURBED AND TREES WERE REMOVED. 57 ADDITIONAL
EVERGREEN TREES WERE ADDED TO THE EXISTING HEDGEROW.

BUFFER 3C
THE EXISTING HEDGEROW WAS NOT DISTURBED AND WILL REMAIN AS THE BUFFER. NO
ADDITIONAL TREES ARE PROPOSED.

SECTION 123-114
TREE PRESERVATION, PROTECTION AND REPLACEMENT

17 TREES (OVER 8" CALIPER) IN THE LAWN AREA WILL BE REMOVED FOR THE NEW SCHOOL.

PARTS OF THE HEDGEROW ALONG THE PERIMETER WILL BE REMOVED AS WELL. A SAMPLE AREA (BY THE LOADING DOCK) INDICATES 23 TREES ARE LOCATED IN AN AREA WITH A CANOPY COVER OF 17,480 SF FOR AN AVERAGE OF 1 TREE PER 760 SF OF CANOPY. ROUGHLY 31,220 SF OF CANOPY WILL BE REMOVED FOR GRADING INDICATING THAT 41 MORE REPLACEMENT TREES ARE NEEDED FOR A TOTAL REPLACEMENT COUNT OF 58 TREES.

44 SHADE TREES, 5 EVERGREEN TREES AND 18 ORNAMENTAL TREES (TWO PER SHADE TREE) MAKE UP THE 58 REPLACEMENT TREES.

REPLACEMENT PLANTINGS ARE IN ADDITION TO THE TREES AND SHRUBS REQUIRED BY TOWNSHIP ORDINANCE.

ADDITIONAL REPLACEMENT TREES SHALL BE PROVIDED FOR TREES WHICH ARE INDICATED TO REMAIN BUT INSTEAD ARE REMOVED DURING CONSTRUCTION. A FINAL COUNT OF THE TREES THAT ARE REMOVED CAN BE MADE DURING CONSTRUCTION.

Planting Schedule						
Sym	No.	Native	Botanical Name	Common Name	Min. Planting Height/Width	Comments
	12	YES	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE 'OCTOBER GLORY'	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	10	YES	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	6' HIGH	MULTI TRUNK, FULL HEAD
	4	YES	BETULA NIGRA	RIVER BIRCH	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	4	YES	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	6' HIGH	STRAIGHT TRUNK, FULL HEAD
	4	YES	CORNUS MAS	CORNELIAN CHERRY DOGWOOD	6' HIGH	STRAIGHT TRUNK, FULL HEAD
	19	YES	GLEDETISIA TRIACANTHOS INERMIS 'IMPCOLE'	IMPERIAL HONEYLOCUST	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	27	YES	HYDRANGEA ARBORESCENS	SMOOTH HYDRANGEA	18" HIGH/WIDE	
	16	YES	ILEX VERTICILLATA	WINTERBERRY HOLLY	18" HIGH/WIDE	14 RED SPRITE WINTERBERRY HOLLY 2 JIM DANDY WINTERBERRY
	25	NO	JUNIPERUS S. TAMARISCIFOLIA	TAMS JUNIPER	18" HIGH/WIDE	
	17	YES	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' HIGH	STRAIGHT TRUNK, FULL BODY
	7	YES	LIQUIDAMBAR STYRACIFLUA ROTUNDILOBA	ROTUNDILOBA SWEET GUM	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	5	YES	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	8	YES	NYSSA SYLVATICA	BLACK GUM	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	12	YES	QUERCUS ALBA	WHITE OAK	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	13	YES	QUERCUS PHELOS	WILLOW OAK	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD
	20	NO	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' HIGH	STRAIGHT TRUNK, FULL BODY
	32	YES	PINUS STROBUS	WHITE PINE	6' HIGH	STRAIGHT TRUNK, FULL BODY
	20	YES	THUJA OCCIDENTALIS 'NIGRA'	DARK GREEN ARBORVITAE	6' HIGH	STRAIGHT TRUNK, FULL BODY
	11	NO	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	2.5" CALIPER	STRAIGHT TRUNK, FULL HEAD

LANDSCAPE NOTES:

1. THE LOCATION, DIMENSIONS AND SPACING OF REQUIRED PLANTINGS SHOULD BE ADEQUATE FOR THEIR PROPER GROWTH AND MAINTENANCE, TAKING INTO ACCOUNT THE SIZES OF SUCH PLANTINGS AND MATURING TIMES, THEIR PRESENT AND FUTURE ENVIRONMENTAL REQUIREMENTS, SUCH AS WIND, SOIL, HUMIDITY AND SUNLIGHT.
2. PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY. ALL PLANTS SHALL MEET THE MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITION AS OUTLINED IN THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS, LATEST EDITION.
3. ALL PLANT MATERIAL SHALL BE HARDY WITHIN THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) HARDINESS ZONE 6, APPLICABLE TO LIMERICK TOWNSHIP.
4. CANOPY TREES SHALL REACH A MINIMUM HEIGHT AND SPREAD OF 30 FEET AT MATURITY AS DETERMINED BY THE AAN STANDARDS AND SHALL BE DECIDUOUS. NEW TREES SHALL HAVE A MINIMUM CALIPER OF 2.5 INCHES AT PLANTING.
5. ORNAMENTAL OR LARGE SHRUBS SHALL REACH A TYPICAL MINIMUM HEIGHT OF 10 FEET AT MATURITY BASED ON AAN STANDARDS. TREES AND SHRUBS MAY BE DECIDUOUS OR EVERGREEN AND SHALL HAVE A DISTINCTIVE ORNAMENTAL CHARACTER, SUCH AS SHOWY FLOWERS, FRUIT, OR TEXTURE OF LEAF. NEW ORNAMENTAL TREES SHALL HAVE A MINIMUM HEIGHT OF SIX FEET OR A ONE-AND-HALF INCH CALIPER. NEW LARGE SHRUBS SHALL HAVE A MINIMUM SIZE OF 2.5 FT. AT TIME OF PLANTING.
6. SMALL SHRUBS MAY BE EVERGREEN OR DECIDUOUS AND SHALL HAVE A MINIMUM HEIGHT AT MATURITY OF FOUR FEET BASED ON AAN STANDARDS FOR THAT SPECIES, EXCEPT FOR PARKING LOT ISLAND SHRUBS. NEW SHRUBS SHALL HAVE A MINIMUM SIZE OF 18 INCHES AT TIME OF PLANTING.
7. EVERGREEN TREES SHALL REACH A TYPICAL MINIMUM HEIGHT OF 20 FEET AT MATURITY BASED ON AAN STANDARDS FOR THAT SPECIES, AND SHALL REMAIN EVERGREEN THROUGHOUT THE YEAR. NEW EVERGREENS SHALL HAVE A MINIMUM HEIGHT AT PLANTING OF SIX FEET.
8. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE DEVELOPER FOR 18 MONTHS FROM THE DATE OF FINAL APPROVAL OF THE LANDSCAPE INSTALLATION BY THE TOWNSHIP ENGINEER, UNTIL A DASH OF FORTY-ONE (41) INSPECTION BETWEEN MAY 15 AND NOVEMBER 15. ANY PLANT MATERIAL THAT IS 25% OR GREATER DEAD SHALL BE CONSIDERED DEAD.
9. SOIL CONDITIONS SHALL BE TESTED PRIOR TO PLANTING AND TREATED WITH APPROPRIATE INGREDIENTS TO BALANCE THE PH.
10. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND DIMENSIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
11. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES AND SHALL ASSUME RESPONSIBILITY FOR DAMAGES TO UTILITIES AND PROPERTY AS A RESULT OF HIS WORK.
12. PLANT MATERIAL SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED OR CONTAINER GROWN. IT SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, VIGOROUS ROOT SYSTEM AND SURVIVABLE UNDER THE MAINTENANCE CONTEMPLATED.
13. ALL PLANTING MATERIALS SHALL BE INSTALLED PER THE A.A.N. STANDARDS WITH REGARD TO SIZE, BALLING, BALLING MIXTURE, STACKING AND CUYING, OR AS MAY BE INDICATED ON THE DRAWINGS.

ADDITIONALLY:

- TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
- TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOGETHER IN NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND BE CERTIFIED BY THE APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP OR PROPERLY ACCLIMATED TO CONDITIONS OF THE TOWNSHIP.

1. ALL STREET TREES SHALL BE PLANTED A MINIMUM DISTANCE OF FIVE (5) FEET FROM THE ULTIMATE RIGHT-OF-WAY LINE.
15. TREES SHALL BE PLANTED A MINIMUM DISTANCE OF THREE (3) FEET FROM CURBS AND SIDEWALKS, FIFTEEN (15) FEET FROM OVERHEAD UTILITIES AND SIX (6) FEET FROM UNDERGROUND UTILITIES.
16. TREES AND OTHER REQUIRED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING OF THE LAND DEVELOPMENT HAS BEEN COMPLETED.
17. ADDITIONAL FOUNDATION OR SITE LANDSCAPING MAY BE ADDED AT THE OWNER'S EXPENSE
18. AFTER INSTALLATION PRUNE BRANCHES AND FOLIAGE (NOT ALL EVERGREENS OR DECIDUOUS END TIPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. DO NOT CUT LEADER ON ANY EVERGREEN SHRUB OR ANY EVERGREEN OR DECIDUOUS TREE. SPRAY TRUNK STEM AND BRANCHES WITH ANTI-DESICCANT WAX.
19. TREES AND SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS PREVIOUS FINISH GRADE IN NURSERY.
20. SCARIFY COMPACTED SUBSOILS AT BOTTOM AND SIDES OF PLANTING PIT BEFORE INSTALLATION.
21. THESE LANDSCAPE PLANS SHALL BE REGARDED AS SCHEMATIC IN NATURE. ALL PLANT LOCATIONS SHALL BE SUBJECT TO FIELD ADJUSTMENT BY THE OWNER'S REPRESENTATIVE.
22. ALL AREAS UNDERLAIN BY ROCK ARE TO BE MEASURED TO DETERMINE IF MINIMUM DEPTH NECESSARY TO PERMIT PLACEMENT OF BACKFILL REQUIRED TO ENSURE PROPER FEASIBILITY OF THE PROPERTY OWNER TO ENSURE ALL PLANTINGS ARE FEASIBLE TO ACHIEVE PROPER PLANTING. CONTRACTOR SHALL REPORT THIS CONDITION TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL ON METHOD OF PLANTING.
23. GRADING OF SOILS OVER THE ROOTS OF TREES TO BE PRESERVED IS STRICTLY PROHIBITED.
24. CLEANLY PRUNE ALL DAMAGED ROOT ENDS IMMEDIATELY PRIOR TO BACKFILLING PLANTING PIT.
25. ALL SIGHT TRIANGLES SHALL REMAIN CLEAR OF OBSTRUCTIONS AND ANY PLANT MATERIAL WHICH COULD ENDANGER SAFETY SHALL BE REMOVED. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO ENSURE ALL PLANTINGS AND ARCHITECTURAL ELEMENTS ARE MAINTAINED TO PROVIDE A SAFE ENVIRONMENT.
26. IT SHALL BE THE RESPONSIBILITY OF THE LANDOWNERS, TENANTS AND/OR OTHER OCCUPANTS OF THE PREMISES TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, WHICH RESPONSIBILITY SHALL INCLUDE WATERING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTING AND FERTILIZING TO MAINTAIN HEALTHY GROWTH, UNLESS SPECIFIED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.
27. EXISTING VEGETATION INTENDED TO REMAIN AS PART OF THE LANDSCAPING OF A SUBDIVISION OR LAND DEVELOPMENT SHALL BE IDENTIFIED IN THE FIELD PRIOR TO ANY CLEARING AND PHYSICALLY PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. A TEMPORARY PHYSICAL BARRIER SHALL BE ERECTED A MINIMUM OF ONE FOOT OUTSIDE THE DRIP LINE OF INDIVIDUAL TREES, TREE MASSES OR WOODLANDS PRIOR TO MAJOR CLEARING OR CONSTRUCTION. THE BARRIER SHALL REMAIN UNTIL CONSTRUCTION IS COMPLETE. SEE TREE PROTECTION DETAILS AND SPECIFICATIONS.
28. REQUIRED PLANT MATERIAL SHALL BE MAINTAINED FOR THE LIFE OF THE PROJECT TO ACHIEVE THE REQUIRED VISUAL EFFECT OF THE BUFFER OR SCREEN. IT SHALL BE THE ULTIMATE RESPONSIBILITY OF SUCCESSIVE PROPERTY OWNERS TO ENSURE THAT THE REQUIRED PLANTINGS ARE PROPERLY MAINTAINED. DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED PROMPTLY BY THE PROPERTY OWNER AND REPLACED AT THE NEXT GROWING SEASON.

[illegible]

[illegible]

SUBJECT <u>CONSTRUCTION DETAILS – LIGHTING</u> ARROWHEAD ELEMENTARY SCHOOL LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA		JOB NO. 198043–00 SHEET NO. 20 OF 20 DWG. NO. CD698043
--	--	--

POLE

HANDHOLE

GROUND BONDING JUMPER

PROVIDE GROUT BETWEEN BASE COVER AND TOP OF CONCRETE

2'-0" FOR LIGHTS W/IN 5' OF VEHICULAR TRAFFIC

0'-3" FOR LIGHTS OUTSIDE 5' OF VEHICULAR TRAFFIC

ANCHOR BOLTS

4'-0" FOR POLES UNDER 20' HIGH

5'-0" FOR POLES 20'-29' HIGH

6'-0" FOR POLES OVER 30' HIGH OR PER MANUFACTURER'S RECOMMENDATIONS (WHICHEVER IS GREATER)

REINFORCING RODS (8 #3 VERTICAL W/ #3 HORIZ. AT 12" O.C.)

DEFORMED RE-BAR 2'-0" BELOW BASE

FINISH GRADE

BASE COVER

1"-2" CHAMFER ON TOP EDGE OF CONCRETE

GRIND ALL EXPOSED CONCRETE SMOOTH

PVC CONDUIT FOR BRANCH WIRING

SONOTUBE POURED BASE

4,000 PSI CONCRETE

(18" DIA. FOR POLES UP TO 25' HIGH

24" DIA. FOR POLES OVER 25' HIGH. INCREASE AS REQUIRED TO SUIT BOLT CIRCLE.)

LIGHT POLE BASE

NO SCALE

SEAL	MANAGER NF _____		
	DESIGN KK	CHKD. BY	
	DRAFT BG	CHKD. BY	
	FILE MET-02	DATE 3/13/20	
	NOTES	SCALE AS NOTED	

P26 PureForm LED medium

Area light

LED Wattage and Lumen Values - 3000K

Ordering Code	Total LED's	LED Current (mA)	LED Color Temp.	Average System Watts	Type 2			Type 3			Type 4		
					Lumen Output	BUG Rating	Efficiency (LPW)	Lumen Output	BUG Rating	Efficiency (LPW)	Lumen Output	BUG Rating	Efficiency (LPW)
P26-48L-400-WW-G2-x	48	400	3000	60	7,673	B2-U0-G2	126	7,420	B1-U0-G2	124	7,698	B1-U0-G2	128
P26-48L-500-WW-G2-x	48	500	3000	74	9,380	B2-U0-G2	126	9,070	B2-U0-G2	124	9,409	B2-U0-G2	127
P26-48L-600-WW-G2-x	48	600	3000	89	10,987	B2-U0-G2	123	10,504	B2-U0-G2	119	10,999	B2-U0-G2	124
P26-48L-700-WW-G2-x	48	700	3000	101	12,477	B1-U0-G2	123	12,054	B2-U0-G2	119	12,314	B2-U0-G2	124
P26-64L-400-WW-G2-x	64	600	3000	114	14,493	B1-U0-G3	127	14,011	B2-U0-G3	123	14,536	B2-U0-G3	127
P26-64L-500-WW-G2-x	64	700	3000	133	16,602	B1-U0-G3	124	15,859	B2-U0-G3	119	16,483	B3-U0-G3	124
P26-64L-600-WW-G2-x	64	800	3000	151	18,346	B2-U0-G3	121	17,775	B3-U0-G3	117	18,538	B3-U0-G3	121
P26-64L-700-WW-G2-x	64	900	3000	169	20,777	B3-U0-G3	123	20,041	B3-U0-G4	119	20,749	B3-U0-G4	123
P26-80L-800-WW-G2-x	80	800	3000	192	22,735	B1-U0-G3	119	21,983	B3-U0-G4	115	22,803	B3-U0-G4	119
P26-80L-900-WW-G2-x	80	900	3000	219	24,540	B3-U0-G4	118	23,842	B3-U0-G4	108	24,482	B3-U0-G4	112

Ordering Code	Total LED's	LED Current (mA)	LED Color Temp.	Average System Watts	Type 5			Type 3W			Type AFR			Type BLC		
					Lumen Output	BUG Rating	Efficiency (LPW)	Lumen Output	BUG Rating	Efficiency (LPW)	Lumen Output	BUG Rating	Efficiency (LPW)	Lumen Output	BUG Rating	Efficiency (LPW)
P36-48L-400-WW-G2-x	48	400	3000	60	7,916	B3-U0-G2	132	7,944	B3-U0-G2	132	7,854	B2-U0-G1	131	8,872	B0-U0-G2	138
P36-48L-500-WW-G2-x	48	500	3000	74	9,634	B3-U0-G2	130	9,719	B4-U0-G2	131	9,599	B4-U0-G2	129	7,718	B0-U0-G2	137
P36-48L-600-WW-G2-x	48	600	3000	89	11,308	B4-U0-G2	127	11,391	B4-U0-G2	128	11,223	B5-U0-G2	126	8,792	B1-U0-G2	134
P36-48L-700-WW-G2-x	48	700	3000	101	12,863	B4-U0-G2	127	12,923	B4-U0-G2	129	12,769	B5-U0-G2	128	8,544	B1-U0-G2	134
P36-64L-400-WW-G2-x	64	600	3000	114	14,940	B4-U0-G2	131	15,008	B4-U0-G2	131	14,832	B3-U0-G2	130	11,091	B1-U0-G2	137
P36-64L-500-WW-G2-x	64	700	3000	133	16,907	B4-U0-G2	127	16,988	B5-U0-G3	128	16,786	B5-U0-G2	126	12,550	B1-U0-G2	135
P36-64L-600-WW-G2-x	64	800	3000	153	18,349	B5-U0-G2	124	18,244	B5-U0-G3	125	18,184	B5-U0-G2	123	14,964	B1-U0-G3	132
P36-64L-700-WW-G2-x	64	900	3000	169	20,343	B5-U0-G3	127	20,409	B5-U0-G3	127	20,232	B5-U0-G2	125	16,801	B1-U0-G3	134
P36-80L-800-WW-G2-x	80	800	3000	192	22,463	B5-U0-G3	122	22,548	B5-U0-G3	123	22,287	B5-U0-G2	121	17,398	B1-U0-G3	131
P36-80L-900-WW-G2-x	80	900	3000	219	25,202	B5-U0-G3	115	25,282	B5-U0-G4	115	24,681	B3-U0-G2	114	18,676	B1-U0-G3	135

LED Wattage and Lumen Values - 4000K

BURSICH ASSOCIATES ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS 2129 EAST HIGH STREET POTTSTOWN, PA 19464 610.323.4040	CLIENT METHACTON SCHOOL DISTRICT 1001 KRIEBEL MILL ROAD EAGLEVILLE, PA 19403 610-489-5000
www.bursich.com	



NO.	REVISION	DATE	BY	