Stop - Call Before You Dig!
Pennsylvania Act 811 requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth
Pennsylvania One Call System, Inc.
811 or 1-800-242-1776

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR

MOSCARIELLO AT CROSSKEYS

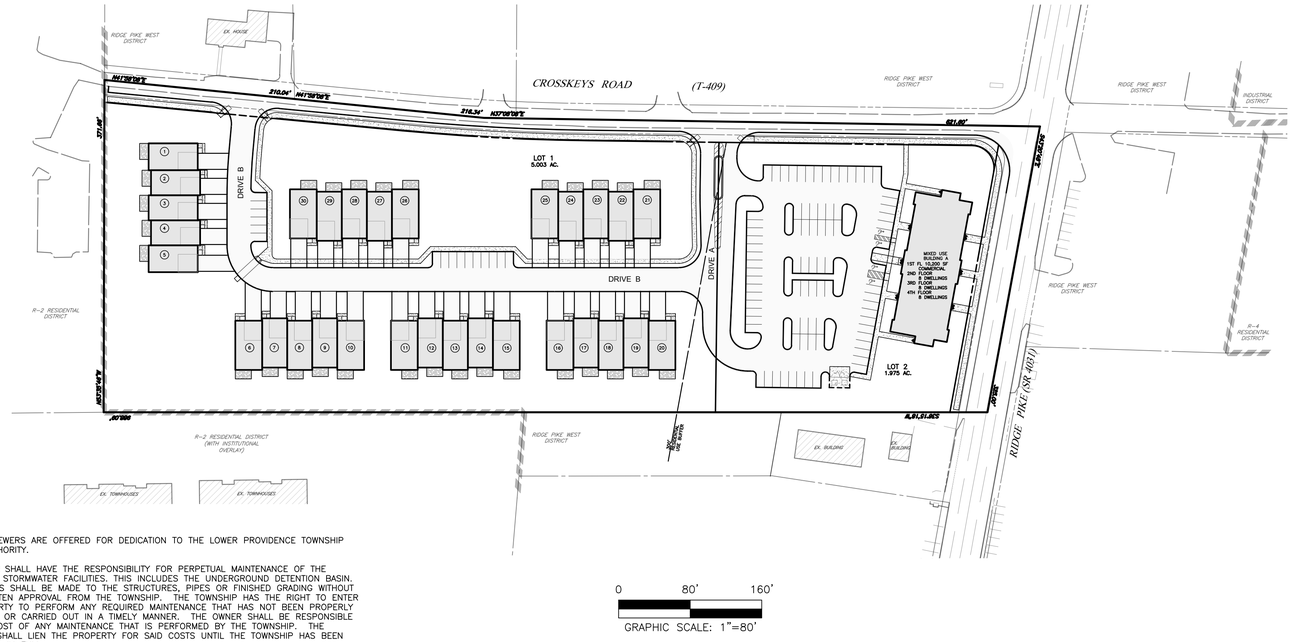
LOWER PROVIDENCE TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

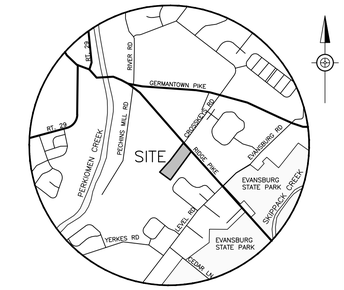
PRELIMINARY / FINAL MINOR SUBDIVISION & LAND DEVELOPMENT PLAN SHEET LIST		
SHEET NUMBER	DRAWING NUMBER	SHEET DESCRIPTION
1	TS167680	TITLE SHEET
2	MS167680	MINOR SUBDIVISION/EASEMENT PLAN
3	SP167680	SITE PLAN
4	EF167680	EXISTING FEATURES & DEMOLITION PLAN
5	SF167680	SURROUNDING FEATURES PLAN
6	GR167680	GRADING PLAN
7	UT167680	UTILITY PLAN
8	LA167680	LANDSCAPE PLAN
9	LI167680	LIGHTING PLAN
10	RP167680	PLAN & PROFILE: DRIVE A & B
11	RP267680	PLAN & PROFILE: CROSSKEYS ROAD
12	RP367680	STORM SEWER PROFILES
13	TC167680	TRUCK CIRCULATION PLAN
14	CD167680	PAVEMENT CONSTRUCTION DETAILS
15	CD267680	RETAINING WALL & ADA CONSTRUCTION
16	CD367680	SIGNS & TRENCHING CONSTRUCTION DETAILS
17	CD467680	SANITARY CONSTRUCTION DETAILS
18	CD567680	LANDSCAPE CONSTRUCTION DETAILS
19	CD667680	LIGHTING CONSTRUCTION DETAILS

PLANS TO BE RECORDED

E&S CONTROL PLAN / PCSWM PLAN SHEET LIST		
SHEET NUMBER	DRAWING NUMBER	SHEET DESCRIPTION
1	ES167680	EROSION CONTROL PLAN
2	ES267680	EROSION CONTROL DETAILS
3	ES367680	EROSION CONTROL DETAILS
4	ES467680	EROSION CONTROL NOTES
5	ES567680	EROSION CONTROL NOTES
6	PC167680	POST CONSTRUCTION STORMWATER PLAN
7	PC267680	PCSM CONSTRUCTION DETAILS
8	PC367680	PCSM CONSTRUCTION DETAILS
9	PC467680	PCSM CONSTRUCTION DETAILS
10	PC567680	PCSM CONSTRUCTION NOTES

TO BE RECORDED SEPARATELY WITH POST CONSTRUCTION STORMWATER MANAGEMENT INSTRUMENT





LOCATION MAP
SCALE:1"=2000'

GENERAL NOTES:

1. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN IS FROM A FIELD SURVEY BY PERFORMED BY BURSICH ASSOCIATES, INC. ON: JANUARY 11, 2017.
2. HORIZONTAL BEARING BASED ON NORTH AMERICAN DATUM 1983.
3. VERTICAL DATUM BASED ON NATIONAL GEODETIC VERTICAL DATUM 1988.
4. REFERENCE PLANS:

   PENNDOT DRAWINGS FOR CONSTRUCTION, ROUTE 146, SECTION 1-B, MONTGOMERY COUNTY, STATION 334+80 TO 403+00, DATED MARCH 31, 1938.

   BOUNDARY SURVEY FOR THE ELECTRIC HOME ASSOCIATION OF I.B.E.W. LOCAL #380 PREPARED BY POLARIS SURVEYING AND FORESTRY, DATED JULY 5, 2002.

   BOUNDARY SURVEY FOR THE ELECTRIC HOME ASSOCIATION OF I.B.E.W. LOCAL #380 JOINT APPRENTICESHIP TRAINING CENTER TRACTS PREPARED BY POLARIS SURVEYING AND FORESTRY, DATED MAY 1, 2009.

   SUBDIVISION PLAN FOR BUTERA TRACT PREPARED BY IRICK & EBERHART, JOB NUMBER 9924, PREPARED FEBRUARY 11, 2011 AND LAST REVISED JUNE 29, 2002.
5. UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
6. ZONING INFORMATION OBTAINED FROM TOWNSHIP ZONING ORDINANCE (AS POSTED ON THE TOWNSHIP WEBSITE) AT TIME OF SURVEY.
7. THIS PROPERTY IS NOT LOCATED WITHIN A FLOODPLAIN ACCORDING TO FEMA FIRM MAP NUMBER 42091C0237G, DATED MARCH 2, 2016.
8. THE PENNSYLVANIA ONE CALL SYSTEM ACT 38 SERIAL NUMBER FOR THIS PROJECT IS 20163341067.
9. THE PROPERTY OWNER, ITS SUCCESSORS OR ASSIGNS, OFFERS FOR DEDICATION TO THE AGENCY HAVING JURISDICTION AT THE TIME OF DEDICATION, THE AREA(S) BETWEEN THE TITLE LINE OR LEGAL RIGHT-OF-WAY LINE AND THE ULTIMATE RIGHT-OF-WAY LINE OF THE EXISTING ROADS LOCATED ALONG THE SUBJECT SITE FRONTAGE.
10. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
11. THIS PLAT IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH BURSICH ASSOCIATES, INC. WAS CONTRACTED TO PERFORM, EXCEPT ANY RECORDED OR UNRECORDED EASEMENTS WHICH MAY NOT BE VISIBLE OR SUPPLIED TO BURSICH.
12. PERMANENT CONCRETE MONUMENTS SHALL BE PLACED AS INDICATED ON THE PLAN BY THE SYMBOL "■". PROPOSED LOT CORNERS SHALL BE MARKED WITH SOLID STEEL PINS OF AT LEAST 5/8" DIAMETER AND A MINIMUM LENGTH OF 18 INCHES AS PART AT THE TIME CONSTRUCTION ACTIVITIES ARE COMPLETED.
13. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND EXCEPT FOR THE RELOCATION OF THE EXISTING UTILITY POLES ALONG CROSSKEYS ROAD.
14. THERE ARE NO WETLAND SOILS LOCATED ON THE PROPERTY.
15. A SEARCH WAS CONDUCTED ON , 2020 REGARDING THE PRESENCE OF THREATENED AND ENDANGERED SPECIES AND/OR SPECIAL CONCERN SPECIES AND RESOURCES WITHIN THE SUBJECT TRACT FROM THE NATURAL RESOURCES PENNSYLVANIA NATURAL HERITAGE PROGRAM (PHMP). THE RECEIPT FOR THE PROJECT SEARCH PNDI– PHMP RESPONDED "NO KNOWN IMPACTS" WERE ENCOUNTERED AN NO FURTHER REVIEW REQUIRED.
16. THE APPROVED CONSTRUCTION PLANS, A COPY OF WHICH MAY BE INSPECTED AT THE TOWNSHIP OFFICE, HAS BEEN MADE A PART OF THE APPROVED FINAL PLAN.
17. ALL PARKING LOTS, AND STORMWATER FACILITIES WILL BE OWNED AND MAINTAINED BY THE LOT OWNER OR HOMEOWNERS ASSOCIATION SET UP FOR THAT LOT.
18. SANITARY SEWERS ARE OFFERED FOR DEDICATION TO THE LOWER PROVIDENCE TOWNSHIP SEWER AUTHORITY.
19. THE OWNER SHALL HAVE THE RESPONSIBILITY FOR PERPETUAL MAINTENANCE OF THE PERMANENT STORMWATER FACILITIES. THIS INCLUDES THE UNDERGROUND DETENTION BASIN. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR FINISHED GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. THE TOWNSHIP HAS THE RIGHT TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED MAINTENANCE THAT HAS NOT BEEN PROPERLY PERFORMED OR CARRIED OUT IN A TIMELY MANNER. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE THAT IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED IN FULL.
20. THE PROJECT WILL BE SERVED BY PUBLIC SEWER AND WATER.
21. UTILITY EASEMENT SHALL NOT BE PLANTED WITH TREES OR SHRUBS OR STRUCTURES BUILT UPON THEM (EXCEPT FOR THE LANDSCAPING SHOWN ON THESE PLANS). STORM DRAINAGE EASEMENTS SHALL NOT BE CONSTRUCTED UPON OR FILLED WITH EARTH OR DEBRIS.
22. THE DEVELOPER SHALL INSTALL ALL REQUIRED STREET AND REGULATORY SIGNS.
23. BUILDING SIZES ARE REPRESENTATIVE OF THE STRUCTURES TO BE BUILT. FINAL BUILDING CONFIGURATIONS MAY VARY AND WILL BE SUPPLIED WITH THE BUILDING PERMITS FOR EACH STRUCTURE.
24. USER NOTICE: ANY USER OF THESE PLANS IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE AGENCY IN THE EVENT OF DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS. THE APPLICABLE AGENCY MUST BE CONTACTED AND DISCREPANCIES RESOLVED BEFORE PROPOSED IMPROVEMENTS ARE CONSTRUCTED, THE PREPARER OF THESE PLANS AND ALL REVIEWING AGENCIES ARE NOT LIABLE FOR ANY ERRONEOUS CONSTRUCTION PERFORMED DUE TO DISCREPANCIES.
25. A MINIMUM OF EIGHT INCHES OF TOPSOIL IS REQUIRED AT ALL AREAS OF THE SITE THAT ARE NOT IMPERVIOUS COVERED. NO RELEASE OF EXCESS TOPSOIL IS PERMITTED FROM THE SITE UNTIL APPROVED BY THE TOWNSHIP ENGINEER.
26. ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, MONTGOMERY COUNTY CONSERVATION DISTRICT, OR ANY OTHER OPERATING UTILITY, AUTHORITY, OR AGENCY. IN THE EVENT OF CONFLICT, THE MORE STRINGENT SHALL APPLY.
27. NO FENCES, HEDGES, TREES, SHRUBBERY WALLS, PLANTINGS, OR OTHER OBSTRUCTIONS SHALL BE LOCATED OR PERMITTED WITHIN THE RIGHT-OF-WAY, EXCEPT GROUND COVER.
28. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR 18 MONTHS FROM THE DATE PLANTED. ANY PLANTING MATERIAL DEEMED DEAD OR IN DETERIORATING CONDITION IN THE OPINION OF THE TOWNSHIP ENGINEER SHALL BE REPLACED AT THE DEVELOPER'S EXPENSE.
29. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNTIL SUCH TIME AS ALL DISTURBED AREAS ARE ADEQUATELY TOPSOILED AS DETERMINED BY THE TOWNSHIP ENGINEER.
30. THIS PLAN IS SUBJECT TO THE TERMS AND PROVISIONS AS DEFINED IN THE LOWER PROVIDENCE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE CHAPTER 129.
31. IMPROVEMENTS TO THE CROSSKEYS ROAD/RIDGE PIKE INTERSECTION AND IMPROVEMENTS TO RIDGE PIKE ALONG THE SUBJECT PROPERTY SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF PENNDOT. A HIGHWAY OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY IMPROVEMENTS MADE WITHIN RIDGE PIKE.
32. COMMERCIAL "USES" ON LOT 2 SHALL BE LEASED TO ACCOMMODATE THE AVAILABLE PARKING SPACES. THE COMBINED COMMERCIAL USES SHALL NOT NEED MORE THAN 87 SPACES BASED ON THE TOWNSHIP ZONING ORDINANCE SECTION 143-71 REQUIREMENTS.
33. CROSSKEYS ROAD (ALONG THIS SITES ROAD FRONTAGE) SHALL RECEIVE FULL BASE REPAIR AS NEEDED DUE TO THIS PROJECTS CONSTRUCTION AND A FULL WIDTH OVERLAY.
34. A BLANKET STORM SEWER EASEMENT IS OFFERED OVER THE ENTIRE SITE IN FAVOR OF LOWER PROVIDENCE TOWNSHIP FOR THE PURPOSE OF INSPECTION, MAINTENANCE, REPAIR AND OR REPLACEMENT OF STORM SEWER FACILITIES.
35. ROOF DRAINS AND SUMP PUMPS SHALL NOT DISCHARGE WATER DIRECTLY TO A SIDEWALK OR STREET AND SHALL BE CONSTRUCTED TO DISCHARGE TO A DRY WELL/SEEPAGE PIT OR ABOVE GROUND ENTIRELY ON THE SUBJECT PROPERTY, EXCEPT WHERE SUCH DISCHARGE COULD FLOW ACROSS SIDEWALKS OR ONTO A STREET.

ZONING DATA

	REQUIRED/PERMITTED	PROPOSED
DISTRICT	RIDGE PIKE WEST	
USES		
ON LOTS FRONTING RIDGE PIKE OR GERMANTOWN PIKE: MIXED USE BUILDINGS CONTAINING ANY COMBINATION OF BY-RIGHT RESIDENTIAL, RETAIL, COMMERCIAL, FINANCIAL, OR OFFICE USES WITHIN A BUILDING, EXCLUDING AUTOMOBILE-ORIENTED USES, PARKING, AND LIGHT INDUSTRIAL USES. THE FIRST FLOOR OF THE BUILDING CAN ONLY BE OCCUPIED BY NONRESIDENTIAL USES AND RESIDENTIAL USES SHALL ONLY BE LOCATED ON THE SECOND, THIRD, AND/OR FOURTH FLOORS. OFFICES MAY BE LOCATED ON THE UPPER FLOORS OF THE BUILDING, BUT THEY MAY NOT OCCUPY THE SAME FLOOR AS ANY RESIDENTIAL USE.		FIRST FLOOR: 10,200 SF NON-RESIDENTIAL USES (5,100 SF RETAIL AND 5,100 SF OFFICE) SECOND, THIRD, AND FOURTH FLOORS SHALL BE 24 RESIDENTIAL UNITS.
LOT SIZE		
MINIMUM LOT WIDTH AT FRONT LOT LINE	50 FT	302.84 FT (RIDGE PIKE)
MINIMUM LOT SIZE	20,000 SF	1.975 AC
BUILDING SETBACKS		
MAXIMUM FRONT YARD (0 TO 25 FT)	25 FT	17 FT (BUILDING A)
MINIMUM SIDE YARD	20 FT	73 FT
MINIMUM REAR YARD	30 FT	194 FT
MINIMUM DISTANCE BETWEEN BUILDINGS	30 FT	NA
LIGHT INDUSTRIAL USES FROM ULT. R.O.W. OF RIDGE PIKE OR GERMANTOWN PIKE	100 FT	NA
BUILDING HEIGHT WHOLLY WITHIN 500 FEET OF INTERSECTION OF RIDGE PIKE AND CROSSKEYS ROAD	4 STORIES OR 60 FT	4 STORIES OR 60 FT (BUILDING A)
MAXIMUM BUILDING FACADE ALONG RIDGE PIKE	75% OF LOT WIDTH	57% (174'/302.84')
COVERAGE LIMITS		
MAXIMUM BUILDING COVERAGE	50%	11.8% (0.233 AC/1.975 AC)
MAXIMUM IMPERVIOUS COVERAGE	60%	58.8% (1.162 AC/1.975 AC)
MINIMUM PARKING SETBACKS		
FRONT YARD	25 FT	25 FT
BUILDINGS	8 FT	18 FT
ALL OTHER PROPERTY LINES	12 FT	27 FT
USES		
SINGLE FAMILY ATTACHED DWELLINGS PLACED A MINIMUM OF 300' FROM THE ULTIMATE RIGHT OF WAY OF RIDGE PIKE. DWELLINGS SHALL BE DEVELOPED IN ACCORDANCE WITH THE R-4 DISTRICT STANDARDS.		30 TOWNHOUSES
DENSITY	6 UNITS/AC	6 UNITS/AC (30 UNITS/5.0 AC)
LOT SIZE	5.0 AC	5.003 AC
MINIMUM BUFFER STRIP	35 FT	35 FT
MAXIMUM BUILDING COVER OF NET SITE AREA	30%	21.8%
MAXIMUM IMPERVIOUS COVER OF NET SITE AREA	45%	45.0%
OPEN SPACE PROVIDED PER SECTION 143-28.H		
MINIMUM AREA OF GROSS SITE AREA (5.377 AC)	20% (1.075 AC)	20% (1.077 AC)
MINIMUM AREA OF OPEN SPACE TO HAVE MAX. 3% SLOPE	50% (0.538 AC)	50% (0.542 AC)
SUGGESTED MIN. AREA OF ANY SINGLE OPEN SPACE AREA	40% (0.430 AC)	46% (0.495 AC)
BUILDING REQUIREMENTS		
MAXIMUM NUMBER OF UNITS IN A BUILDING	6	5
MIMIMUM SETBACK FROM SITE INTERNAL STREET	30 FT	30 FT
MINIMUM SETBACKS	30 FT	194 FT
FRONT TO FRONT, FRONT TO BACK, BACK TO BACK	60 FT	92 FT
SIDE TO FRONT, SIDE TO REAR	40 FT	NA
SIDE TO SIDE	25 FT	30 FT

SITE DATA

PARCEL AREAS	
TO TITLE LINE	7.831 AC
LEGAL RIGHT OF WAY	0.586 AC
NET SITE AREA	7.245 AC
ULTIMATE RIGHT OF WAY	0.267 AC
SITE AREA TO ULT. R.O.W.	6.978 AC
LOT 1	5.003 AC
LOT 2	1.975 AC
WATER	PUBLIC
SANITARY SEWERS	PUBLIC
ROADS	
RIDGE PIKE	PUBLIC (80' R.O.W.)
CROSSKEYS ROAD	PUBLIC (50' R.O.W.)
INTERNAL SERVICE ROAD	PRIVATE (ACCESS EASEMENT)

IMPERVIOUS COVERAGE

LOT 1 IMPERVIOUS COVER		
SITE AREA	(5.003 AC)	
BUILDINGS	47,520 SF	(1.091 AC) 21.8%
PAVEMENT	24,530 SF	
DRIVEWAYS	14,760 SF	
SIDEWALKS	5,860 SF	
PATIOS	5,400 SF	
TOTAL	98,070 SF	(2.251 AC) 45.0%
LOT 2 IMPERVIOUS COVER		
SITE AREA	(1.975 AC)	
BUILDINGS	10,130 SF	(0.233 AC) 11.8%
PAVEMENT	37,590 SF	
DRIVEWAYS	0 SF	
SIDEWALKS	2,900 SF	
TOTAL	50,620 SF	(1.162 AC) 58.8%

PARKING

	REQUIRED/PERMITTED	PROPOSED
TOWNHOUSES (EXCLUDING GARAGE) 2 SPACES PER DWELLING	60 SPACES	76 SPACES
MULTIPLEX RESIDENTIAL UNITS 24 / 2 SPACES PER UNIT	48 SPACES	48 SPACES
COMMERCIAL;		
OFFICE 5,100 SF/1 SPACE PER 300 SF	17 SPACES	
RETAIL 5,100 SF/1 SPACE PER 250 SF	21 SPACES	
TOTAL	86 SPACES	87 SPACES

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS ____ DAY OF _____, 2020 THIS PLAT AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 26, 1985.

_____ PLS NO. SU-056988-E
DANE K. MOYER, PLS — REGISTRATION NUMBER

PROFESSIONAL ENGINEER

THIS PLAN IS TRUE AND CORRECT AND WAS MADE BY ME OR UNDER MY DIRECTION. I DO HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE LOWER PROVIDENCE TOWNSHIP SUBDIVISION & ZONING ORDINANCES.

_____ PE NO. PE046396E
NICHOLAS E. FEOLA, PE — REGISTRATION NUMBER

LOWER PROVIDENCE TOWNSHIP MANAGER

THE PRELIMINARY PLAN WAS APPROVED AS TO LAYOUT AND LOCATION BY THE BOARD OF SUPERVISORS OF LOWER PROVIDENCE TOWNSHIP AT A MEETING HELD ON THE ____ DAY OF _____, 2020.

_____

RECORDER OF DEEDS

RECORDED THIS _____ DAY OF _____, 2020, IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PENNSYLVANIA IN PLAN BOOK _____, PAGE _____.

RECORD OWNER & APPLICANT:

AMERICO P. MOSCARIELLO
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

PARCEL INFORMATION:

PARCEL ID NO: 43-00-11824-00-4
DEED BOOK: 5935, PAGE: 107
DEED DATE: 8/1/14

CERTIFICATE OF OWNERSHIP

AMERICO P. MOSCARIELLO

BY: _____
SIGNATURE

AMERICO P. MOSCARIELLO

NOTARY ACKNOWLEDGEMENT

STATE OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THIS _____DAY OF _____, 2020, BEFORE ME THE UNDERSIGNED OFFICER, PERSONALLY APPEARED AMERICO P. MOSCARIELLO, WHO BEING DULY SWORN ACCORDING TO LAW, ACKNOWLEDGED HIMSELF TO BE THE RECORD OWNER FOR THIS LAND DEVELOPMENT PLAN AND THAT HE DEPOSES AND SAYS THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND THAT HE DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

_____ _____
NOTARY PUBLIC — MY COMMISSION EXPIRES

SHEETS 1, 2 AND 3 OF 19 ARE TO BE RECORDED. SHEETS 4-19 OF 19 SHALL BE ON FILE WITH THE TOWNSHIP AND CONSIDERED THE SAME ALONG WITH THE E&S PLAN/PCSWM PLAN SET.

FOR USE BY MCPC ONLY
MCPC NO. 18-0047-001
PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.
Certified this date _____
_____ For the Director
Montgomery County Planning Commission

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=80'

BURSICH
Sharing your Vision
Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040
Southampton Office
706 Lakeside Drive
Southampton, PA 18966
www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
TITLE SHEET
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 1 OF 19
DWG. NO. TS167680

P:\MOS-02\167680-00\dwg\LD_Plan\TS_01.dwg, 2/18/2020 11:43:50 AM

WAIVER REQUESTS:

1 §123–30.D.(3) – TO ALLOW THE PRIVATE STREET SERVING THE TOWNHOUSES TO SERVE 30 TOWNHOMES INSTEAD OF LIMITING ONLY 5 LOTS ON A PRIVATE STREET.

2 §123–31 – TO ALLOW ANY WIDENING IMPROVEMENTS ALONG RIDGE PIKE TO BE DICTATED BY PENNDOT.

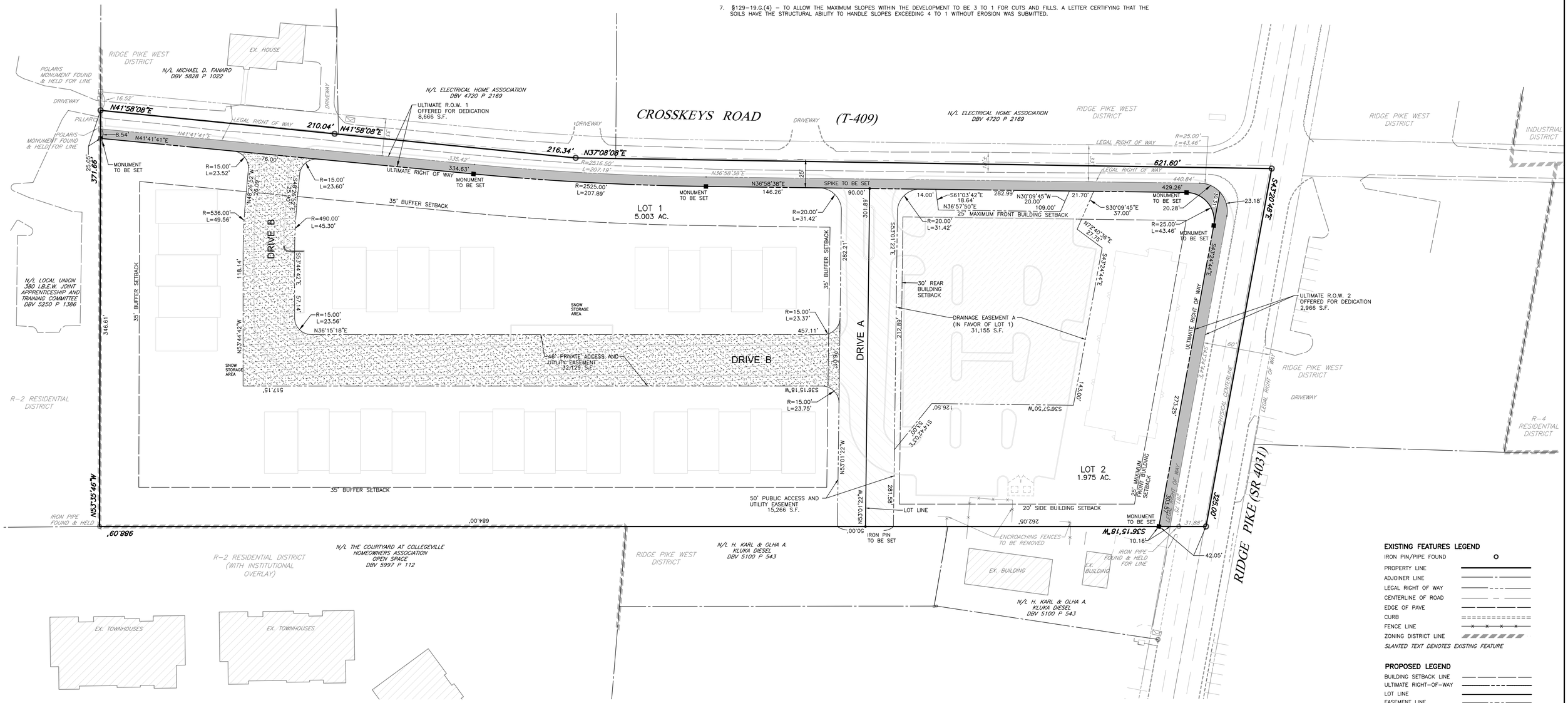
3 §123–37.B – TO ALLOW PERPENDICULAR PARKING ALONG THE PRIVATE STREET IN A SIMILAR MANNER AS USED FOR THE TOWNHOUSE DEVELOPMENTS ON GREENS WAY CIRCLE, LATTICE LANE, AND PRINCE DRIVE.

4 §129–19.C.(2) – FROM PROVIDING CLASS III REINFORCED CONCRETE PIPE AND TO ALLOW HDPE WITHIN THE PRIVATELY OWNED AREA OF THE SITE. THE DRAINAGE SYSTEM IN THE PUBLIC RIGHT OF WAYS FOR CROSSKEYS ROAD AND RIDGE PIKE WILL BE RCP.

5 §129–19.C.(6) – A PARTIAL WAIVER FROM PROVIDING A MINIMUM VELOCITY OF THREE (3) FOOT PER SECOND. THE STORM SEWER WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION AND THE SUBJECT PIPES HAVE LOW FLOWS, WITH A MINIMUM PIPE SIZE OF 15" WHICH ALLOWS FOR SUFFICIENT CAPACITY.

6. §129–19.C.(19) – TO ALLOW THE FREEBOARD OF INLET 17 TO BE LESS THAN 1 FOOT. INLET 17 WAS LOCATED SO THAT WE COULD CATCH ENOUGH WATER TO SATISFY THE 2 YEAR TO 1 YEAR STORMWATER REDUCTION FOR THE STREAMBANK EROSION REQUIREMENT. INLET 17 HAS 0.69 FOOT (8 INCHES) OF FREEBOARD DURING A 100 YEAR STORM.

7. §129–19.G.(4) – TO ALLOW THE MAXIMUM SLOPES WITHIN THE DEVELOPMENT TO BE 3 TO 1 FOR CUTS AND FILLS. A LETTER CERTIFYING THAT THE SOILS HAVE THE STRUCTURAL ABILITY TO HANDLE SLOPES EXCEEDING 4 TO 1 WITHOUT EROSION WAS SUBMITTED.



EXISTING FEATURES LEGEND

- IRON PIN/PIPE FOUND
- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- CENTERLINE OF ROAD
- EDGE OF PAVE
- CURB
- FENCE LINE
- ZONING DISTRICT LINE

SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

- BUILDING SETBACK LINE
- ULTIMATE RIGHT–OF–WAY
- LOT LINE
- EASEMENT LINE

VERTICAL TEXT DENOTES PROPOSED FEATURE

0 40' 80'

GRAPHIC SCALE: 1"=40'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS–02	DATE OCT 7, 2018
NOTES	SCALE 1"=40'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610–323–4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
FINAL MINOR SUBDIVISION/EASEMENT PLAN

MOSCARIELLO AT CROSSKEYS

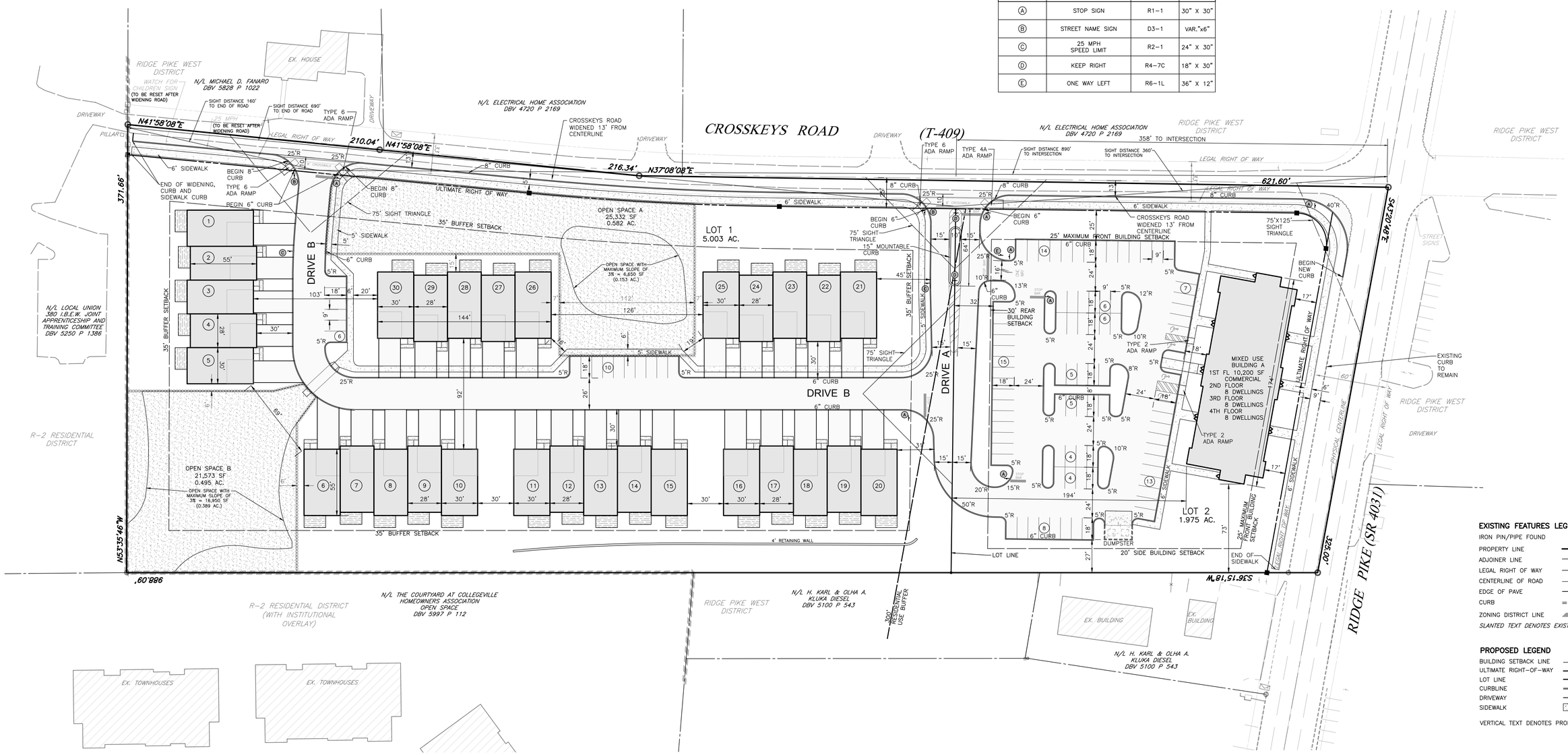
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 2 OF 19
DWG. NO. MS167680

P:\MOS–02\167680–00\dwg\LD_Plan\MS_01.dwg, 2/18/2020 11:43:58 AM

PROPOSED SIGN LEGEND

SYMBOL	DESCRIPTION	DESIGNATION NUMBER	SIZE
Ⓐ	STOP SIGN	R1-1	30" X 30"
Ⓑ	STREET NAME SIGN	D3-1	VAR."x6"
Ⓒ	25 MPH SPEED LIMIT	R2-1	24" X 30"
Ⓓ	KEEP RIGHT	R4-7C	18" X 30"
Ⓔ	ONE WAY LEFT	R6-1L	36" X 12"



EXISTING FEATURES LEGEND

- IRON PIN/PIPE FOUND
- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- CENTERLINE OF ROAD
- EDGE OF PAVE
- CURB
- ZONING DISTRICT LINE

SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

- BUILDING SETBACK LINE
- ULTIMATE RIGHT-OF-WAY
- LOT LINE
- CURBLINE
- DRIVEWAY
- SIDEWALK

VERTICAL TEXT DENOTES PROPOSED FEATURE

0 40' 80'

GRAPHIC SCALE: 1"=40'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=40'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

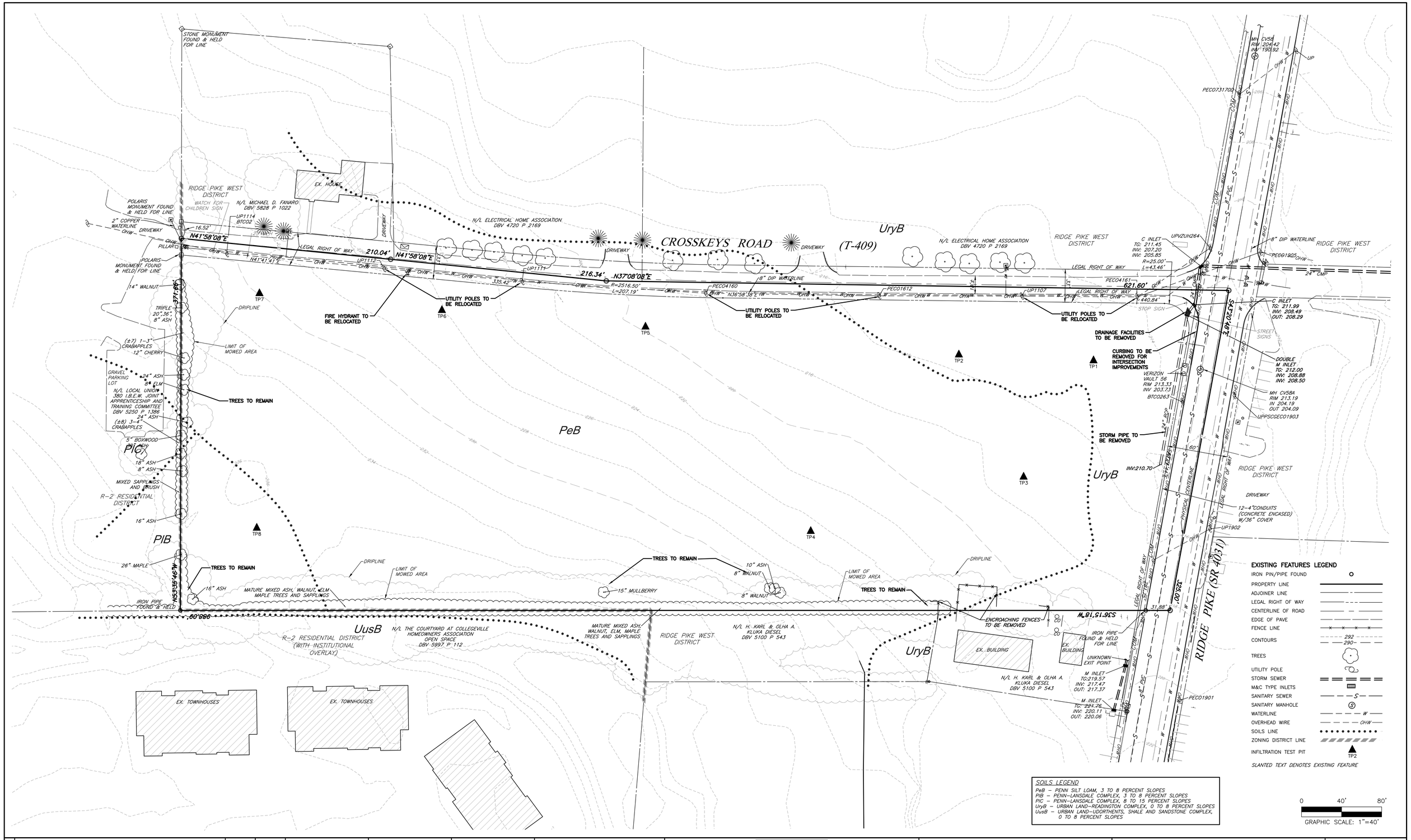
www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
SITE PLAN
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 3 OF 19
DWG. NO. SP167680

P:\MOS-02\167680-00\dwg\LD_Plan\SP_01.dwg, 2/18/2020 11:44:09 AM



NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=40'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
EXISTING FEATURES & DEMOLITION PLAN

MOSCARIELLO AT CROSSKEYS

LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 4 OF 19
DWG. NO. EF167680

P:\MOS-02\167680-00\dwg\LD_Plan\EF_01.dwg, 2/18/2020 11:44:28 AM

EXISTING FEATURES LEGEND

IRON PIN/PIPE FOUND	o
PROPERTY LINE	
ADJOINER LINE	
LEGAL RIGHT OF WAY	
CENTERLINE OF ROAD	
EDGE OF PAVE	
FENCE LINE	x x x x x
CONTOURS	292 / 290
TREES	
UTILITY POLE	
SOILS LINE	
ZONING DISTRICT LINE	

SLANTED TEXT DENOTES EXISTING FEATURE

0 50' 100'
GRAPHIC SCALE: 1"=50'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=50'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

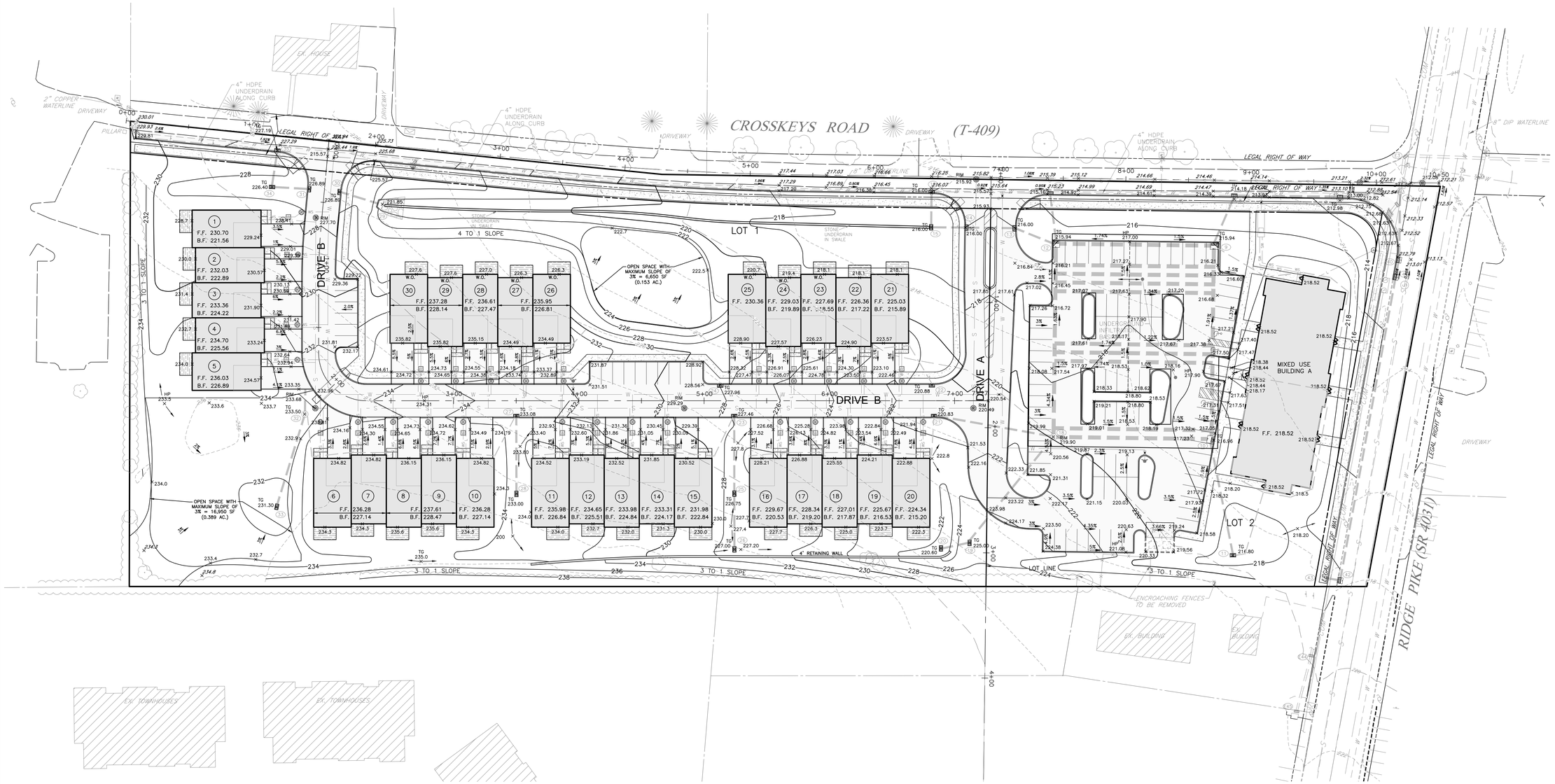
SUBJECT
SURROUNDING FEATURES PLAN

MOSCARIELLO AT CROSSKEYS

LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 5 OF 19
DWG. NO. SF167680

P:\MOS-02\167680-00\dwg\LD_Plan\SF_01.dwg, 2/18/2020 11:45:33 AM



EXISTING FEATURES LEGEND

- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- CENTERLINE OF ROAD
- EDGE OF PAVE
- CURB
- FENCE LINE
- CONTOURS (92, 90)
- SPOT ELEVATION (× 200.0)
- TREES
- UTILITY POLE
- STORM SEWER
- M&C TYPE INLETS
- SANITARY SEWER (S)
- SANITARY MANHOLE (S)
- WATERLINE (W)
- OVERHEAD WIRE (OHW)

SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

- SEWER MAIN (S)
- SEWER SERVICE LATERAL (L)
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER STRUCTURE IDENTIFIER (1)
- STORMWATER PIPE
- C&M TYPE STORMWATER INLET
- HEADWALL/ENDWALL
- RIP-RAP APRON
- SPILLWAY MATTING
- STORMWATER MANHOLE (D)
- STORMWATER STRUCTURE IDENTIFIER (D01)
- WATER MAIN (W)
- WATER SERVICE LATERAL (WS)
- WATER VALVE
- WATER METER PIT
- WATER SERVICE
- FIRE HYDRANT
- INTERMEDIATE CONTOUR (222)
- INDEX CONTOUR (220)
- SPOT ELEVATION (× 200.00)
- UNIT NUMBER (30)
- CURBLINE
- DRIVEWAY
- SIDEWALK

VERTICAL TEXT DENOTES PROPOSED FEATURE

0 40' 80'
GRAPHIC SCALE: 1"=40'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=40'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

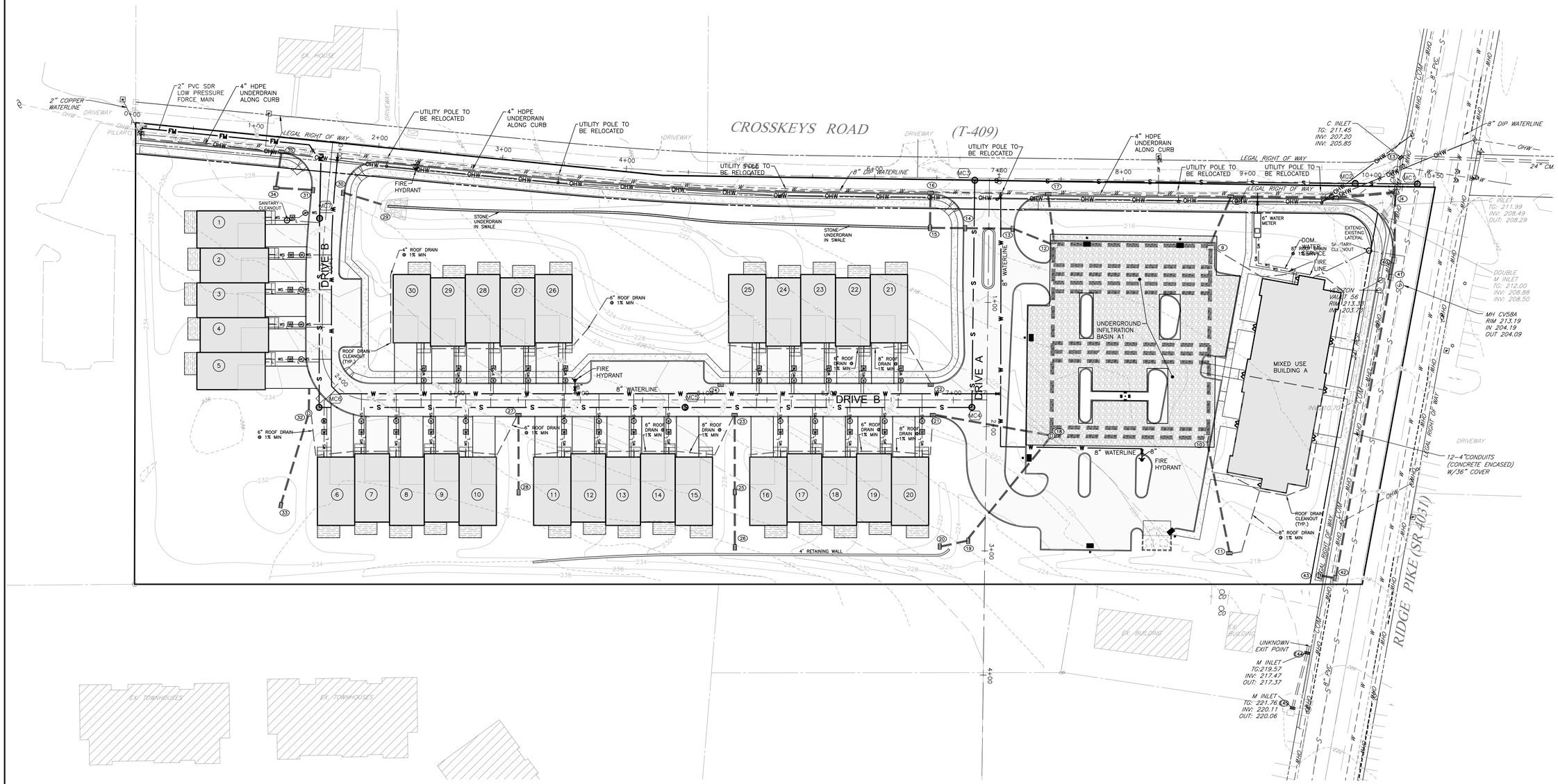
www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
GRADING PLAN
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 6 OF 19
DWG. NO. GR167680

P:\MOS-02\167680-00\dwg\LD_Plan\GR_01.dwg, 2/18/2020 11:45:55 AM



EXISTING FEATURES LEGEND

- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- CURB
- CENTERLINE OF ROAD
- EDGE OF PAVE
- FENCE LINE
- CONTOURS (292, 290)
- TREES
- UTILITY POLE
- STORM SEWER
- M&C TYPE INLETS
- SANITARY SEWER
- SANITARY MANHOLE
- WATERLINE
- OVERHEAD WIRE
- *SLANTED TEXT DENOTES EXISTING FEATURE*

PROPOSED LEGEND

- SEWER MAIN
- SEWER SERVICE LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER STRUCTURE IDENTIFIER (MC1)
- STORMWATER PIPE
- C&M TYPE STORMWATER INLET
- HEADWALL/ENDWALL
- RIP-RAP APRON
- UNDERGROUND BASIN
- STORMWATER MANHOLE
- STORMWATER STRUCTURE IDENTIFIER (D00)
- WATER MAIN
- WATER SERVICE LATERAL
- WATER VALVE
- WATER METER PIT
- WATER SERVICE
- FIRE HYDRANT
- PARKING LOT LIGHTS
- INTERMEDIATE CONTOUR (222)
- INDEX CONTOUR (220)
- SPOT ELEVATION (× 200.00)
- UNIT NUMBER (30)
- CURBLINE
- DRIVEWAY
- SIDEWALK
- VERTICAL TEXT DENOTES PROPOSED FEATURE

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=40'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT

MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT

UTILITY PLAN

MOSCARIELLO AT CROSSKEYS

LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680

SHEET NO. 7 OF 19

DWG. NO. UT167680

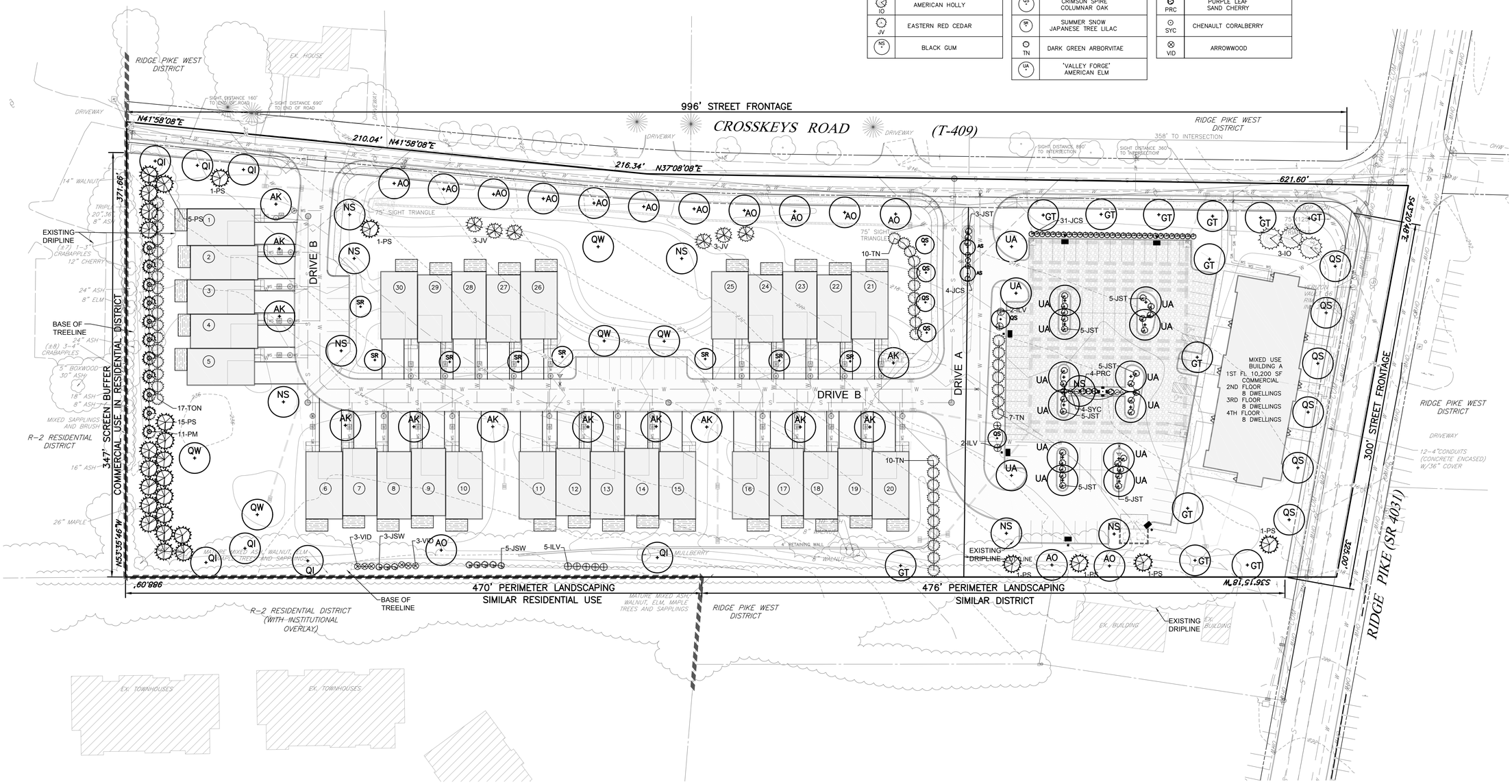
P:\MOS-02\167680-00\dwg\LD_Plan\UT_01.dwg, 2/18/2020 11:46:15 AM

TREES	
AK	KARPICK RED MAPLE
AO	'OCTOBER GLORY' RED MAPLE
AS	SUPSZAM RED MAPLE
GT	'SKYLINE' HONEYLOCUST
IO	AMERICAN HOLLY
JV	EASTERN RED CEDAR
NS	BLACK GUM

TREES	
PS	WHITE PINE
PM	DOUGLAS FIR
QI	SHINGLE OAK
QW	WILLOW OAK
QS	CRIMSON SPIRE COLUMNAR OAK
SR	SUMMER SNOW JAPANESE TREE LILAC
TN	DARK GREEN ARBORVITAE
UA	'VALLEY FORGE' AMERICAN ELM

SHRUBS	
ILV	WINTER RED WINTERBERRY
JCS	SEA GREEN JUNIPER
JST	TAMS JUNIPER
JSW	WICHITA BLUE JUNIPER
PRC	PURPLE LEAF SAND CHERRY
SYC	CHENAULT CORALBERRY
VID	ARROWWOOD

SEE SHEET 18 FOR PLANT SCHEDULE, NOTES, AND DETAILS



EXISTING FEATURES LEGEND

- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- CENTERLINE OF ROAD
- EDGE OF PAVE
- FENCE LINE
- CONTOURS (292, 290)
- TREES
- UTILITY POLE
- STORM SEWER
- M&C TYPE INLETS
- SANITARY SEWER
- SANITARY MANHOLE
- WATERLINE
- OVERHEAD WIRE
- ZONING DISTRICT LINE

SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

- SEWER MAIN
- SEWER SERVICE LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER STRUCTURE IDENTIFIER
- STORMWATER PIPE
- C&M TYPE STORMWATER INLET
- HEADWALL/ENDWALL
- RIP-RAP APRON
- SPILLWAY MATTING
- STORMWATER MANHOLE
- STORMWATER STRUCTURE IDENTIFIER
- WATER MAIN
- WATER SERVICE LATERAL
- WATER VALVE
- WATER METER PIT
- WATER SERVICE
- FIRE HYDRANT
- INTERMEDIATE CONTOUR (222)
- INDEX CONTOUR (220)
- UNIT NUMBER (30)
- CURBLINE
- DRIVEWAY
- SIDEWALK

VERTICAL TEXT DENOTES PROPOSED FEATURE

0 40' 80'
GRAPHIC SCALE: 1"=40'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL: PENNSYLVANIA REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT — Kim R. Snyder, R.L.A.

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=40'

BURSICH — Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
LANDSCAPE PLAN
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 8 OF 19
DWG. NO. LA167680

P:\MOS-02\167680-00\dwg\LD_Plan\LA_01.dwg, 2/18/2020 11:46:35 AM

Manufacturer Lithonia Lighting

Schedule

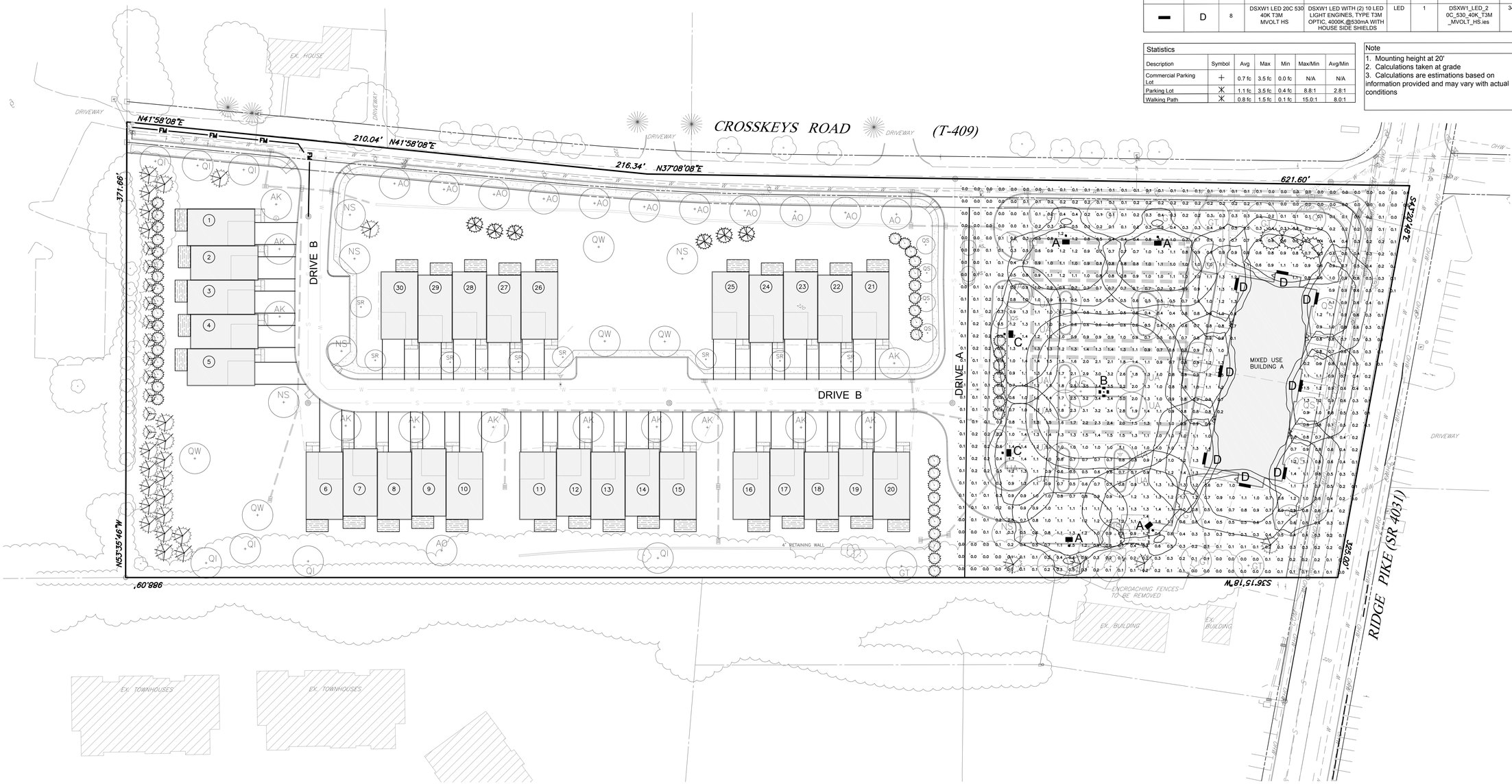
Symbol	Label	Quantity	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage	Efficiency	Distribution
	A	4	DSX0 LED P1 40K TFTM MVOLT	DSX0 LED P1 40K TFTM MVOLT	LED	1	DSX0_LED_P1_40K_TFTM_MVOLT.ies	4711	1	0.95	38	100%	TYPE IV, SHORT, BUG RATING B1-U0-G2
	B	1	DSX0 LED P1 40K T5M MVOLT	DSX0 LED P1 40K T5M MVOLT	LED	1	DSX0_LED_P1_40K_T5M_MVOLT.ies	4891	1	0.95	152	100%	TYPE VS, BUG RATING B3-U0-G1
	C	2	DSX0 LED P1 40K T3M MVOLT	DSX0 LED P1 40K T3M MVOLT	LED	1	DSX0_LED_P1_40K_T3M_MVOLT.ies	4576	1	0.95	38	100%	TYPE III, MEDIUM, BUG RATING B1-U0-G1
	D	8	DSXW1 LED 20C 530 40K T3M MVOLT HS	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K @530mA WITH HOUSE SIDE SHIELDS	LED	1	DSXW1_LED_20C_530_40K_T3M_MVOLT_HS.ies	3436	1	0.95	34.9	100%	TYPE III, MEDIUM, BUG RATING B1-U1-G1

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Commercial Parking Lot	+	0.7 fc	3.5 fc	0.0 fc	N/A	N/A
Parking Lot	✕	1.1 fc	3.5 fc	0.4 fc	8.8:1	2.8:1
Walking Path	✕	0.8 fc	1.5 fc	0.1 fc	15.0:1	8.0:1

Note

1. Mounting height at 20'
2. Calculations taken at grade
3. Calculations are estimations based on information provided and may vary with actual conditions



EXISTING FEATURES LEGEND

PROPERTY LINE
ADJOINER LINE
LEGAL RIGHT OF WAY
CENTERLINE OF ROAD
EDGE OF PAVE
FENCE LINE
TREES
UTILITY POLE
STORM SEWER
M&C TYPE INLETS
SANITARY SEWER
SANITARY MANHOLE
WATERLINE
OVERHEAD WIRE
ZONING DISTRICT LINE
SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

SEWER MAIN
SEWER SERVICE LATERAL
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
SANITARY SEWER STRUCTURE IDENTIFIER
STORMWATER PIPE
C&M TYPE STORMWATER INLET
HEADWALL/ENDWALL
RIP-RAP APRON
SPILLWAY MATTING
STORMWATER MANHOLE
STORMWATER STRUCTURE IDENTIFIER
WATER MAIN
WATER SERVICE LATERAL
WATER VALVE
WATER METER PIT
WATER SERVICE
FIRE HYDRANT
UNIT NUMBER
CURBLINE
DRIVEWAY
SIDEWALK
VERTICAL TEXT DENOTES PROPOSED FEATURE

0 40' 80'
GRAPHIC SCALE: 1"=40'

SEE SHEET 18 FOR LIGHTING SCHEDULE, AND DETAILS

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

PENNSYLVANIA REGISTERED LANDSCAPE ARCHITECT — CERT. ROBERT KIM RYDER — REGISTRATION NUMBER 680-E

Kim R. Ryder, R.L.A.

MANAGER	KK
DESIGN	KK
CHKD. BY	
DRAFT	BG
CHKD. BY	
FILE	MOS-02
DATE	OCT 7, 2018
NOTES	
SCALE	1"=40'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT

MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT

LIGHTING PLAN

MOSCARIELLO AT CROSSKEYS

LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680

SHEET NO. 9 OF 19

DWG. NO. LI167680

P:\MOS-02\167680-00\dwg\LD_Plan\LI_01.dwg, 2/18/2020 11:47:05 AM

EXISTING FEATURES LEGEND

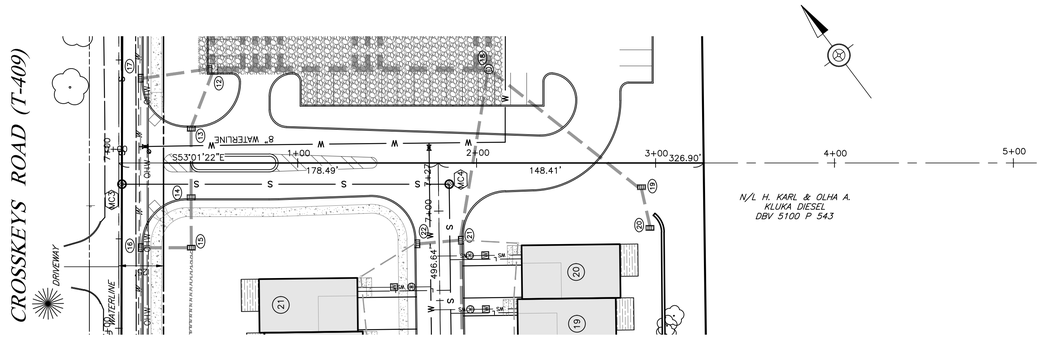
- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- CENTERLINE OF ROAD
- EDGE OF PAVE
- FENCE LINE
- UTILITY POLE
- STORM SEWER
- M&C TYPE INLETS
- SANITARY SEWER
- SANITARY MANHOLE
- WATERLINE

SLANTED TEXT DENOTES EXISTING FEATURE

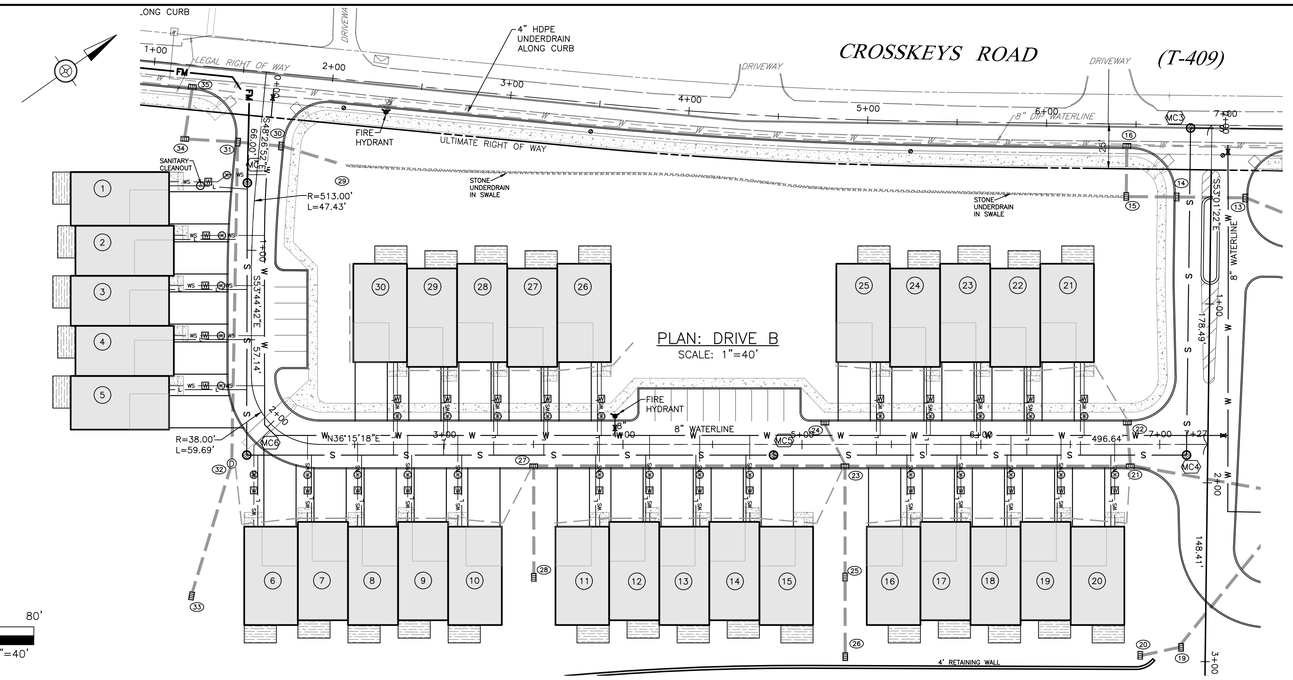
PROPOSED LEGEND

- SEWER MAIN
- SEWER SERVICE LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER STRUCTURE IDENTIFIER
- STORMWATER PIPE
- C&M TYPE STORMWATER INLET
- HEADWALL/ENDWALL
- STORMWATER MANHOLE
- STORMWATER STRUCTURE IDENTIFIER
- WATER MAIN
- WATER SERVICE LATERAL
- WATER VALVE
- WATER METER PIT
- WATER SERVICE
- FIRE HYDRANT
- UNIT NUMBER
- CURBLINE
- DRIVEWAY
- SIDEWALK

VERTICAL TEXT DENOTES PROPOSED FEATURE

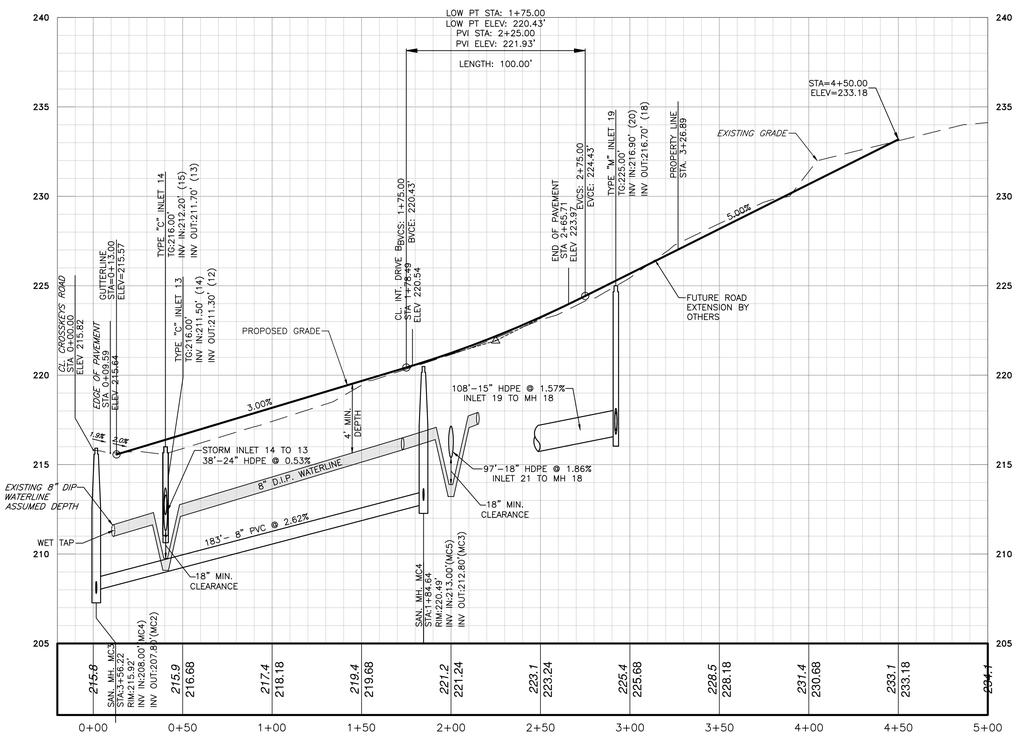


PLAN: DRIVE A
SCALE: 1"=40'



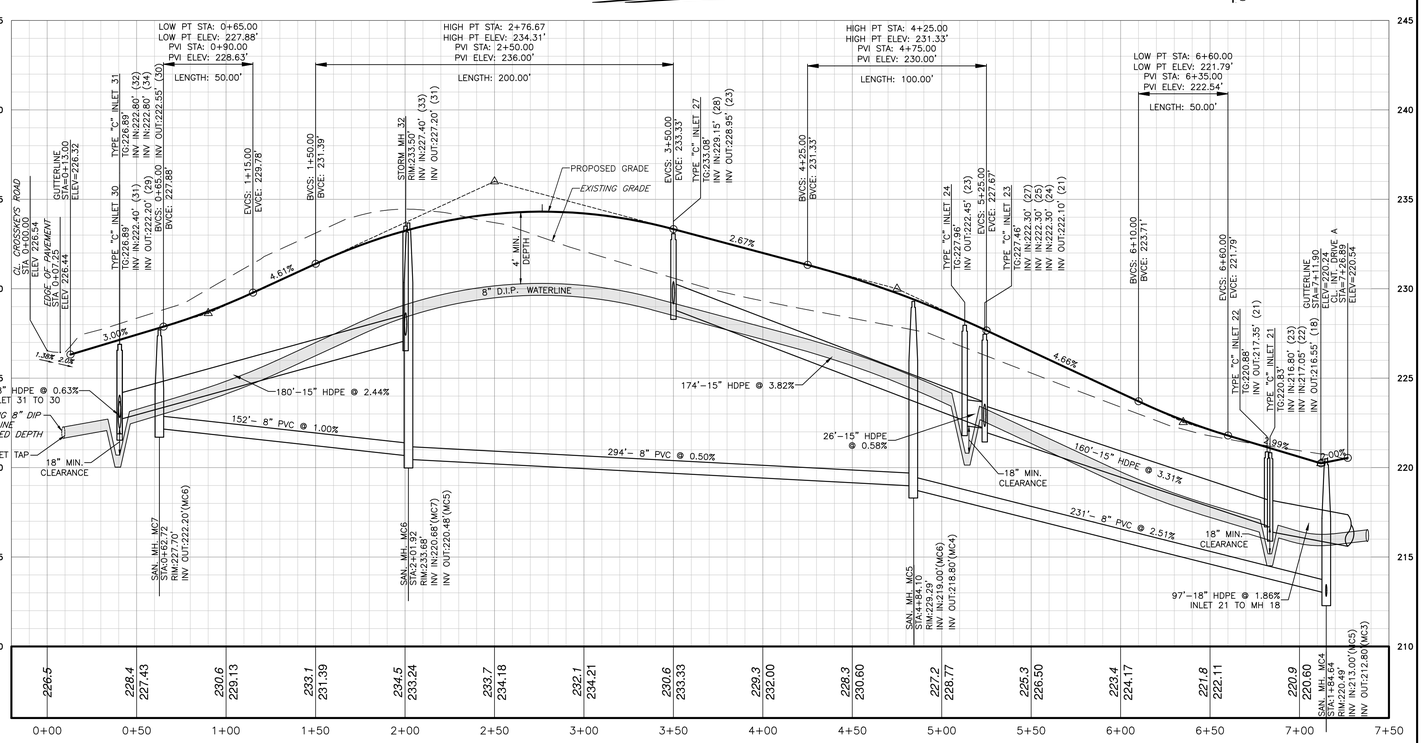
PLAN: DRIVE B
SCALE: 1"=40'

0 40' 80'
GRAPHIC SCALE: 1"=40'



DRIVE A

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



DRIVE B

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

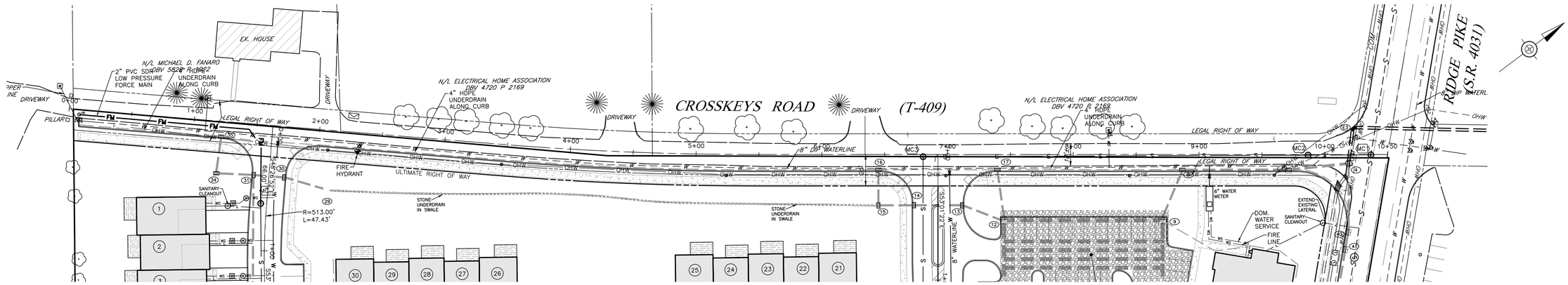
SUBJECT
PLAN & PROFILE: DRIVE A & B

MOSCARIELLO AT CROSSKEYS

LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

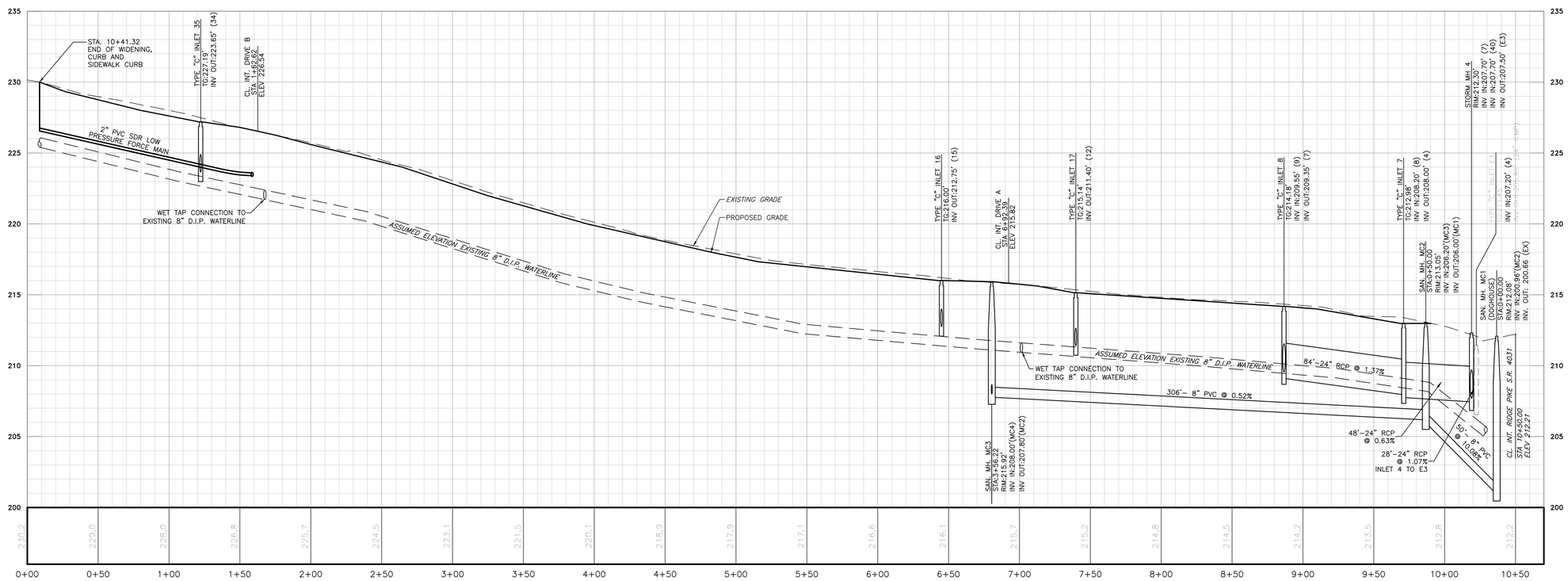
JOB NO. 167680
SHEET NO. 10 OF 19
DWG. NO. RP167680

P:\MOS-02\167680-00\dwg\LD_Plan\RP_01.dwg, 2/18/2020 11:47:32 AM



PLAN: CROSSKEYS ROAD
SCALE: 1"=40'

0 40' 80'
GRAPHIC SCALE: 1"=40'



CROSSKEYS ROAD

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'

EXISTING FEATURES LEGEND

- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- CENTERLINE OF ROAD
- EDGE OF PAVE
- FENCE LINE
- UTILITY POLE
- STORM SEWER
- M&C TYPE INLETS
- SANITARY SEWER
- SANITARY MANHOLE
- WATERLINE

SLANTED TEXT DENOTES EXISTING FEATURE

PROPOSED LEGEND

- SEWER MAIN
- SEWER SERVICE LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER STRUCTURE IDENTIFIER
- STORMWATER PIPE
- C&M TYPE STORMWATER INLET
- HEADWALL/ENDWALL
- STORMWATER MANHOLE
- STORMWATER STRUCTURE IDENTIFIER
- WATER MAIN
- WATER SERVICE LATERAL
- WATER VALVE
- WATER METER PIT
- WATER SERVICE
- FIRE HYDRANT
- UNIT NUMBER
- CURBLINE
- DRIVEWAY
- SIDEWALK

VERTICAL TEXT DENOTES PROPOSED FEATURE

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT

MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT

PLAN & PROFILE: CROSSKEYS ROAD

MOSCARIELLO AT CROSSKEYS

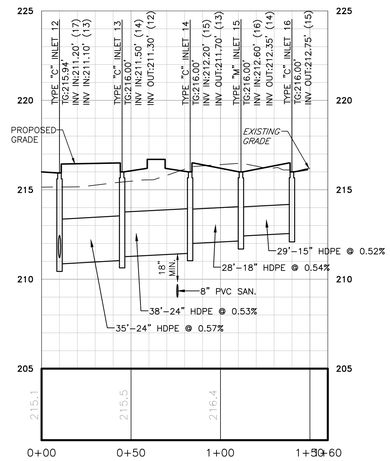
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680

SHEET NO. 11 OF 19

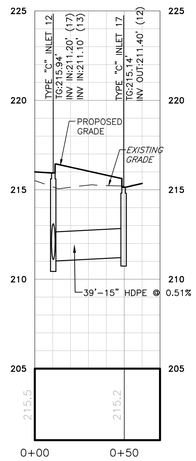
DWG. NO. RP267680

P:\MOS-02\167680-00\dwg\LD_Plan\RP_01.dwg, 2/18/2020 11:47:41 AM



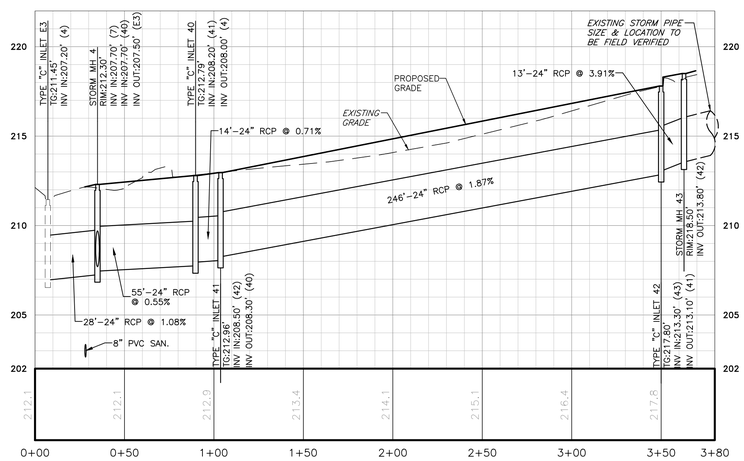
STORM INLETS 16-15-14-13-12

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



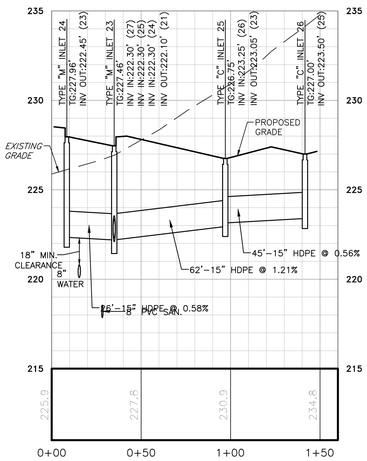
STORM INLETS 17-12

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



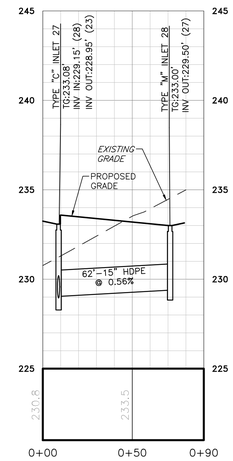
STORM MH 43-STORM INLETS 42-41-40-E4

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



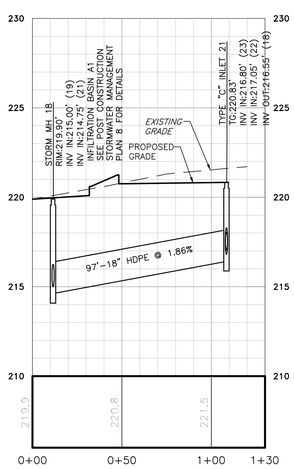
STORM INLETS 26-25-23-24

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



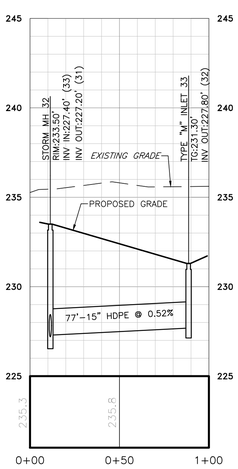
STORM INLETS 28-27

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



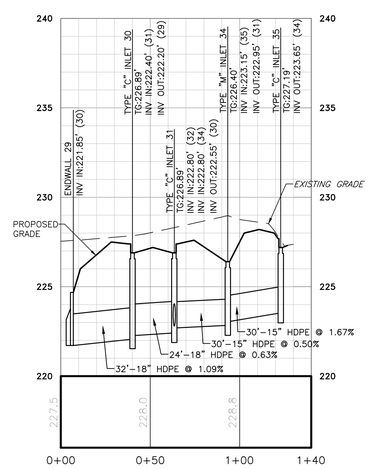
STORM INLET 21 - STORM MH 18

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



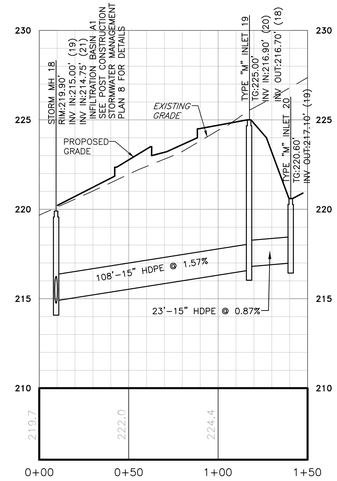
STORM INLET 33-STORM MH 32

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



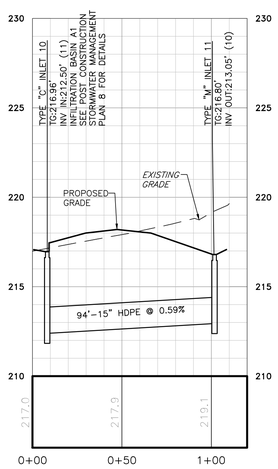
STORM INLETS 35-34-31-30-ENDSECTION 29

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



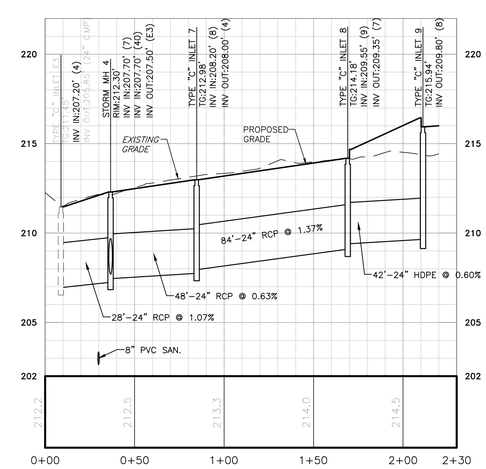
STORM INLETS 20-19-STORM MH 18

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



STORM INLETS 11-10

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'



STORM INLETS 9-8-7-4-E3

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=4'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

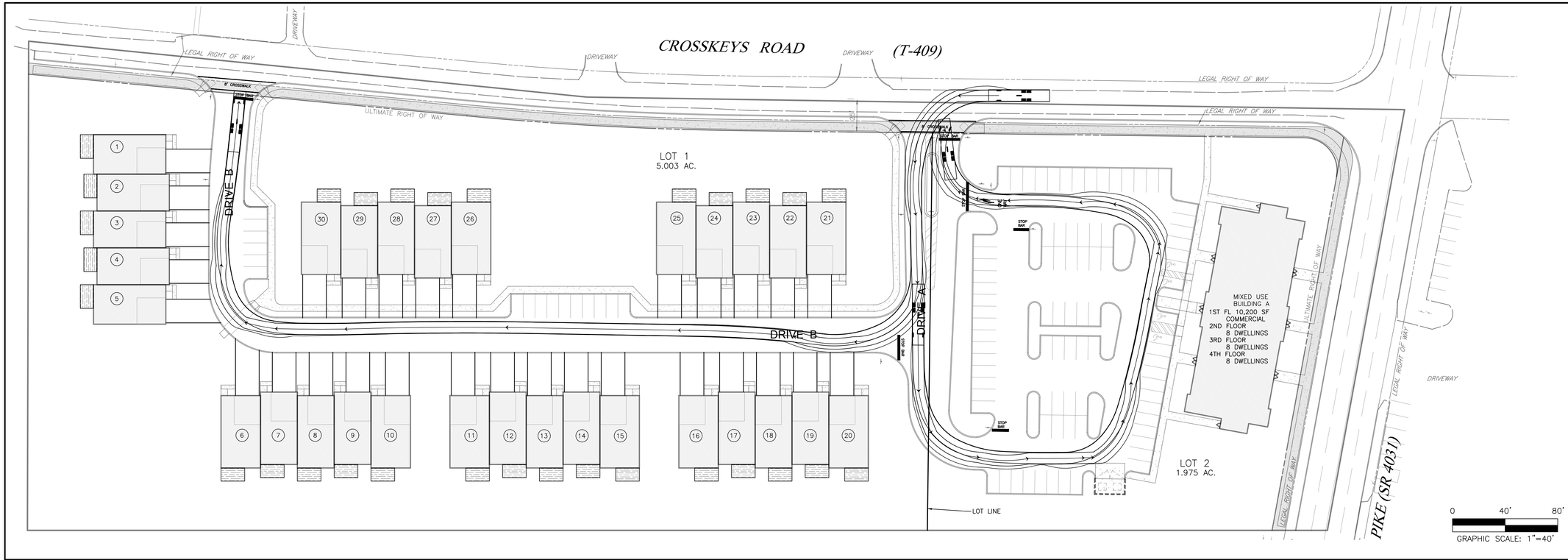
SUBJECT
STORM SEWER PROFILES

MOSCARIELLO AT CROSSKEYS

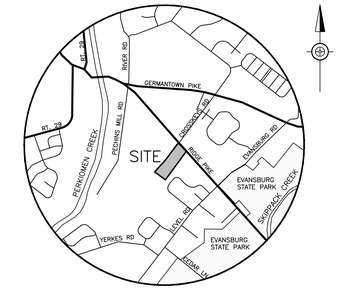
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 12 OF 19
DWG. NO. RP367680

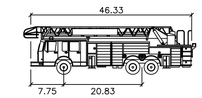
P:\MOS-02\167680-00\dwg\LD_Plan\RP_01.dwg, 2/18/2020 11:47:50 AM



0 40' 80'
GRAPHIC SCALE: 1"=40'



LOCATION MAP
SCALE:1"=2000'



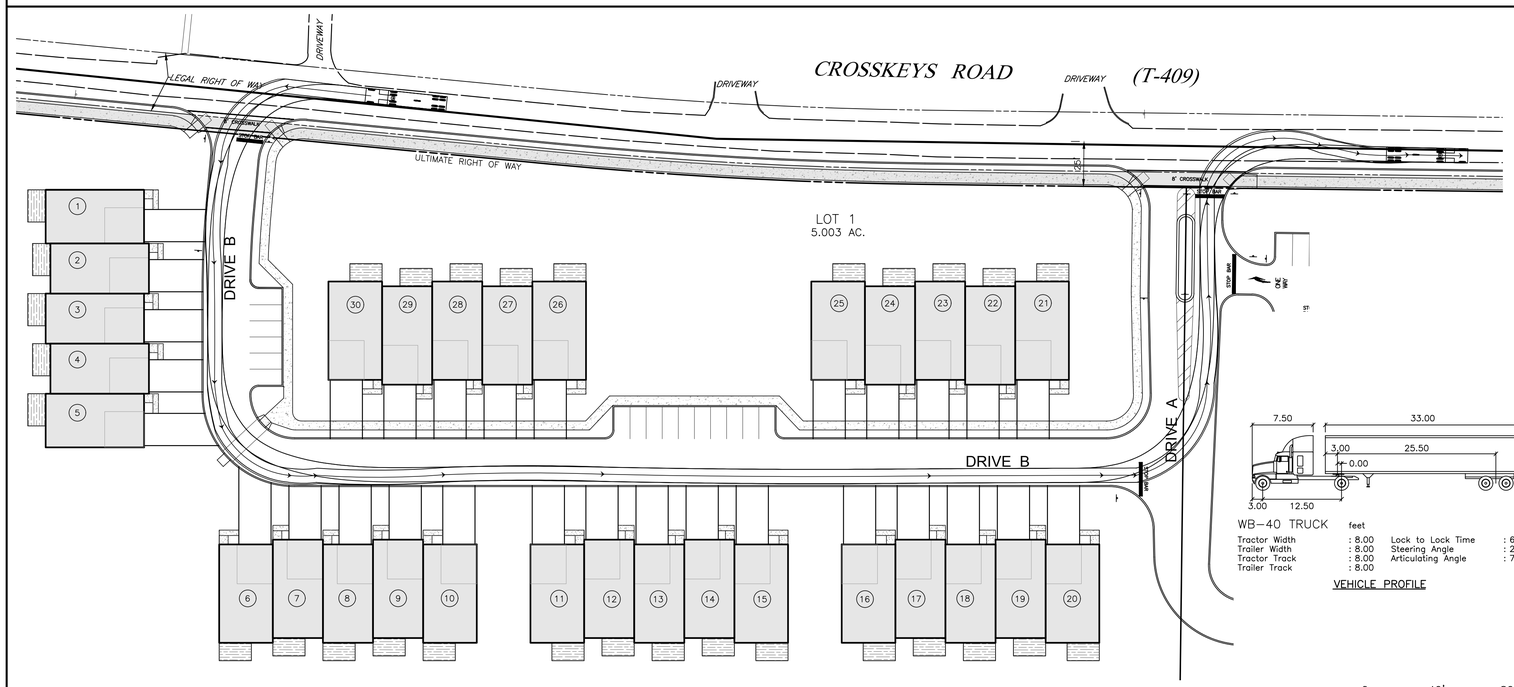
Fire Truck feet

Width	: 9.00
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 30.0

VEHICLE PROFILE

PROPOSED SIGN LEGEND

SYMBOL	DESCRIPTION	DESIGNATION NUMBER	SIZE
A	STOP SIGN	R1-1	30" X 30"
B	STREET NAME SIGN	D3-1	VAR."x6"
C	25 MPH SPEED LIMIT	R2-1	24" X 30"
D	KEEP RIGHT	R4-7C	18" X 30"
E	ONE WAY LEFT	R6-1L	36" X 12"

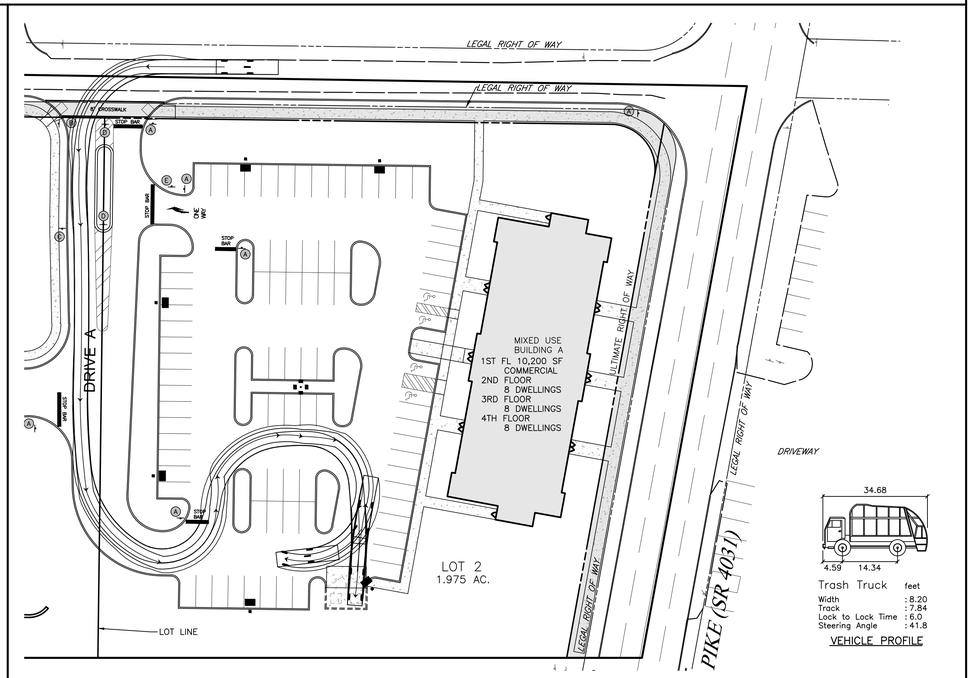


WB-40 TRUCK feet

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

VEHICLE PROFILE

0 40' 80'
GRAPHIC SCALE: 1"=40'



Trash Truck feet

Width	: 8.20
Track	: 7.84
Lock to Lock Time	: 6.0
Steering Angle	: 41.8

VEHICLE PROFILE

0 40' 80'
GRAPHIC SCALE: 1"=40'

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE 1"=40'

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

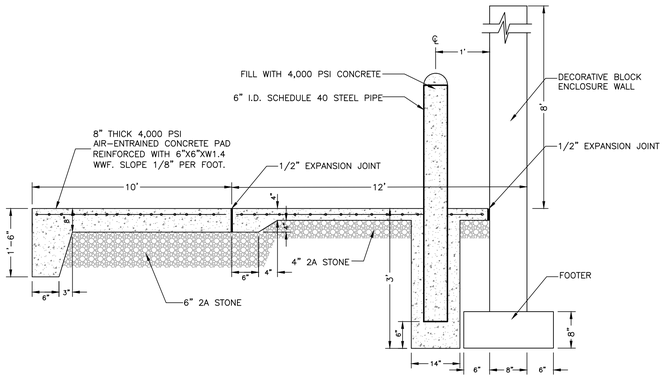
www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

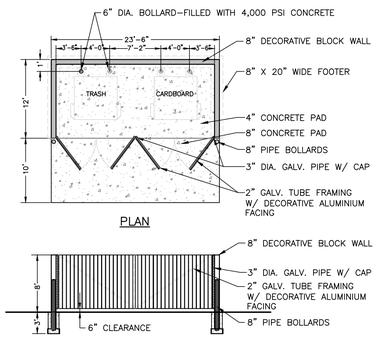
SUBJECT
TRUCK CIRCULATION PLAN
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 13 OF 19
DWG. NO. TC167680

P:\MOS-02\167680-00\dwg\LD_Plan\TC_01.dwg, 2/18/2020 11:48:26 AM



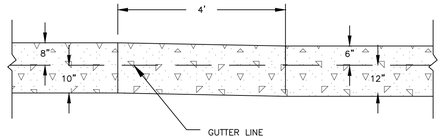
CONCRETE PAD FOR DUMPSTER
NO SCALE



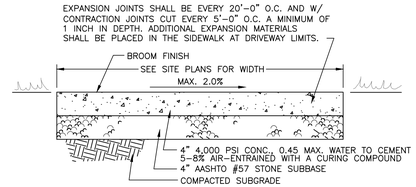
DOUBLE DUMPSTER PAD DETAIL
NO SCALE

NOTES

1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE ¾" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
4. WHERE CURBS ARE INSTALLED ADJACENT TO PARKING LANES A 6" HIGH CURB CAN BE UTILIZED WITH APPROVAL FROM THE LOCAL MUNICIPALITY.
5. FOR 'TYPE HAND FORM' CURB EXPANSION JOINTS SHALL BE PPACED EVERY THIRTY (30) FEET, AT STRUCTURES, AND AT THE END OF A DAYS WORK, FOR CONCRETE CURB FORMED BY 'MACHINE SLIP FORM' THE CONTRACTION JOINTS SHALL BE SAW CUT EVERY TEN (10) FEET A MINIMUM OF TWO (2) INCHES IN DEPTH. EXPANSION JOINTS SHALL BE EVERY SIXTY (60) FEET, AT STRUCTURES, AND AT THE END OF A DAYS WORK.

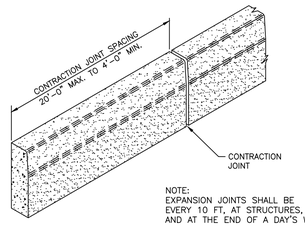


6" TO 8" CURB TRANSITION
NO SCALE



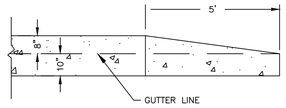
NOTES:
SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PA. DEPT. OF TRANSPORTATION SPECIFICATIONS FORM 408 CURRENT EDITION WITH THE EXCEPTION THAT THE USE OF WHITE CURING COMPOUND IS REQUIRED.

SIDEWALK DETAIL
NO SCALE

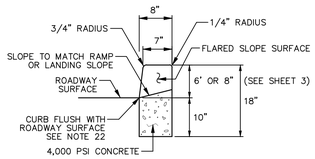


NOTE:
EXPANSION JOINTS SHALL BE EVERY 10 FT, AT STRUCTURES, AND AT THE END OF A DAY'S WORK.

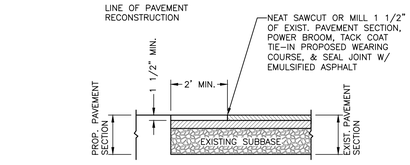
PLAIN CEMENT CONCRETE CURB
NO SCALE



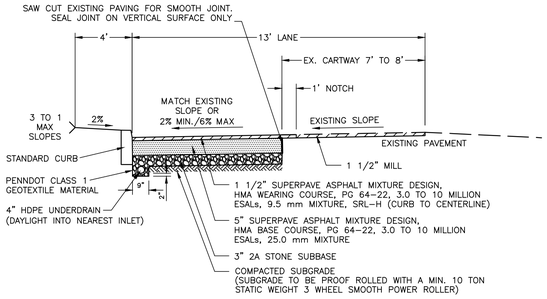
END CURB TREATMENT DETAIL
NO SCALE



DEPRESSED ADA CURB
NO SCALE



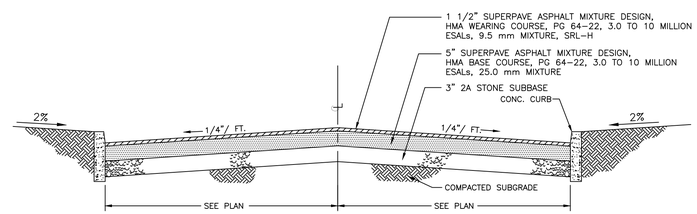
EXISTING PAVEMENT TIE-IN DETAIL
NO SCALE



CONSTRUCTION NOTES:

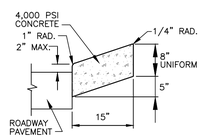
1. ALL WORK AND MATERIALS SHALL CONFORM TO PENNDOT FORM 408 SPECIFICATIONS AND RC SERIES DETAILS.
2. EXISTING STABILIZED SHOULDERS IN AREAS TO BE WIDENED SHALL BE REMOVED.
3. EDGE OF EXISTING PAVEMENT SHALL BE SAW CUT AND SEALED ON THE FACE ONLY. DO NOT SEAL THE TOP OF THE JOINT BETWEEN EXISTING AND PROPOSED PAVING.
4. EXISTING PAVEMENT BASE REPAIR WILL BE PERFORMED ON AN AS NEEDED BASIS AS DETERMINED BY THE TOWNSHIP ENGINEER.

CROSSKEYS ROAD WIDENING W/CURB
NO SCALE

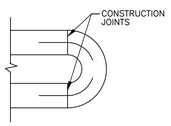


ALL CONSTRUCTION SHALL CONFORM TO PENNDOT 408, LATEST REVISION
SEE GRADING PLANS FOR AREAS WHICH ARE NOT CROWNED.

TYPE A PAVEMENT ACCESS DRIVE A AND B
NO SCALE



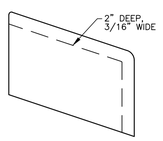
CONCRETE MOUNTABLE CURBS



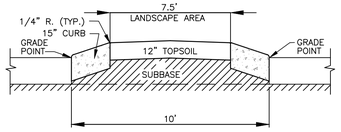
END DETAILS

NOTES

1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 633.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS AND SEAL AS SPECIFIED IN SECTION 501.3(n), PUB. 408.
3. PLACE 5/8-INCH PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

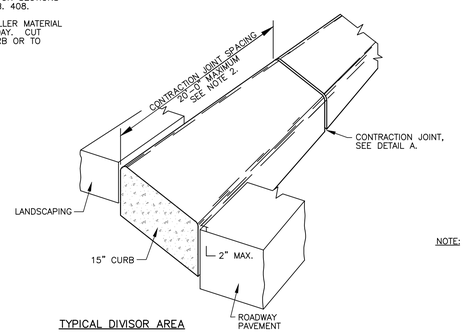


DETAIL A
CONTRACTION JOINT

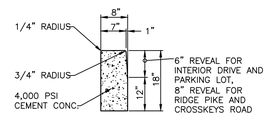


TYPICAL CONSTRUCTION

15" CONCRETE MOUNTABLE CURB
NO SCALE

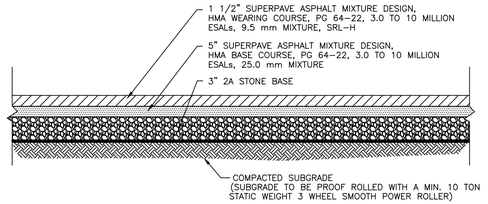


TYPICAL DIVISOR AREA



NOTE:
1. ALL CURBING SHALL BE CONSTRUCTED BOTH AS TO MATERIALS AND METHODS IN GENERAL CONFORMANCE WITH THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FORM 408 WITH THE EXCEPTION THAT THE USE OF A WHITE CURING COMPOUND SHALL BE REQUIRED.
2. CURBING TO BE 6" HIGH WITHIN SITE. PROVIDE 4' HEIGHT TRANSITION FROM 8" CURBS TO 6" CURBS.

CONC. CURB DETAIL
NO SCALE



PARKING LOT AND CROSSKEYS WIDENING BEYOND RIDGE PIKE RIGHT OF WAY
NO SCALE

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

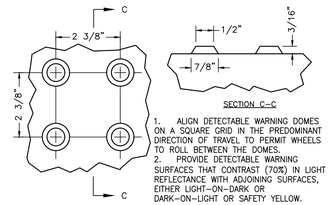
www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
PAVEMENT CONSTRUCTION DETAILS
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 14 OF 19
DWG. NO. CD167680

P:\MOS-02\167680-00\dwg\LD_Plan\CD_01.dwg, 2/18/2020 11:48:59 AM

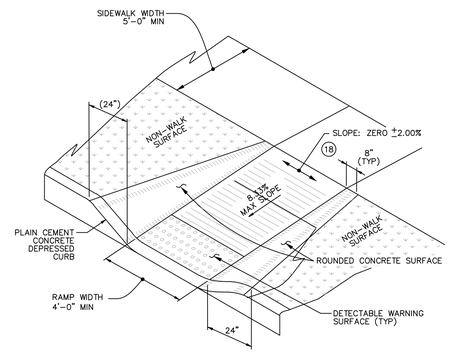


1. ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN THE DOMES.
2. PROVIDE DETECTABLE WARNING SURFACES THAT CONTRAST (70%) IN LIGHT REFLECTANCE WITH ADJOINING SURFACES, EITHER LIGHT–ON–DARK OR DARK–ON–LIGHT OR SAFETY YELLOW.

DETECTABLE WARNING TRUNCATED DOME DETAIL

NO SCALE

NOTE
1. ALL ADA HANDICAP RAMPS SHALL CONFORM TO PENNDOT STANDARDS.



ALTERNATE TYPE 4A CURB RAMP (PERPENDICULAR)

(1) SIDE FLARES 10.00% MAX SLOPE

(2) IF THE LANDING IS INDICATED TO BE LESS THAN 4'–0", CONSTRUCT SIDE FLARES 8.33% MAX. SLOPE.

(3) OPTIONAL ROLLED CONCRETE SURFACE OR REGRADE SLOPE CAN BE USED TO MEET THE ADJACENT SURFACES IN LIEU OF A RETURN CURB CHEEK WALL.

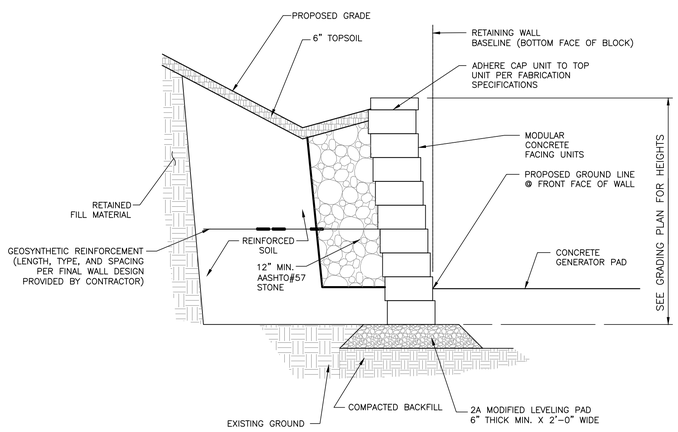
(4) 8.33% MAX RAMP SLOPE

(6) SLOPE VARIES SEE RAMP DETAILS

(7) 2'–0" ROLLED TRANSITION

(8) SLOPE: ZERO ±2.00%

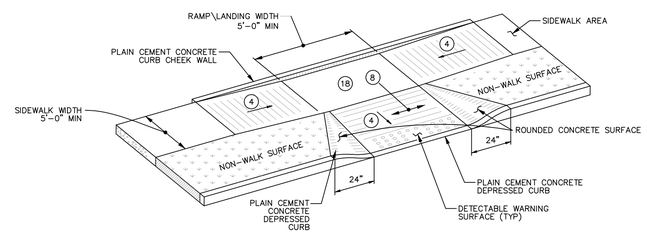
(18) CURB RAMPS REQUIRE A 4'–0" MINIMUM LANDING WITH A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS.



NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS

TYPICAL MODULAR BLOCK RETAINING WALL SECTION

NO SCALE



TYPE 6 CURB RAMP COMBINATION

ADA RAMP NOTES

1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676, 694, AND 695.
2. PROVIDE EXPANSION JOINT MATERIAL ½" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK, OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE WORK.
3. CONSTRUCT DIAGONAL CURB RAMPS WITH A MINIMUM 4'–0" X 4'–0" CLEAR SPACE BEYOND THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. SEE SHEET 7 FOR CROSSWALK DETAILS.
4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
5. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRAVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING SIDE FLARES.
6. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 8" HEIGHT.
7. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
8. TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB, RAMP LENGTH NOT TO EXCEED 15'–0". ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
9. NON–WALK AREA IS AN OBSTRUCTED OR GRASS/NON–PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
10. THE DETAILS DEPICT PEDESTRIAN PUSH BUTTON POLES TO ILLUSTRATE THE RECOMMENDED PLACEMENT OF PEDESTRIAN PUSHBUTTONS. FOR ALTERATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT POSSIBLE. INSTALL PEDESTRIAN PUSHBUTTON STUB POLES, WHERE APPLICABLE, SO AS NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
11. SEE TC–8803 FOR ADDITIONAL PEDESTRIAN PUSHBUTTON DETAILS NOT SHOWN.
12. ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB. SEE SHEET 9 FOR INSTALLATIONS ALONG CURVED SURFACES.
13. PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT–ON–DARK OR DARK–ON–LIGHT FOR FULL WIDTH OF RAMP.
14. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESS ROUTE.
15. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THE EXCEED THOSE INDICATED IN THE DETAILS, OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
16. CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00%. FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00%, CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
17. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 13.33%. THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A CURB RAMP, TURNING SPACE OR BLENDED TRANSITION IS NOT TO EXCEED 5.00%. SEE SHEET 8 FOR DETAILS.
18. THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
19. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 6" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 6'–0" FOR A 12:1 SLOPE.
20. SIDEWALK WIDTH MAY BE REDUCED TO 4'–0" WHEN PASSING AREAS 5'–0" X 5'–0" ARE PROVIDED EVERY 200'.
21. THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
22. CONSTRUCT DEPRESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY. GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING. FOR LEVEL TURNING SPACES BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE. AT THE JOINT BETWEEN DEPRESSED CURB AND ROADWAYS, REMOVE EXCESS JOINT SEALER AND COVER THE SEALED AREA WITH A LIGHT APPLICATION OF DRY SAND.
23. CHEEK WALLS ARE PERMITTED WHEN ADJACENT TO NON–WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY FLARES OR GRADING. GRADE GRASS AREAS OR OTHER NON–WALK AREAS AT 3:1 OR FLATTER. DO NOT INSTALL CHEEK WALLS THAT INTERSECT THE PEDESTRIAN PATH.
24. CONSTRUCT TOP OF PLAIN CEMENT CONCRETE DEPRESSED CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
25. FOR CURB RAMPS THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES. SEE SHEET 7 FOR DETAILS.
26. A 4'–0" MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMPS AND SIDEWALKS.
27. INSTALL DUMMY JOINTS WHERE RAMPS, TURNING SPACES, FLARES, AND SIDEWALKS ABUT.
28. CONSTRUCT DEPRESSED CURB SLOPE TO MATCH ROADWAY PROFILE AND HAVE A FLUSH CONNECTION. TRANSITION CURB RAMP CROSS SLOPE TO MATCH ROADWAY PROFILE AS GRADUALLY AS POSSIBLE. DO NOT EXCEED 3.00% PER 1'–0" CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING TO ROADWAY PROFILE.
29. DO NOT SCORE OR MAKE GROOVES ON SLOPED SURFACES. LINES SHOWN ON DETAILS ARE FOR ILLUSTRATION ONLY. SEE NOTE 5.

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS–02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610–323–4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
RETAINING WALL AND ADA CONSTRUCTION DETAILS

MOSCARIELLO AT CROSSKEYS

LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

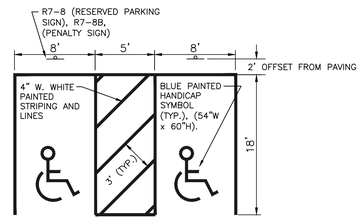
JOB NO. 167680

SHEET NO. 15 OF 19

DWG. NO. CD267680

P:\MOS–02\167680–00\dwg\LD_Plan\CD_01.dwg, 2/18/2020 11:49:02 AM

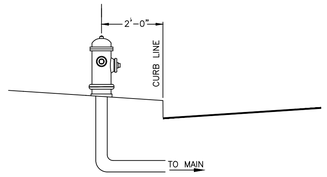
SEE POST CONSTRUCTION STORMWATER MANAGEMENT PLANS FOR DRAINAGE DETAILS



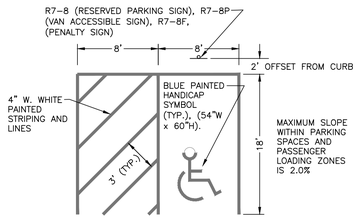
STANDARD HANDICAP SPACES
NO SCALE

R7-8P
VAN ACCESSIBLE SIGN
12"X6"
NO SCALE

R1-1 STOP SIGN
30"X30"
NO SCALE



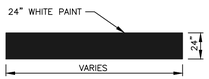
FIRE HYDRANT LOCATION DETAIL
ALL WATERLINES AND APPURTENANCES SHALL CONFORM TO THE DETAILS AND SPECIFICATIONS OF THE PENNSYLVANIA AMERICAN WATER COMPANY



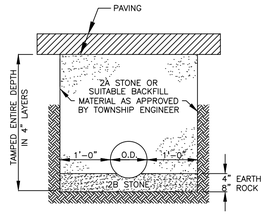
ADA ACCESSIBLE VAN ACCESSIBLE SPACE DETAIL
NO SCALE

R7-8F URESERVED PARKING PENALTIES SIGN
12"X18"
NO SCALE

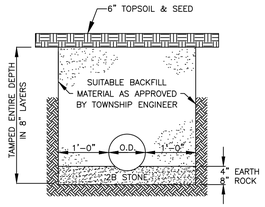
R7-8
RESERVED PARKING SIGN
12"X18"
NO SCALE



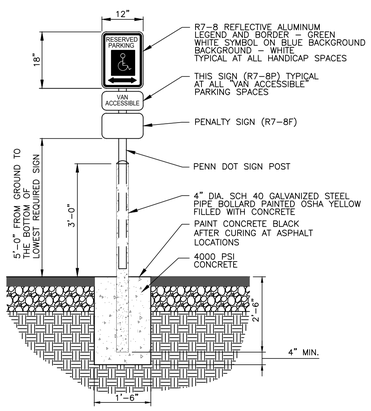
STOP BAR



TRENCH RESTORATION DETAIL FOR STORM SEWER IN PAVED AREAS

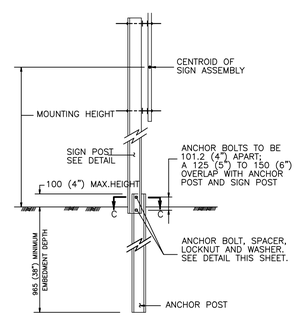


TRENCH RESTORATION DETAIL FOR STORM SEWER IN LAWN AREAS



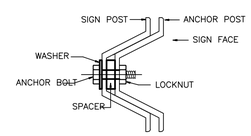
ADA ACCESSIBLE PARKING SIGN

1. PLACE ONE SIGN AT EACH HANDICAP SPACE.
2. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

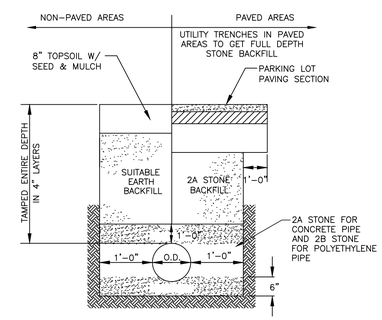


1. TO BE USED FOR ALL NEW SIGN INSTALLATIONS
2. REFER TO PENNDOT PUB. 111M, TC-8600 STANDARD DETAILS FOR ADDITIONAL APPLICABLE INFORMATION.

BREAKAWAY SIGN POST (TYPE B) DETAIL



SECTION C-C



UTILITY TRENCH RESTORATION DETAIL
NO SCALE

NOTES

1. PREPARE BEDDING: BEDDING MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BEDDING MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS MATERIAL TO GENERALLY MATCH THE END SECTION: EXCAVATE AN AREA IN THE BEDDING WHERE THE TOE TROUGH WILL SEAT SO THAT THE END SECTION WILL ALIGN TO PROPER GRADE IN THE FINISHED INSTALLATION.

2. PLACE END SECTION ON PIPE: OPEN THE END SECTION COLLAR AND SEAT IT OVER THE LAST TWO PIPE CORRUGATIONS. ONCE THE END SECTION IS POSITIONED. CHECK TO MAKE SURE THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS ALIGNED TO THE PROPER GRADE.

3. SECURE THE END SECTION: SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO CORRUGATIONS AT THE END OF THE PIPE. PLACE A WASHER ON EITHER END OF THE ROD: PLACE A NUT ON EITHER END OF THE ROD AND HAND TIGHTEN WITH A WRENCH UNTIL THE COLLAR IS TIGHT AROUND THE PIPE. DO NOT OVER-TIGHTEN.

4. SECURE TOE TROUGH: TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW. IT IS RECOMMENDED THAT THE TOE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.

5. FINISH BACKFILL: SHOVEL BACKFILL AROUND THE END SECTION IN 6-TO 9-INCH LAYERS EQUALLY ON BOTH SIDES. KNIFING IT IN TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING AND COMPACTING BACKFILL MATERIAL IN LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

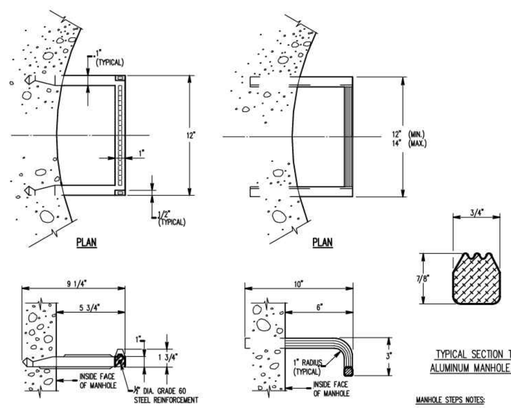
BURSICH
Sharing your Vision
Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040
Southampton Office
706 Lakeside Drive
Southampton, PA 18966
www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
SIGNS AND TRENCHING CONSTRUCTION DETAILS
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 16 OF 19
DWG. NO. CD367680

P:\MOS-02\167680-00\dwg\LD_Plan\CD_01.dwg, 2/18/2020 11:49:07 AM

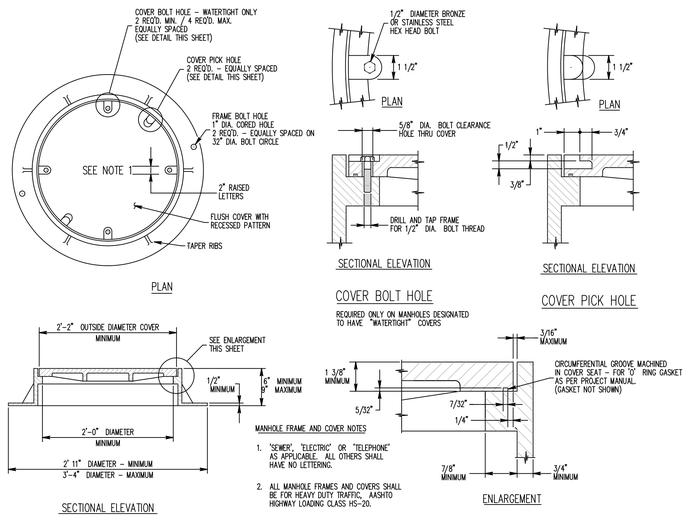


TYPICAL SECTION THRU ALUMINUM MANHOLE STEP

MANHOLE STEPS NOTES:

1. PROVIDE A HEAVY COAT OF BITUMINOUS PAINT ON ALUMINUM SURFACES IN CONTACT WITH CONCRETE.
2. CIRCULAR WALLS SHOWN. MANHOLE STEPS FOR FLAT WALLS ARE SIMILAR.
3. DIMENSIONS SHOWN ARE MINIMUM UNLESS OTHERWISE SHOWN.

MANHOLE STEPS (M-8)



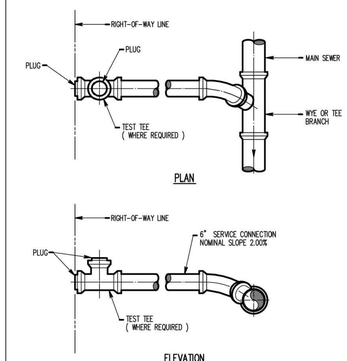
MANHOLE FRAME AND COVER NOTES

1. "SEWER", "ELECTRIC" OR "TELEPHONE" AS APPLICABLE. ALL OTHERS SHALL HAVE NO LETTERING.
2. ALL MANHOLE FRAMES AND COVERS SHALL BE FOR HEAVY DUTY TRAFFIC, AASHTO HIGHWAY LOADING CLASS HS-20.

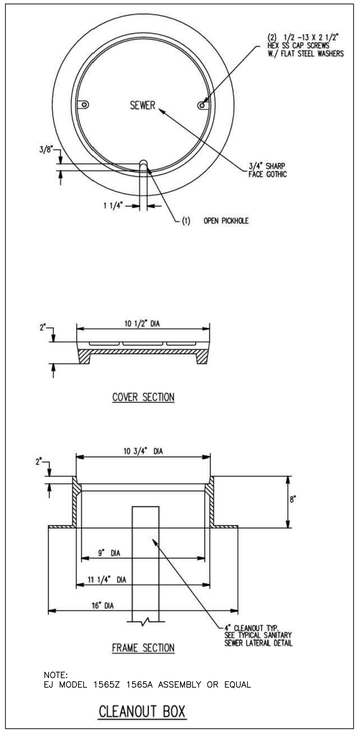
STANDARD AND WATERTIGHT MANHOLE FRAME AND COVER (M-6)

SERVICE CONNECTION SHALLOW SEWER NOTE

WHERE TEST TEE IS NOT REQUIRED, SERVICE CONNECTION SHALL BE EXTENDED TO THE RIGHT-OF-WAY LINE AND PLUGGED.



SERVICE CONNECTION SHALLOW SEWER



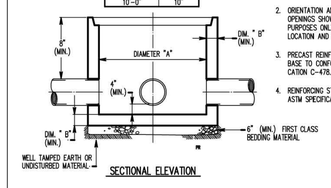
NOTE:
EJ MODEL 1565Z 1565A ASSEMBLY OR EQUAL

CLEANOUT BOX

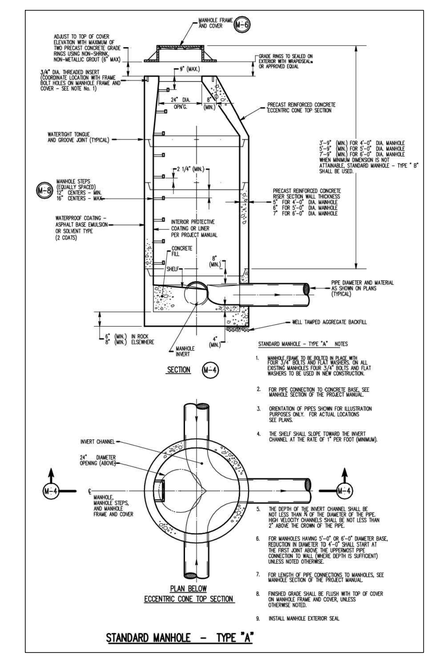
PRECAST REINFORCED CONCRETE MANHOLE BASE SCHEDULE OF DIMENSIONS	
DIA. "A"	DIM. " B"
4'-0"	5"
5'-0"	6"
6'-0"	7"
7'-0"	8"
8'-0"	9"
10'-0"	10"

PRECAST REINFORCED CONCRETE MANHOLE BASE NOTES

1. FOR PIPE OPENINGS THRU PRECAST REINFORCED CONCRETE MANHOLE WALLS, SEE MANHOLE SECTION OF THE PROJECT MANUAL.
2. ORIENTATION AND DIAMETER OF PIPE OPENINGS SHOWN FOR ILLUSTRATION PURPOSES ONLY. SEE PLANS FOR LOCATION AND DIAMETER.
3. PRECAST REINFORCED CONCRETE MANHOLE BASE TO CONFORM TO ASTM SPECIFI-CATION C-478.
4. REINFORCING STEEL TO CONFORM TO ASTM SPECIFICATION A-185.



PRECAST REINFORCED CONCRETE MANHOLE BASES (M-3)



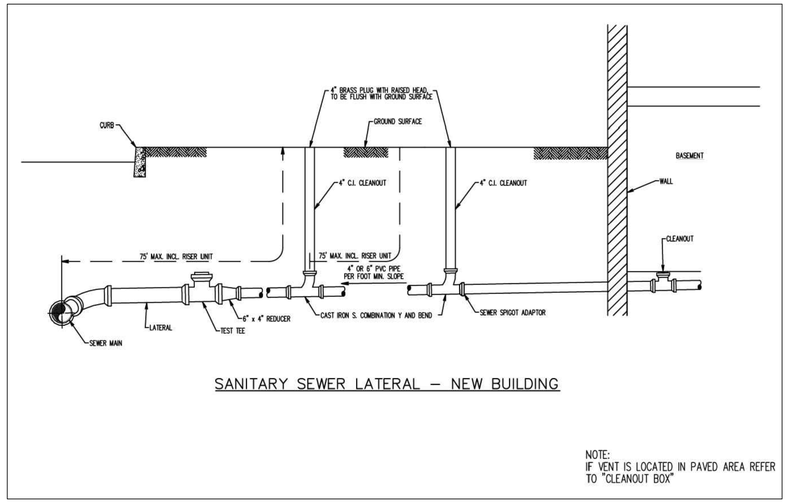
STANDARD MANHOLE – TYPE "A"

STANDARD MANHOLE – TYPE "A" NOTES

1. BENDING OFFSET TO BE ADJUSTED IN PLACE WITH TOP 3/4" BOLTS AND FLAT WASHERS TO ALL EXISTING MANHOLES FOUR 3/4" BOLTS AND FLAT WASHERS TO BE USED IN NEW CONSTRUCTION.
2. FOR PIPE CONNECTION TO CONCRETE BASE, SEE MANHOLE SECTION OF THE PROJECT MANUAL.
3. ORIENTATION OF PIPES SHOWN FOR ILLUSTRATION PURPOSES ONLY. FOR ACTUAL LOCATIONS SEE PLANS.
4. THE SHELF SHALL SLOPE TOWARD THE INVERT CHANNEL AT THE RATE OF 1" PER FOOT (MINIMUM).
5. THE DEPTH OF THE INVERT CHANNEL SHALL BE NOT LESS THAN ½ OF THE DIAMETER OF THE PIPE. HIGH VELOCITY CHANNELS SHALL BE NOT LESS THAN 2" ABOVE THE CROWN OF THE PIPE.
6. FOR MANHOLES HAVING 5'-0" OR 6'-0" DIAMETER BASE, REDUCTION IN DIAMETER TO 4'-0" SHALL START AT THE FIRST JOINT ABOVE THE UPPERMOST PIPE CONNECTION TO WALL (WHERE DEPTH IS SUFFICIENT) UNLESS NOTED OTHERWISE.
7. FOR LENGTH OF PIPE CONNECTIONS TO MANHOLES, SEE MANHOLE SECTION OF THE PROJECT MANUAL.
8. FINISHED GRADE SHALL BE FLUSH WITH TOP OF COVER ON MANHOLE FRAME AND COVER, UNLESS OTHERWISE NOTED.
9. INSTALL MANHOLE EXTERIOR SEAL

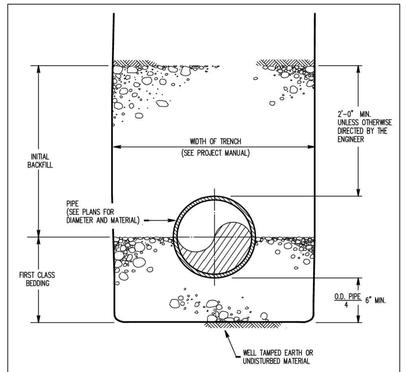
SANITARY SEWER NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATION FOR SANITARY SEWER EXTENSION OF THE LOWER PROVIDENCE TWP. SEWER AUTHORITY.
2. IN ACCORDANCE WITH SECTION 1.02(c) OF THE LOWER PROVIDENCE STANDARD MATERIAL AND CONSTRUCTION SPECIFICATIONS FOR SANITARY SEWER EXTENSION, SHOP DRAWINGS OF THE SANITARY SEWER SYSTEM SHALL BE SUBMITTED TO THE AUTHORITY FOR REVIEW PRIOR TO CONSTRUCTION.
3. SANITARY SEWER SERVICE IS PROVIDED FOR FIRST FLOOR SERVICE. NO BASEMENTS ARE PROPOSED.
4. WHENEVER POSSIBLE, SEWER MAINS SHOULD BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10' A SEWER MAY BE LAID CLOSER THAN 10' TO A MATER MAIN IF:
   A. IT IS LAID IN A SEPARATE TRENCH.
   B. IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH.
   C. IN EITHER CASE, THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18" BELOW THE BOTTOM (INVERT) OF THE WATER MAIN.
5. WHENEVER SEWERS MUST CROSS WATER MAINS OR UTILITIES, A MINIMUM OF 18" OF VERTICAL CLEAREANCE MUST BE MAINTAINED. IF NOT ATTAINABLE, A CONCRETE ENCASEMENT MUST BE PROVIDED. DUCTILE IRON PIPE MUST BE UTILIZED AT CROSSINGS WITH CONCRETE ENCASEMENTS. THIS PIPE MUST CONSISTENTLY BE DUCTILE IRON PIPE BETWEEN THE TWO MANHOLES OF THE AFFECTED AREA.
6. THE AUTHORITY'S INSPECTION DEPARTMENT MUST BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE THAT INSPECTION IS REQUIRED. NOTIFICATION MAY BE MADE EITHER IN WRITTING OR VERBALLY, BUT IN EITHER INSTANCE, NOTIFICATION MUST BE RECEIVED BY THE INSPECTION DEPARTMENT PRIOR TO THE SAID 48 HOURS.
7. WHEN A NEW SANITARY LINE IS CONSTRUCTED AND TIED INTO AN ACTIVE MANHOLE, THE NEW LINE WILL BE PLUGGED AND REMAIN PLUGGED UNTIL ALL TESTING HAS BEEN COMPLETED AND APPROVED BY THE AUTHORITY.
8. SHOULD ANY CHANGE BE PRECIPITATED FROM FIELD CONDITIONS ENCOUNTERED, OR IF ANY CHANGE FROM THE CONSTRUCTION DRAWINGS IS NECESSARY, A CHANGE ORDER REQUEST MUST BE FILED WITH THE AUTHORITY. THIS CHANGE MAY NOT COMMENCE UNTIL APPROVAL OF THE CHANGE ORDER IS GRANTED.
9. CONNECTIONS TO EXISTING MANHOLES SHOULD BE MADE BY CUTTING REQUIRED OPENING BY SUCH METHODS SO AS TO PREVENT CRACKING AND SPALLING CONCRETE. MAKE OPENINGS OF SUFFICIENT SIZE TO ACCOMMODATE PIPE WITH A-LOK CONNECTOR INSTALLED AND ANNULAR GROUT SPACE. GROUT ANNULAR SPACE USING NON-SHRINK, NON METALLIC GROUT. THE CONNECTION MUST BE WATERTIGHT.
10. LATERALS THAT TIE INTO MANHOLES SHALL BE PROVIDED WITH A CHANNEL CONSTRUCTED IN THE MANHOLE BASE FROM THE LATERAL TO THE EFFLUENT LINE, AND A 6-INCH OPENING WITH AN "A-LOK" OR APPROVED EQUAL JOINT SHALL BE PRECAST IN THE MANHOLE BASE.
11. AGGREGATE BACKFILL OF ROADWAY TRENCHES WILL BE WAIVED IF PAVING IS PREFORMED MORE THAN 90 DAYS AFTER SEWER INSTALLATION.



SANITARY SEWER LATERAL – NEW BUILDING

NOTE:
IF VENT IS LOCATED IN PAVED AREA REFER TO "CLEANOUT BOX"



FIRST CLASS BEDDING AND INITIAL BACKFILL

PIPE BEDDING

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

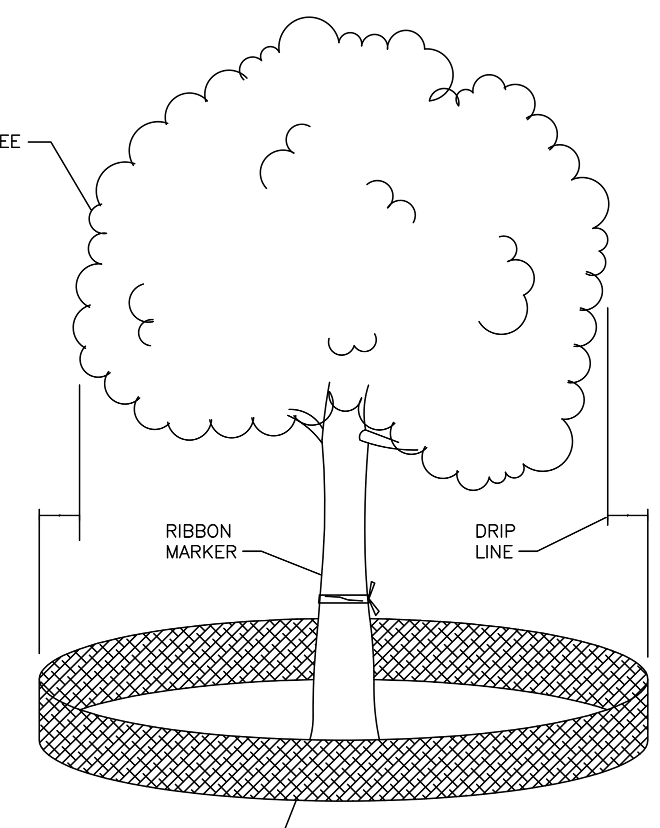
www.bursich.com

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
SANITARY CONSTRUCTION DETAILS
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 17 OF 19
DWG. NO. CD467680

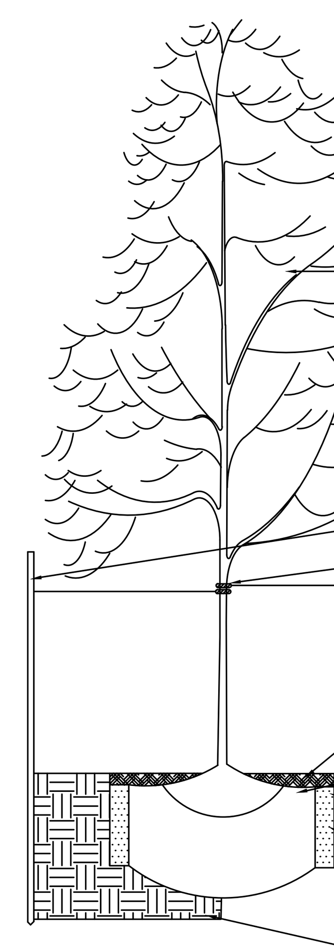
P:\MOS-02\167680-00\dwg\LD_Plan\CD_01.dwg, 2/18/2020 11:49:16 AM



NOTES:
1. MARK TREE TO BE PROTECTED WITH RIBBON PRIOR TO CONSTRUCTION.
2. INSTALL CONSTRUCTION FENCE 1 FT. OUTSIDE THE PERIMETER OF THE DRIP LINE OF THE MARKED TREES. (FOR TREE (CLUSTERS INSTALL ALONG COMBINED PERIMETER).
3. WHEN CONSTRUCTION IS COMPLETED, REMOVE FENCING.
4. ANY DAMAGE, DESTRUCTION OR FALLING OF A TREE SLATED FOR PROTECTION SHALL REQUIRE REPLACEMENT WITH A TREE OF SIMALAR CALIPER OR SUCH NUMBER OF TREES AS ARE REQUIRED TO EQUAL THE CALIPER INCHES OF THE AFFECTED TREE.

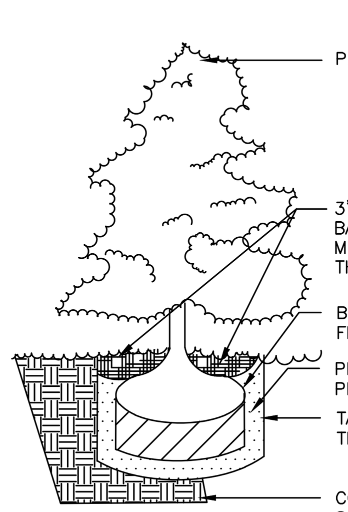
TREE PROTECTION FENCING

NO SCALE



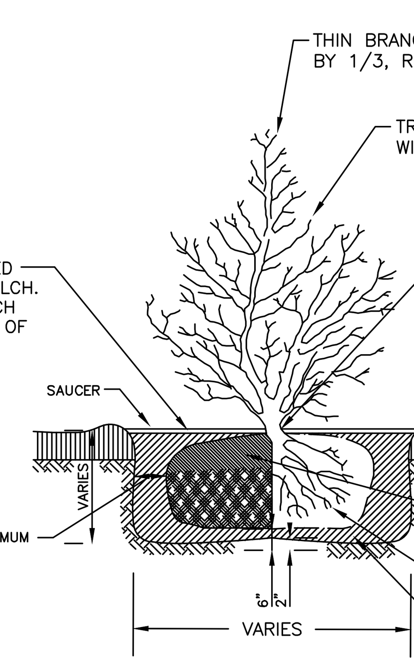
DECIDUOUS TREE PLANTING DETAIL

NO SCALE



CONIFEROUS TREE PLANTING DETAIL

NO SCALE



SHRUB PLANTING DETAIL

BALLED OR BARE ROOT SHRUB – NO SCALE

LANDSCAPE NOTES:

1. THE LOCATION, DIMENSIONS AND SPACING OF REQUIRED PLANTINGS SHOULD BE ADEQUATE FOR THEIR PROPER GROWTH AND MAINTENANCE, TAKING INTO ACCOUNT THE SIZES OF SUCH PLANTINGS AT MATURITY AND THEIR PRESENT AND FUTURE ENVIRONMENTAL REQUIREMENTS, SUCH AS WIND, SOIL, MOISTURE AND SUNLIGHT.

2. PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY. ALL PLANTS SHALL MEET THE MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITION AS OUTLINED IN THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS, LATEST EDITION.

3. ALL PLANT MATERIAL SHALL BE HARDY WITHIN THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) HARDINESS ZONE 6, APPLICABLE TO LIMERICK TOWNSHIP.

4. CANOPY TREES SHALL REACH A MINIMUM HEIGHT AND SPREAD OF 30 FEET AT MATURITY AS DETERMINED BY THE AAN STANDARDS AND SHALL BE DECIDUOUS (EXCEPTING COLUMNAR TREE SPECIES). NEW TREES SHALL HAVE A MINIMUM CALIPER OF 2.5 INCHES AT PLANTING.

5. ORNAMENTAL OR LARGE SHRUBS SHALL REACH A TYPICAL MINIMUM HEIGHT OF 10 FEET AT MATURITY BASED ON AAN STANDARDS. TREES AND SHRUBS MAY BE DECIDUOUS OR EVERGREEN AND SHALL HAVE A DISTINCTIVE ORNAMENTAL CHARACTER SUCH AS SHOWY FLOWERS, FRUIT, HABIT, FOLIAGE OR BARK. NEW ORNAMENTAL TREES SHALL HAVE A MINIMUM HEIGHT OF SIX FEET OR A ONE-AND-HALF INCH CALIPER. NEW LARGE SHRUBS SHALL HAVE A MINIMUM SIZE OF 2.5 FT. AT TIME OF PLANTING.

6. SMALL SHRUBS MAY BE EVERGREEN OR DECIDUOUS AND SHALL HAVE A MINIMUM HEIGHT AT MATURITY OF FOUR FEET BASED ON AAN STANDARDS FOR THAT SPECIES EXCEPT FOR PARKING LOT ISLAND SHRUBS. NEW SHRUBS SHALL HAVE A MINIMUM SIZE OF 18 INCHES AT TIME OF PLANTING.

7. EVERGREEN TREES SHALL REACH A TYPICAL MINIMUM HEIGHT OF 20 FEET AT MATURITY BASED ON AAN STANDARDS FOR THAT SPECIES, AND SHALL REMAIN EVERGREEN THROUGHOUT THE YEAR. NEW EVERGREENS SHALL HAVE A MINIMUM HEIGHT AT PLANTING OF SIX FEET.

8. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE DEVELOPER FOR 18 MONTHS FROM THE DATE OF FINAL APPROVAL OF THE LANDSCAPE INSTALLATION BY TOWNSHIP ENGINEER AND UNTIL SATISFACTORY INSPECTION BETWEEN MAY 15 AND NOVEMBER 15. ANY PLANT MATERIAL THAT IS 25% OR GREATER DEAD SHALL BE CONSIDERED DEAD.

9. SOIL CONDITIONS SHALL BE TESTED PRIOR TO PLANTING AND TREATED WITH APPROPRIATE INGREDIENTS TO BALANCE THE PH.

10. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND DIMENSIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

11. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES AND SHALL ASSUME RESPONSIBILITY FOR DAMAGES TO UTILITIES AND PROPERTY AS A RESULT OF HIS WORK.

12. PLANT MATERIAL SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED OR CONTAINER GROWN. IT SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, VIGOROUS ROOT SYSTEM AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED.

13. ALL PLANTING MATERIALS SHALL BE INSTALLED PER THE A.A.N. STANDARDS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STACKING AND GUYING, OR AS MAY BE INDICATED ON THE DRAWINGS.

ADDITIONALLY:
- –TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- –TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- –TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
- –TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.
- –TREES THAT HAVE GROWN TOGETHER IN NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- –TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND BE CERTIFIED BY THE APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
- –TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP OR PROPERLY ACCLIMATED TO CONDITIONS OF THE TOWNSHIP.

14. ALL STREET TREES SHALL BE PLANTED A MINIMUM DISTANCE OF FIVE (5) AND A MAXIMUM DISTANCE OF FIFTEEN (15) FEET FROM THE ULTIMATE RIGHT-OF-WAY LINE.

15. TREES SHALL BE PLANTED A MINIMUM DISTANCE OF THREE (3) FEET FROM CURBS AND SIDEWALKS, FIFTEEN (15) FEET FROM OVERHEAD UTILITES AND SIX (6) FEET FROM UNDERGROUND UTILITES.

16. TREES AND OTHER REQUIRED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING OF THE LAND DEVELOPMENT HAS BEEN COMPLETED.

17. ADDITIONAL FOUNDATION OR SITE LANDSCAPING MAY BE ADDED AT THE OWNER'S EXPENSE

18. AFTER INSTALLATION PRUNE BRANCHES AND FOLIAGE (NOT ALL EVERGREENS OR DECIDUOUS END TIPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. DO NOT CUT LEADER ON ANY EVERGREEN SHRUB OR ANY EVERGREEN OR DECIDUOUS TREE. SPRAY TRUNK STEM AND BRANCHES WITH ANTI-DESICANT WAX.

19. TREES AND SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS PREVIOUS FINISH GRADE IN NURSERY.

20. SCARIFY COMPACTED SUBSOILS AT BOTTOM AND SIDES OF PLANTING PIT BEFORE INSTALLATION.

21. THESE LANDSCAPE PLANS SHALL BE REGARDED AS SCHEMATIC IN NATURE. ALL PLANT LOCATIONS SHALL BE SUBJECT TO FIELD ADJUSTMENT BY THE OWNER'S REPRESENTATIVE.

22. ALL AREAS UNDERLAIN BY ROCK ARE TO BE MEASURED TO DETERMINE IF MINIMUM DEPTH NECESSARY TO PERMIT PLACEMENT OF BACKFILL REQUIRED TO ENSURE PROPER DRAINAGE IS FEASIBLE OR ALTERNATELY, IF ADDITIONAL FILL MATERIAL IS FEASIBLE TO ACHIEVE PROPER PLANTING. CONTRACTOR SHALL REPORT THIS CONDITION TO THE LANDSCAPE ARCHITECT AND RECIEVE APPROVAL ON METHOD OF PLANTING.

23. FILLING OF SOILS OVER THE ROOTS OF TREES TO BE PRESERVED IS STRICTLY PROHIBITED.

24. CLEANLY PRUNE ALL DAMAGED ROOT ENDS IMMEDIATELY PRIOR TO BACKFILLING PLANTING PIT.

25. ALL SIGHT TRIANGLES SHALL REMAIN CLEAR OF OBSTRUCTIONS AND ANY PLANT MATERIAL WHICH COULD ENDANGER SAFETY SHALL BE REMOVED. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO ENSURE ALL PLANTINGS AND ARCHETECTURAL ELEMENTS ARE MAINTAINED TO PROVIDE A SAFE ENVIRONMENT.

26. IT SHALL BE THE RESPONSIBILITY OF THE LANDOWNERS, TENANTS AND/OR OTHER OCCUPANTS OF THE PREMISES TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, WHICH RESPONSIBILITY SHALL INCLUDE WATERING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH, UNLESS SPECIFIED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

27. EXISTING VEGETATION INTENDED TO REMAIN AS PART OF THE LANDSCAPING OF A SUBDIVISION OR LAND DEVELOPMENT SHALL BE IDENTIFIED IN THE FIELD PRIOR TO ANY CLEARING AND PHYSICALLY PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. A TEMPORARY PHYSICAL BARRIER SHALL BE ERECTED A MINIMUM OF ONE FOOT OUTSIDE THE DRIP LINE OF INDIVIDUAL TREES, TREE MASSES OR WOODLANDS PRIOR TO MAJOR CLEARING OR CONSTRUCTION. THE BARRIER SHALL REMAIN UNTIL CONSTRUCTION IS COMPLETE. SEE TREE PROTECTION DETAILS AND SPECIFICATIONS.

28. REQUIRED PLANT MATERIAL SHALL BE MAINTAINED FOR THE LIFE OF THE PROJECT TO ACHIEVE THE REQUIRED VISUAL EFFECT OF THE BUFFER OR SCREEN. IT SHALL BE THE ULTIMATE RESPONSIBILITY OF SUCCESSIVE PROPERTY OWNERS TO ENSURE THAT THE REQUIRED PLANTINGS ARE PROPERLY MAINTAINED. DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED PROMPTLY BY THE PROPERTY OWNER AND REPLACED AT THE NEXT GROWING SEASON.

PLANTING SCHEDULE SHADE AND ORNAMENTAL TREES

SYM	QUAN	BOTANICAL NAME	COMMON NAME	MIN. PLANTING HEIGHT/WIDTH	COMMENTS
		TREES			
AK	12	ACER RUBRUM 'KARPICK'	KARPICK RED MAPLE	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
AO	14	ACER RUBRUM 'OCTOBER GLORY'	'OCTOBER GLORY' RED MAPLE	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
AS	2	ACER RUBRUM 'SUPSZAM'	SUPSZAM RED MAPLE	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
GT	12	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	'SKYLINE' HONEYLOCUST	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
IO	3	ILEX OPACA	AMERICAN HOLLY	6' HIGH	STRAIGHT TRUNK, FULL BODY
JV	6	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' HIGH	STRAIGHT TRUNK, FULL BODY
NS	8	NYSSA SYLVATICA	BLACK GUM	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
PS	27	PINUS STROBUS	WHITE PINE	6' HIGH	STRAIGHT TRUNK, FULL BODY
PM	11	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' HIGH	STRAIGHT TRUNK, FULL BODY
QI	7	QUERCUS IMBRICARIA	SHINGLE OAK	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
QW	5	QUERCUS PHELLOS	WILLOW OAK	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
QS	12	QUERCUS RUBRA 'CRIMSON SPIRE'	CRIMSON SPIRE COLUMNAR OAK	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
SR	8	SYRINGA RETICULATA 'SUMMER SNOW'	SUMMER SNOW JAPANESE TREE LILAC	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
TN	44	THUJA O. NIGRA	DARK GREEN ARBORVITAE	6' HIGH	STRAIGHT TRUNK, FULL BODY
UA	15	ULMUS AMERICANA 'VALLEY FORGE'	'VALLEY FORGE' AMERICAN ELM	2 1/2" CALIPER	STRAIGHT TRUNK, FULL HEAD
		SHRUBS			
ILV	9	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY	NO. 5 CONTAINER	SUBSTITUTE 2 'SOUTHERN GENTLEMAN' (MALE POLLINATOR) AMONG 'WINTER REDS'
JCS	35	JUNIPERUS CH. SEA GREEN	SEA GREEN JUNIPER	NO. 3 CONTAINER	
JST	33	JUNIPERUS S. TAMARISCIFOLIA	TAMS JUNIPER	NO. 3 CONTAINER	
JSW	8	JUNIPERIS S. WICHITA BLUE	WICHITA BLUE JUNIPER	NO. 5 CONTAINER	
PRC	4	PRUNUS X CISTENA	PURPLE LEAF SAND CHERRY	NO. 5 CONTAINER	
SYC	9	SYMPHORICARPOS CHENAULTII	CHENAULT CORALBERRY	NO. 5 CONTAINER	
VID	6	VIBURNUM DENTATUM	ARROWWOOD	NO. 5 CONTAINER	

PLANTING REQUIREMENTS

	REQUIRED	PROPOSED
STREET TREES		
RIDGE PIKE 300 LF 1 SHADE TREE PER 50'	6	6
CROSSKEYS ROAD 996 LF 1 SHADE TREE PER 50'	20	20
DRIVE A 625 LF (OUTSIDE OF SIGHT TRIANGLES) 1 SHADE TREE PER 50'	26	26
DRIVE B 250 LF (OUTSIDE OF SIGHT TRIANGLES) 1 SHADE TREE PER 50'	10	11
PERIMETER LANDSCAPING		
SOUTHEAST PROPERTY LINE 946 LF		
1 SHADE TREE PER 100'	10	10
3 SHRUBS PER 150'	19	19
PROPERTY LINE SCREENING		
NORTHWEST PROPERTY LINE 347 LF		
DOUBLE ROW OF EVERGREENS	48	48
EXISTING SHRUBS AND TREES		+24
INTERNAL PARKING LOT LANDSCAPING		
COMMERCIAL LOT, 33,550 S.F. (EXCLUDES DRIVE B) 1 SHADE TREES PER 5,000 SF OF PAVING	7	18 (INCLUDES ISLAND AND MEDIAN TREES)
1 EVERGREEN TREES PER 5,000 SF OF PAVING	7	7
1 SHRUB PER 1,500 SF OF PAVING	23	73 (INCLUDES ISLAND AND MEDIAN SHRUBS)
REPLACEMENT TREES		
(2) 8" WALNUTS (1) 10" ASH (1) 15" MULBERRY		
TOTAL	4	4
SCREEN BETWEEN TOWNHOUSES AND MULTIPLEX BUILDING		
A HIGH AND LOW SCREEN BUFFER IS REQUIRED BETWEEN RESIDENTIAL AND COMMERCIAL USES. HOWEVER THE MULTIPLEX BUILDING CONTAINS 3 FLOORS OF RESIDENTIAL UNITS AS WELL AS A COMMERCIAL FLOOR. THE INTENT APPEARS TO BE TO PROVIDE A BUFFER BETWEEN USES. A SINGLE ROW OF DARK GREEN ARBORVITAE IS PROVIDED AS A BUFFER.		
EVERGREEN TREES		27
EXTRA LANDSCAPING		
EVERGREEN TREES		9
SHRUBS		7
TOTAL LANDSCAPING		
SHADE TREES	83	95
EVERGREEN TREES	55	91
SHRUBS	42	99

FOUNDATION LANDSCAPING
ADDITIONAL BUILDING FOUNDATION PLANTING SHALL BE PROVIDED BY THE BUILDER. LOCATIONS OF FOUNDATION PLANTINGS WILL BE DETERMINED AFTER BUILDING ARCHITECTURE HAS BEEN FINALIZED.

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL
PENNSYLVANIA KIM ROBERT KRYDER REGISTERED LANDSCAPE ARCHITECT REGISTRATION NUMBER 680-E
Kim R. Kryder, R.L.A.

MANAGER KK	
DESIGN KK	CHKD. BY
DRAFT BG	CHKD. BY
FILE MOS-02	DATE OCT 7, 2018
NOTES	SCALE AS NOTED

BURSICH
Sharing your Vision
Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040
Southampton Office
706 Lakeside Drive
Southampton, PA 18966
w w w . b u r s i c h . c o m

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
LANDSCAPE CONSTRUCTION DETAILS

MOSCARIELLO AT CROSSKEYS

LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680

DWG. NO. CD567680

P:\MOS-02\167680-00\dwg\LD_Plan\CD_01.dwg, 2/18/2020 11:49:17 AM

SEE LIGHTING PLAN FOR LIGHTING SCHEDULE.
LIGHTS SHALL BE DARK BRONZE FINISH.

D-Series Size 0
LED Area Luminaire

Catalog Number	
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

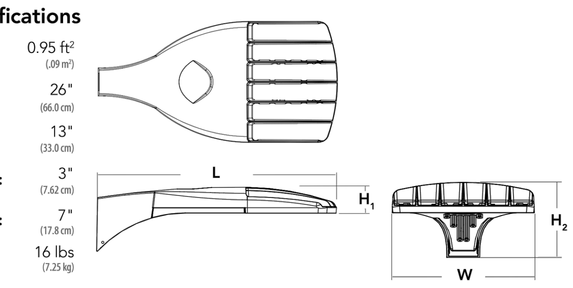
Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

d"series

Specifications

EPA:	0.95 ft² (.09 m²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height₁:	3" (7.62 cm)
Height₂:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED

Series	LEDs	Color temperature	Distribution		Voltage	Mounting
DSX0 LED	**Forward optics**	30K 3000 K	T1S Type I short (Automotive)	T5S Type V short[2]	MVOLT[4,5]	**Shipped included**
	P1 P4 P7	40K 4000 K	T2S Type II short	T5M Type V medium[2]	120[5]	SPA Square pole mounting
	P2 P5	50K 5000 K	T2M Type II medium	T5W Type V wide[2]	208[5]	RPA Round pole mounting
	P3 P6		T3S Type III short	BLC Backlight control[3]	240[5]	WBA Wall bracket[2]
	Rotated optics		T3M Type III medium	LCCO Left corner cutoff[3]	277[5]	SPUMBA Square pole universal mounting adaptor[7]
	P10[1] P12[1]		T4M Type IV medium	RCCO Right corner cutoff[3]	347[5,6]	RPUMBA Round pole universal mounting adaptor[7]
	P11[1] P13[1]		TFTM Forward throw medium		480[5,6]	**Shipped separately**
			T5VS Type V very short[2]			KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)[8]

Control options		Other options	Finish (required)
Shipped installed	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc[15,16]	**Shipped installed**	DDBXD Dark bronze
NLTAIR2 nLight AIR generation 2 enabled[9,10]	PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc[15,16]	HS House-side shield[18]	DBLXD Black
PIRHN Network, high/low motion/ambient sensor[11]	PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[15,16]	SF Single fuse (120, 277, 347V)[5]	DNAXD Natural aluminum
PER NEMA twist-lock receptacle only (control ordered separate)[12]	PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[15,16]	DF Double fuse (208, 240, 480V)[5]	DWHXD White
PER5 Five-pin receptacle only (control ordered separate)[12,13]	FAO Field adjustable output[17]	L90 Left rotated optics[1]	DDBTXD Textured dark bronze
PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate)[12,13]		R90 Right rotated optics[1]	DBLBXD Textured black
DMG 0-10V dimming extend out back of housing for external control (control ordered separate)[14]		DDL Diffused drop lens[18]	DNATXD Textured natural aluminum
		Shipped separately	DWHGXD Textured white
		BS Bird spikes[19]	
		EGS External glare shield	

LITHONIA LIGHTING. COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

© 2011-2020 Acuity Brands Lighting, Inc. All rights reserved.

DSX0-LED
Rev. 02/05/20
Page 1 of 8

LITHONIA LIGHTING®

FEATURES & SPECIFICATIONS

Catalog Number	SSS 20 4C (DM29AS/DM19AS) FINISH w/ Base Cover
Notes	Type E drilling is DM29AS, Type F-DM19AS
Type	Poles Type E and F Cross Keys L Providence Twp.

INTENDED USE — Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION — Pole Shaft: The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Pole Top: A top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PT option.

Handhole: A reinforced handhole with grounding provision is provided at 18" from the base. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

HARDWARE – All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH – Standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

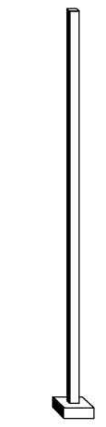
WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL



ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSS 20 5C DM19 DDB

SSS

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness[1]	Mounting[2]		Options	Finish[10]
SSS	(See technical information table for complete ordering information.)	(See technical information table for complete ordering information.)	Tenon mounting	AERIS™ Suspend drill mounting[3,4]	Shipped installed	Standard colors
	10'-39' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.)	4C 4" 11g (.1196")	PT Open top (includes top cap)	DM19AST_ 1 at 90°	L/AB Less anchor bolts (Include when anchor bolts are not needed)	DDB Dark bronze
		4G 4" 7g (.1793")	T20 2-3/8" O.D. (2" NPS)	DM28AST_ 2 at 180°	VD Vibration damper	DWH White
		5C 5" 11g (.1196")	T25 2-7/8" O.D. (2-1/2" NPS)	DM29AST_ 2 at 90°	TP Tamper resistant handhole cover fasteners	DBL Black
		5G 5" 7g (.1793")	T30 3-1/2" O.D. (3" NPS)	DM39AST_ 3 at 90°	HAxy Horizontal arm bracket (1 fixture)[5,6]	DMB Medium bronze
		6G 6" 7g (.1793")	T35 4" O.D. (3-1/2" NPS)	DM49AST_ 4 at 90°	FDLxy Festoon outlet less electrical[5]	DNA Natural aluminum
			KAC/KAD/KSE/KSF/KVR/KVF Drill mounting[3]	OMERO™ Suspend drill mounting[3,4]	CPL12/xy 1/2" coupling[5]	Classic colors
			DM19 1 at 90°	DM19MRT_ 1 at 90°	CPL34/xy 3/4" coupling[5]	DSS Sandstone
			DM28 2 at 180°	DM28MRT_ 2 at 180°	CPL1/xy 1" coupling[5]	DGC Charcoal gray
			DM28PL 2 at 180° with one side plugged	DM29MRT_ 2 at 90°	NPL12/xy 1/2" threaded nipple[5]	DTG Tennis green
			DM29 2 at 90°	DM39MRT_ 3 at 90°	NPL34/xy 3/4" threaded nipple[5]	DBR Bright red
			DM39 3 at 90°	DM49MRT_ 4 at 90°	NPL1/xy 1" threaded nipple[5]	DSB Steel blue
			DM49 4 at 90°		EHHxy Extra handhole[5,7]	Architectural Colors and Special Finishes[11]
			CSX/DSX/AERIS™/OMERO™/HLA/KAX Drill mounting[3]		MAEX Match existing[8]	Galvanized, Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available.
			DM19AS 1 at 90°		USPOM United States point of manufacture[9]	
			DM28AS 2 at 180°		IC Interior coating[10]	
			DM29AS 2 at 90°		UL UL listed with label (Includes NEC compliant cover)	
			DM39AS 3 at 90°		NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled)	
			DM49AS 4 at 90°		Shipped separately (replacement kit available)	
					(blank) FBC Full base cover (plastic)	
					(blank) TC Top cap	
					(blank) HHC Handhole cover	

See footnotes next page.

OUTDOOR POLE-SSS

D-Series Size 1
LED Wall Luminaire

Catalog Number	
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

d"series

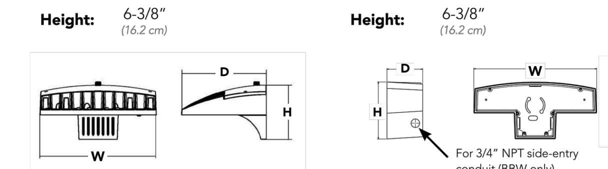
Specifications

Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, ELCW)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT[2]	**Shipped included**	**Shipped installed**
	20C 20 LEDs (two engines)[1]	530 530 mA	40K 4000 K	T2M Type II Medium	120[3]	(blank) Surface mounting bracket	PE Photoelectric cell, button type[6]
		700 700 mA	50K 5000 K	T3S Type III Short	208[3]	BBW Surface-mounted back box (for conduit entry)[5]	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)
		1000 1000 mA (1 A)[1]	AMBPC Amber phosphor converted	T3M Type III Medium	240[3]		PIR 180° motion/ambient light sensor, <15' mtg ht[1,7]
				T4M Type IV Medium	277[3]		PIRH 180° motion/ambient light sensor, 15-30' mtg ht[1,7]
				TFTM Forward Throw Medium	347[3,4]		PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[1,7]
					480[3,4]		PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[1,7]
							ELCW Emergency battery backup (includes external component enclosure), CA Title 20 Noncompliant[8,9]

Other Options		Finish (required)		
Shipped installed	**Shipped separately**[11]	DDBXD Dark bronze	DSSXD Sandstone	DWHGXD Textured white
SF Single fuse (120, 277 or 347V)[3,10]	BSW Bird-deterrent spikes	DBLXD Black	DDBTXD Textured dark bronze	DSSTXD Textured sandstone
DF Double fuse (208, 240 or 480V)[3,10]	VG Vandal guard	DNAXD Natural aluminum	DBLBXD Textured black	
HS House-side shield[11]	DDL Diffused drop lens	DWHXD White	DNATXD Textured natural aluminum	
SPD Separate surge protection[12]				

Accessories
Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

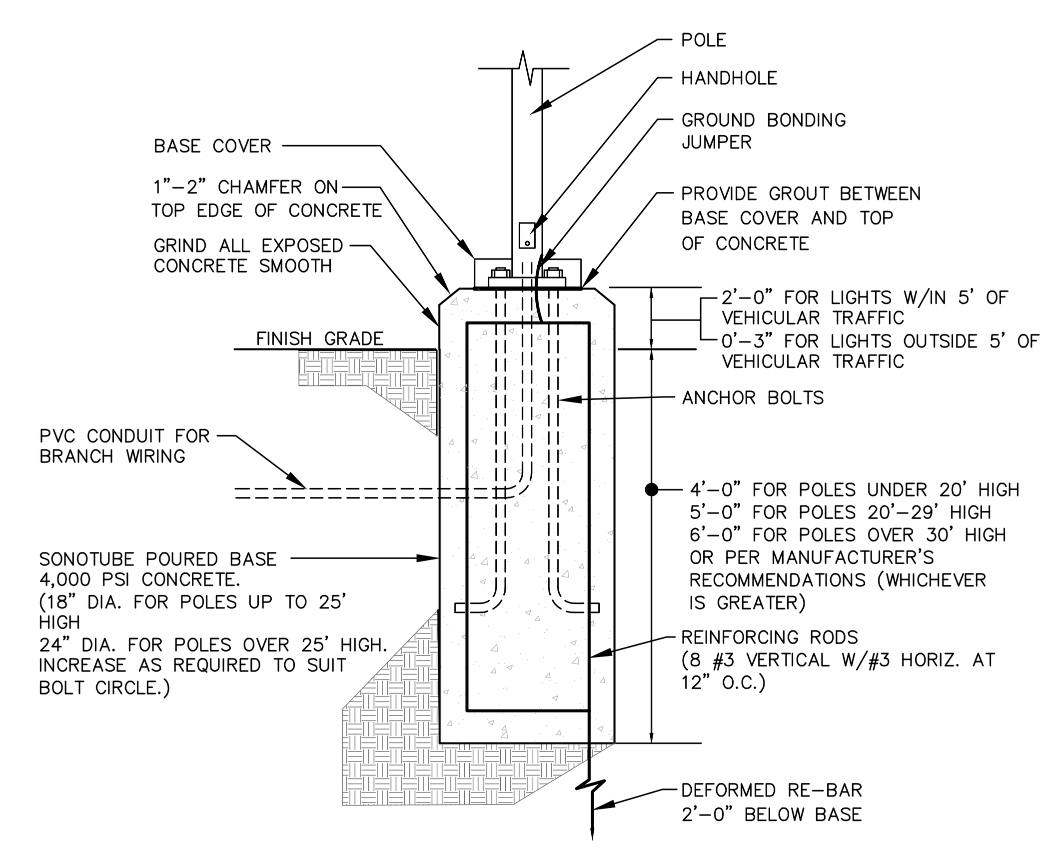
NOTES
1. 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
3. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
4. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
6. Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
7. Reference Motion Sensor table on page 3.
8. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
9. Not available with SPD.
10. Not available with ELCW.
11. Also available as a separate accessory; see Accessories information.
12. Not available with ELCW.

LITHONIA LIGHTING. COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

© 2013-2020 Acuity Brands Lighting, Inc. All rights reserved.

DSXW1-LED
Rev. 2/05/20



LIGHT POLE BASE
NO SCALE

NO.	REVISION	DATE	BY
1	REVISED PER MODIFIED ZONING ORDINANCE	2/17/20	KK

SEAL

SEAL
PENNSYLVANIA KIM ROBERT KRYDER REGISTERED LANDSCAPE ARCHITECT REGISTRATION NUMBER 680-E
Kim R. Kryder, R.L.A.

MANAGER	KK		
DESIGN	KK	CHKD. BY	
DRAFT	BG	CHKD. BY	
FILE	MOS-02	DATE	OCT 7, 2018
NOTES		SCALE	AS NOTED

BURSICH
Sharing your Vision

Corporate Headquarters
2129 East High Street
Pottstown, PA 19464
610-323-4040

Southampton Office
706 Lakeside Drive
Southampton, PA 18966

w w w . b u r s i c h . c o m

CLIENT
MOSCARIELLO DEVELOPMENT COMPANY
24 DONNY BROOK WAY
COLLEGEVILLE, PA 19426

SUBJECT
LIGHTING CONSTRUCTION DETAILS
MOSCARIELLO AT CROSSKEYS
LOWER PROVIDENCE TWP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 167680
SHEET NO. 19 OF 19
DWG. NO. CD667680