LOWER PROVIDENCE TOWNSHIP BOARD OF SUPERVISORS BUSINESS MEETING February 15, 2024

Call to Order: Chair Darby called the hybrid live/virtual meeting to order at 7:04 p.m.

Pledge of Allegiance

Protocol for Hybrid Meetings: Chair Darby provided an overview of the protocols for public participation for members of the public attending the meeting virtually over Zoom.

Roll Call:

- a. The following members were in attendance: Chair Darby, Vice Chair Neights, Supervisor MacFarland and Supervisor Charles.
- b. Also in attendance were: E.J. Mentry, Township Manager; Lauren Gallagher, Township Solicitor; Paul Donnelly, Assistant Township Manager; Tim Woodrow, Township Engineer; Mike Mrozinski, Community Development Director, Joe Chillano, Public Works Director; Mike Rohlfing, Fire Marshal/Emergency Management Coordinator (via Zoom); Mike Jackson, Chief of Police; and Mina Liu, Student Representative.

Chair's Comments

• Chair Darby announced that an Executive Session was held prior to the meeting on February 15, 2024 to discuss personnel and legal matters. She stated that public comments would be limited to three minutes.

1) Presentations

A. <u>Student Representative Report</u> – Mina Liu shared Methacton School District news. Assemblies will be held to discuss the grave dangers of fentanyl poisoning. There will be no school on February 16 and19. On February 23rd the senior banquet will be held at Normandy Farms. A community blood drive will be held on March 6. Methacton high school students will soon choose their courses for 2024-2025 school year.

B. Introduction of New Police Officers

Chief Jackson introduced the department's new officers: Richard Henning, Ryan Frederick and Albert Passanante.

2) Consent Agenda

- A. **MOTION:** Chair Darby made a motion to approve the consent agenda, accepting the minutes of February 1, 2024, and moving them into the record; accepting minutes of Township boards/committees/commissions; accepting departmental monthly reports; authorizing the payment of bills in the amount of \$695,162.49; and accepting the Treasurer's Report. Vice Chair Neights seconded the motion.
 - i. Chair Darby noted a correction on page 3 of the February 1, 2024 Board of Supervisors minutes. The full member appointed to the Zoning Hearing Board should be Gary Brown not Mark Kuberski.
 - ii. There was no public comment.
- iii. The motion *passed* 4-0, including the corrected minutes.

3) Public Hearing – Conditional Use – 2601 Egypt Road (continued from Feb.1)

Court reporter Tim Kurek was present to transcribe a complete record of testimony.

- A. **MOTION** Chair Darby made a motion to open the public hearing, seconded by Supervisor Neights. The motion *passed* 4-0.
 - i. Solicitor Gallagher said they were reconvening a hearing related to the Conditional Use Application for 2601 Egypt Road to allow more than one permitted use at the property, with the addition of a retail smoke shop. The property is located in the General Commercial (CG) zoning district. This matter was opened at the Board of Supervisors meeting of February 1, 2024, and was postponed at the applicant's request.
 - ii. Brendan Campbell was present as counsel for the applicant, Nagib Albadani. Mr. Campbell asked Mr. Albadani a series of questions regarding the 2601 Egypt Road property, including about past uses, planned use as a smoke shop, signage, and parking.
 - a. Supervisor Neights asked if the applicant had performed a traffic impact analysis, to which Mr. Campbell responded that they had not. Mr. Campbell said he does not believe the planned use will get the same traffic volume that it did previously when it was a Dunkin Donuts.
 - b. Chair Darby asked specifically about the number of customers Mr. Albadani expects to which he responded that a customer might come every few hours. He does not expect them to come in two or three at a time.
- iii. There was no one seeking party status.
- iv. Solicitor Gallagher said a vote on the application would take place at the March 21, 2024 meeting.
- v. **MOTION**: Chair Darby made a motion to close the public hearing, seconded by Supervisor Charles. The motion *passed* 4-0.
- vi. There was no public comment.

4) Old Business

- A. Consideration of Appointment to Fill Supervisor Vacancy
 - i. **MOTION**: Chair Darby made a motion to appoint Terri Neufeglise to fill the unexpired term on the Board of Supervisors, seconded by Supervisor Neights.
 - ii. Discussion took place about the process to find a new supervisor, the level of transparency, and the opportunity for community input.
- iii. There was no public comment.
- iv. The motion *passed* 4-0.

5) New Business

- A. Authorization to Advertise 2024 Road Reconstruction Bid
 - i. Mr. Mentry said that this was the annual kick-off to the road improvement program that is included in the 2024 budget. Included this year are Hildebidle, Highley, Staughton, and Smith roads. There is an alternate bid that includes Allison Circle, Wilson Blvd., and Theresa St.
 - ii. **MOTION**: Chair Darby made a motion to authorize advertisement of the 2024 Road Reconstruction Bid, seconded by Supervisor Neights.
- iii. There was no public comment.
- iv. The motion *passed* 4-0.

B. Authorization to Advertise Police Pension Ordinance Amendment

i. Mr. Mentry said that the ordinance amendment is consistent with the recently settled fiveyear collective bargaining agreement with the police bargaining unit approved before the end of 2023. The ordinance amends the police pension plan to add a military buy back option which is a provision that will allow officers with prior years of active-duty military service the option to purchase up to five years of that service to count toward their years of service with the Township and pension calculation. It would allow an eligible officer to retire early with a full pension benefit provided they pay for the actuarial cost for the years of military service.

- ii. **MOTION:** Chair Darby made a motion to authorize to advertise a Police Pension Ordinance Amendment. Supervisor Neights seconded the motion.
- iii. Supervisor MacFarland asked about the financial impact on the pension plan.
- iv. There was no public comment.
- v. The motion *passed* 4-0.

C. Consideration of Letter of Intent for Proposed Council of Government

- i. Mr. Donnelly said that neighboring municipalities met in Upper Providence Township for a roundtable to explore regionalized services, with the ultimate goal to potentially form a Council of Government. The letter of intent to the Governor's Office of Local Government Services acknowledges the Township's willingness to support the endeavor and accept assistance in exploring these services. He noted that there are no obligations with the letter and that similar letters had been submitted by Upper Providence, Limerick, Skippack Townships and the boroughs of Royersford, Trappe and Collegeville. Mr. Mentry said the roundtables were initially organized two years ago by Upper Providence. Township.
- ii. **MOTION**: Chair Darby made a motion to accept the Letter of Intent for Proposed Council of Government. Supervisor Neights seconded the motion.
- iii. There was no public comment.
- iv. The motion *passed* 4-0.

D. Consideration of Compliance Engine Inspection Reporting Service

- i. Mr. Mentry explained that Mike Rohlfing, the Township's fire marshal, has been exploring ways to streamline administrative operations for his department. Mr. Rohlfing explained that as part of the department's business safety inspection process, businesses are required to provide the Township with their annual fire suppression inspection reports to make sure there are no deficiencies. The Compliance Engine Inspection Reporting Service is a third-party service that gathers, standardizes and submits these reports to the Township, conducting any follow-up needed. He said there is no cost to the Township. Mr. Mentry said the Solicitor and staff have reviewed the required agreements with no concerns.
- ii. Supervisor MacFarland asked about who conducts the inspections. Mr. Rohlfing said the businesses can hire whoever they choose.
- iii. **MOTION**: Chair Darby made a motion to approve Compliance Engine Inspection Reporting Service. Supervisor Charles seconded the motion.
- iv. There was no public comment.
- v. The motion was *passed* 3-1 with Supervisor MacFarland dissenting.

5) Announcements/Meetings

- Administration Office closed Feb. 19 for Presidents' Day holiday
- Library Board Feb. 19 at 7:00 p.m.
- Parks and Recreation Board Feb. 20 at 7:00 p.m. The Redtail Park survey will be open until the end of the month.
- Zoning Hearing Board Feb. 22 at 7:00 p.m. Cancelled
- Environmental Advisory Council Feb. 26 at 7:00 p.m.

- Human Relations Commission Feb. 27 at 6:00 p.m
- Planning Commission Feb. 28 at 7:00 p.m.
- Rep. Webster will be hold a press conference in Hoy Park on Feb. 2 on the Perkiomen Watershed Initiative.
- The March 7 Board of Supervisors meeting will be a workshop to discuss the Municipal Campus Plan.
- Supervisor Neights, Sewer Authority liaison, said that the Authority honored its engineer, Ed Woydon, on his retirement. Theresa Funk is the new SA engineer. He noted that the SA is entering into a cost-sharing agreement with PennDOT associated with the work at Germantown and Ridge pikes and discussed Methacton High School's renovation plans and potential connection to the SA system.
- 6) Courtesy of the Floor
- 7) Adjournment Chair Darby adjourned the meeting at 8:05 p.m.
- 8) The meeting was reconvened at 8:06 p.m.
 - A. Ann Bickle, Township resident, expressed concern about the Resources for Human Development (RHD proposal and the existing Eagleville Hospital.
- 9) Adjournment Chair Darby adjourned the meeting at 8:21 p.m.

Next Business Meetings:

March 7, 2024 March 21, 2024

LOWER PROVIDENCE TOWNSHIP BOARD OF SUPERVISORS WORKSHOP MARCH 7, 2024

Attendance:

- a. The following were in attendance: Supervisors, Dr. Janine Darby, Peter MacFarland, Gary Neights and Terri Neufeglise. Supervisor Charles was absent.
- b. Also present were: Tim Woodrow, Township Engineer; E.J. Mentry, Township Manager; Paul Donnelly, Assistant Township Manager; Rich Lafiata, Finance Director; Michael Mrozinski, Community Development Director; Joseph Chillano, Public Works Director; Jane Delaney, Parks and Recreation Director, Michael Jackson, Chief of Police; Michael Rohlfing, Fire Marshal and Emergency Management Coordinator, and Denise Walsh, Community Relations Coordinator.
- c. The workshop convened at 7:05 p.m.

1. Campus Master Plan Discussion

- A) Mr. Mentry said efforts to enhance the functionality and efficiency of the Township includes a Campus Master Plan for a potential new Township Building and Police Department. He noted that the current Township building was constructed in 1979 and has not undergone any major renovations or expansion since that time. Since 1999, there have been four feasibility studies which recognized the need for additional space and renovations and recommended expansion or new construction. He listed three central challenges with the current Township Building and Police facilities: Safety and security; staff growth and space; and IT, HVAC and plumbing issues. Adequate parking is an additional concern.
- B) Mr. Mentry explained that in 2023 the Township engaged Boyle Construction as the Construction Manager/Owner's Representative, along with MKSD Architects, to evaluate the municipal campus and facility needs. Following meetings with Township, Police, Library, and Sewer Authority staff, design concepts and cost estimates were provided.
- C) Lauren Clifton and Peter Syzonenko of MKSD reviewed the designs for new construction. There are two primary options: One building housing all departments, including Police; or two separate buildings, one for Administration and one for the Police Department and Emergency Management. The proposed site for either option moves the buildings closer to Ridge Pike, most significantly for improved egress for the police. The possibility of renovating the existing barn for event space was also discussed.
- D) Silvia Hoffman of MKSD spoke about sustainability options and possibly designing to LEED (Leadership in Energy and Environmental Design) standards.
- E) Tony Ganguzza and Christian Donovan of Boyle Construction reviewed the full cost of each of the primary options. They also showed comparable construction costs, noting the upward trend in these costs. Estimated costs for a single building and two buildings were \$32.22 million and \$32.25 million, respectively. These estimates do not include costs associated with additional work, such as barn renovations, nor work on the existing building.
- F) Finance Director Rich Lafiata said financing options researched include a bond, banknote and swap option. Based on current estimates, a borrowing of \$30m would require an annual debt payment of between \$1.8 and \$2m. The Township currently collects about \$450,000 annually through its debt service millage, and the current debt is due to be retired in 2026.

- G) Supervisor Neufeglise asked about the inclusion of the Sewer Authority within the new building.
- H) In response to questions from Supervisor MacFarland, it was noted that proposed egress for the Police Department would need to be modified and that the cost estimates do not include any demolition or renovations to the barn.
- I) Chair Darby confirmed with Mr. Ganguzza that phasing of the project was possible and that there is the potential for reusing the existing Township Building for community space.
- J) Supervisor Neights asked about the possible revenue from the barn renovation and the reasoning behind the increase in conference rooms and "huddle spaces." He asked if a holistic approach to the site had been taken. Mr. Syzonenko said that many configurations had been considered and that the options presented met the Township's expressed needs while using less valuable space within the complex.
- K) There was discussion about the proximity of the football field to the two-building option and modifications that could be made to accommodate both the building and the field.
- L) There was consensus that the option for separate buildings is preferred.

2. Courtesy of the Floor

- A) Julie Nekhleh, Township resident, discussed HVAC costs for two separate buildings, the new location of the 911 Memorial, EV chargers, geothermal possibilities, and the reuse of furniture.
- B) Dave Laganelli, Township resident, commented on the two-building option and driveway placement. He also had questions regarding the Church Road subdivision. Mr. Woodrow offered to speak with him after the workshop.
- C) Lindsay Chelius, Township resident, expressed concerns about the Resources for Human Development (RHD) transitional housing proposal.

3. Announcements/Meetings

- Sewer Authority March 11 at 4:30 p.m.
- Transportation Impact Fee Advisory Committee March 11 at 7:00 p.m.
- Library Board March 18 at 7:00
- Environmental Advisory Council March 18 at 7:00 p.m.
- Parks and Recreation Board March 19 at 7:00 p.m.
- Planning Commission March 27 at 7:00 p.m. Cancelled
- Zoning Hearing Board March 28 at 7:00 p.m.

Adjournment - The workshop adjourned at 9:00 PM.

Next meetings:	March 21, 2204
	April 4, 2024

Respectfully submitted:

E.J. Mentry, Secretary

Lower Providence Environmental Advisory Council meeting for January 22, 2024

Roll Call: Amber Minnick, Douglas White, Laura Winslow, John Zollers, Terri Neufeglilse, Madison Roeger, and Avinh Li were present. Ms. Minnick served as Chair for the evening. Also in attendance were Assistant Township Manager Paul Donnelly and Township Supervisor Gary Neights.

1. <u>Approval of Minutes</u>: Mr. White motioned, seconded by Ms. Winslow, to approve the December meeting minutes, which passed 5-0.

2. Old Business.

2b. Paige Menton, representing the organization Journey Work, gave a presentation on their programs which are dedicated to replacing traditional grass lawns with ecologically appropriate plantings in southeastern Pennsylvania. Journey Work provides technical assistance, volunteer labor, and grants to residential properties, non-profit organizations and municipal entities in this endeavor.

- Simple and accessible techniques are used such as sheet mulching overwinter to kill existing lawn, followed by bulk plant purchases distributed in spring.

- Not-a-lawn-parties are used to teach neighbors and passersby about work being done.

- Concepts based on those developed by West Vincent Township EAC

More information is available at journeywork.org.

Mr. Zollers stated his intention to work on implementing similar programs in Lower Providence either through Journey Work or independently.

2a.

1. Ms. Minnick attended the recent Bird Town Clutch meeting and introduced the new EAC members to the Bird Town Committee's work. Ms. Minnick and Ms. Roeger will present on Bird Town at the February Parks & Recreation board meeting. Ms. Roeger introduced her proposed Gold Award scavenger hunt project targeting a Lower Providence park. Ms. Minnick advised that Lower Providence purchased six additional Bird Town signs which need to be placed.

2. Ms. Winslow advised the Council of an event at Ursinus College by Perkiomen Watershed Conservancy on Stormwater Management Programs. Ms. Winslow will order trees that can be used for planting or giveaways later this month. Trees can be planted without permission in reparian buffers. Ms. Winslow also asked for another EAC member to take on a greater role in developing the plastic bag ordinance and will provide her research accordingly.

3. No updates

4. No updates

3. New Business.

Ms. Minnick noted it will be necessary to add new EAC members to shared Google Docs (work plan, etc). Ms. Minnick noted the regional EAC conference is scheduled for March. Ms. Roeger noted most of the groundwork is in place for an EAC / Bird Town story time at the Lower Providence Community Library and advised we hand out EAC cards and possibly other materials. Ms. Winslow and Ms. Roeger discussed an Earth Day event (April 25) at Eagleville Park (possibly concurrent with library story time and other activities). Mr. White acknowledged Mr. Neights' proposed goals for the EAC Work Plan and requested they be added to the document. Mr. Neights recommends the EAC discuss scheduling regular attendance at other Township board and commission meetings, in particular the Planning Commission which meets on the 3rd Tuesday of the month.

4. Comments and Other Business. None

5. <u>Courtesy of the Floor</u>. None

6. <u>Adjournment</u>. Mr. Zollers made a motion to adjourn the meeting, seconded by Ms. Winslow, which passed 5-0

LOWER PROVIDENCE TOWNSHIP PARKS & RECREATION January 23, 2024, MEETING MINUTES

1) Call to Order.

- A) Amy Johnston-Smith called the meeting to order at 7:04 p.m.
- 2) Pledge of Allegiance
- 3) Roll Call:
 - A) The following Parks & Recreation board members were in attendance: Amy Johnston-Smith, Beth Ann Mazza, Erin DiPaolo, Ray Lotfi, Kasey Walker, Stephanie Padula and Michelle Brown.
 - B) Also in attendance: Jane Delaney, Director of Parks & Recreation, Nick Walker, Program Coordinator, Karen Barron, Minutes Secretary, Dr. Janine Darby, Board Liaison, Thomas MacNeel, Student Representative and Rylie Cox, Parks & Recreation Intern.

4) Re-Organization Meeting

- A) Amy Johnston-Smith was nominated to be Chair by Beth Ann Mazza and seconded by Michelle Brown.
- B) Beth Ann Mazza was nominated to be Vice Chair by Stephanie Padula and seconded by Michelle
- Brown.
- C) Adjourn Re-Organization Meeting.

5) Meeting Minutes:

A) The meeting minutes of December 19, 2023, were approved and submitted with correction in the Supervisor Liaison report stating the Encompass Health – Physical Rehab would be coming not opening.

6) Old Business

A) Caring and Sharing Program wrapped up for the 2023 season.

7) New Business

- A) New Program Coordinator, Nick Walker was welcomed.
- B) Upcoming Events:
 - 1) Easter Egg Hunt scheduled for March 16th with a rain date of March 17th.
 - 2) Planning stages of Summer Camp, reaching out to past staff.
 - 3) Revisit Redtail Master Plan and asked the Park Board for their input on Redtail plan.

Comments from the Board

- A) Ray Lotfi mentioned having reached out to orchestras in the area.
- B) Beth Ann Mazza Redtail parking lot, cars in lot overnight. List of events for volunteers and asked if we had anything planned for Earth Day
- C) Amy Johnston-Smith asked if business sponsorship letters have gone out.
- D) Kasey Walker asked about Park Tour dates.
- E) Erin Di Paolo next meeting if we could go over the 2024 event schedule.

7) Supervisor Liaison Report

Dr. Janine Darby let the board know that there is a Municipal Complex study in the next few months. RHD made a presentation to the Board of Supervisors regarding a short-term housing facility. And a new Supervisor will be in place in February.

8) Resident Comments

N/A

9) Motion to Adjourn.

A) MOTION: Kasey Walker made a motion to adjourn. Ray Lotfi seconded the motion. The motion *passed* 7-0. The meeting was adjourned at 8:22 p.m.

Next Meeting: February 20, 2024

REORGANIZATION / REGULAR MEETING

LOWER PROVIDENCE TOWNSHIP SEWER AUTHORITY MINUTES OF JANUARY 8, 2024

The Reorganization / Regular Meeting of the Lower Providence Township Sewer Authority was held on Monday, January 8, 2024, at 4:30 PM in the Authority's Board Room at the Sewer Authority Office, located at 20 Parklane Drive, Eagleville, PA, pursuant to public notice and posting of time and place of said meeting.

Present were Authority Members:

Mr. Fred Walker, Chairman; Mr. Charles Rose, Vice Chairman; Mr. Robert Tschoepe, Secretary and Mr. Frank McDonough, Assistant Treasurer

In addition, thereto, the following persons were present:

Mr. Alan Rubendall, System Superintendent; Ms. Lori Connolly, Office Manager; Mr. Eric Frey, Solicitor; Mr. Ed Woyden, Engineer, Ms. Theresa Funk, Engineer and Mr. Gary Neights, Liaison

Absent was Authority Member: Dr. Jason Sorgini, Treasurer

CALL TO ORDER

The Chairman called the meeting to order at 4:30 PM and led everyone in the Pledge of Allegiance.

The Chairman stated that there was an Executive Session prior to the meeting to discuss legal and personnel issues.

TEMPORARY CHAIRMAN

The Chairman asked for a motion to turn the meeting over to Mr. Frey.

Upon motion of Mr. Rose, seconded by Mr. McDonough and unanimously carried, Mr. Frey was appointed as temporary Chairman for the election of Chairman.

APPOINTMENT OF CHAIRMAN

Mr. Frey asked for nominations for the office of Chairman.

Mr. Rose made a motion nominating Fred Walker as Chairman. The motion was seconded by Mr. Tschoepe and unanimously carried.

Mr. Frey turned the meeting back to the Chairman, Mr. Walker.

APPOINTMENT'S

The Chairman made a motion nominating Mr. Rose as Vice Chairman, Mr. Tschoepe as Secretary, Mr. Sorgini as Treasurer, Mr. McDonough as Assistant Treasurer, Mr. Rubendall as Assistant Secretary and Ms. Connolly as Open Records Officer. The motion was seconded by Mr. McDonough and unanimously carried.

APPOINTMENT OF SOLICITOR

Mr. McDonough made a motion to reappoint the law firm of Dischell Bartle Dooley, P.C. per the established rate. The nomination was seconded by Mr. Rose and unanimously carried.

APPOINTMENT OF ENGINEER

Mr. Tschoepe made a motion to reappoint the engineering firm of Gannet Fleming, Inc. per the established rate. The nomination was seconded by Mr. McDonough and unanimously carried.

APPOINTMENT OF AUDITOR

Mr. Rose made a motion to appoint Bee, Bergvall & Company as Auditor. The motion was seconded by Mr. Tschoepe and unanimously carried.

APPOINTMENT OF DEPOSITORS

Mr. Tschoepe made a motion to appoint Trumark Financial Credit Union, The Victory Bank, PNC Bank and Charles Schwab as Depositors. The motion was seconded by Mr. Rose and unanimously carried.

APPOINTMENT OF COMMITTEES

The Chairman made a motion to appoint the following committees:

Personnel & Pension - Mr. Tschoepe; Equipment & Building - Mr. McDonough; Rates & Budget - Mr. Sorgini and Capital Projects - Mr. Rose. The motion was seconded by Mr. Tschoepe and unanimously carried.

MEETING DATES & TIMES

A motion was made by Mr. Rose, seconded by Mr. McDonough and unanimously carried, to approve the meeting dates for their regular monthly meetings for 2024/2025, held on the second Monday of every month at 4:30P.M. unless otherwise noted, and for said dates and times to be advertised in the local newspaper.

The meeting dates are as follows:

FEBRUARY 12 MARCH 11 APRIL 8 MAY 13 JUNE 10 JULY 8 AUGUST 12 SEPTEMBER 9 OCTOBER 14 NOVEMBER 12 - TUESDAY DECEMBER 9 JANUARY 13, 2025 - REORGANIZATION / REGULAR MEETING

MINUTES

The minutes of the December 11, 2023, meeting was presented. Upon motion of Mr. Rose seconded by Mr. McDonough and unanimously carried, the reading of the minutes was waived and approved.

TREASURER'S REPORT - EXHIBIT 'A'

Mr. McDonough presented to the Board the bills to be paid from the Revenue & Administration and Capital Improvement accounts.

Upon motion of Mr. McDonough seconded by Mr. Tschoepe and unanimously carried, the Board approved payment of bills from the Revenue & Administration and Capital Improvement accounts hereto marked as Exhibit 'A'.

EQUIPMENT & BUILDING

Mr. McDonough stated to the Board that an overhang was built at the shop to permanently store the plow outside. Two new additional cellular callers were installed, and our maintenance crew worked with the Township Road crew to clean a storm pipe on Buckwalter Road.

Mr. Rubendall added that the backflow preventor at the garage was inspected.

CAPITAL PROJECTS

2021 Sanitary Sewer Line Replacement

Mr. Rose stated to the Board that an email was sent to Anrich on December 7, 2023 requesting a status update on closing the Contract. Anrich stated the submission requesting extras will be made by the end of January 2024.

2023 Sanitary Sewer Line Replacement

Notice to Proceed sent to JOAO & Bradley December 15, 2023. The starting date for this Contract is January 8, 2024. The Contractor secured a staging area with the Lower Providence Fire Department and will begin having materials delivered starting Monday January 8, 2024. As of January 8, 2024, they are still on schedule to begin work Monday January 15, 2024 with the Rogers Road portion as the planned starting area.

ENGINEER'S REPORT - EXHIBIT 'B'

There were no questions on the Engineer's Report.

Sewer Line at Trooper Road

The Chairman asked if the sewer line on Trooper Road could be rerouted to the gravity line on Clearfield Avenue. The Engineer will investigate it.

Force Main at Audubon Road

Mr. Rubendall stated to the Board that the spot to repair the force main is estimated to be between \$7,000 - \$10,000. The Chairman asked the Engineer to get a cost to replace the entire Force Main.

SYSTEM SUPERINTENDENT'S REPORT - EXHIBIT 'C'

There were no questions on the System Superintendent's Report.

2972 Second Street

Mr. Rubendall stated to the Board that since the ground water issue was fixed at 2976 Second Street, the owner of 2972 Second Street has been getting ground water in the basement when it rains. The owner sent pictures.

After discussion, the Board directed Mr. Rubendall to work with the Engineer to see if there is something that can be done to resolve the ground water issue.

ATTORNEY REPORT

Mr. Frey reported that all his comments on legal matters had been previously discussed in Executive Session.

OLD BUSINESS

Collection Update on Delinquent Accounts

Ms. Connolly stated that a new AR Aging will be run after the billing quarter, and she will get together with the Attorney.

Ordinance for Sewer Lateral Inspection Prior to Sale of Property

Mr. Frey reported to the Board that he reached out to the Township Solicitor and is still waiting to hear back from her regarding the prior discussions with the staff and solicitor. The next step is to receive comments from the Township and then, hopefully, for the Township to adopt the ordinance.

Ridge Pike & Germantown Pike Realignment Project Invoice Repayment

Mr. Woyden stated to the Board that they are working with consultants on the Agreements.

NEW BUSINESS

1429 Pawlings Road

After discussion, a motion was made by Mr. McDonough, seconded by Mr. Tschoepe and unanimously carried authorizing the Solicitor to negotiate a minimum of \$8000.00 plus attorney fees.

Grant Money

Mr. McDonough stated to the Board that he read about some Grant opportunities.

After discussion, Mr. McDonough, Mr. Rose and Mr. Rubendall will meet with Gannet Fleming to discuss further.

ADJOURNMENT

There being no further business to come before the Board, the meeting was adjourned at 5:17 PM by motion of Mr. Rose seconded by Mr. McDonough and unanimously carried.

Alan Rubendall, Assistant Secretary



LOWER PROVIDENCE COMMUNITY DEVELOPMENT DEPARTMENT MONTHLY REPORT – JANUARY 2024

The Township Planning Commission met on February 28, 2024, to discuss a proposed zoning ordinance text amendment permitting supportive short-term housing in the Institutional Overlay District. While there was considerable comment by the Commission members and the public in attendance, no recommendation on the text amendment was offered.

There will be no Planning Commission meeting on March 27, 2024.

The ZHB did not meet on February 22nd.

The ZHB will meet on March 28th. for three appeals: Hengemihle-1153 Pawlings Road requesting relief to permit a tract size of approximately 60,000 square feet; The applicant is proposing to create a building lot. Duffy-100 Regency Drive requesting time extension from a previous ZHB decision to allow for building permitting; and UMH PA Sunnyside-40 Clara Street requesting setback relief.

Construction is wrapping up at Whitetail Ridge on Brimfield and Woodland. and at Bella Rosy, 3801 Germantown. Work is completed at Globus Medical, 1111 Adams.

Staff and consultants are working with a potential carwash project at Ridge and S. Park, and a potential two lot subdivision at 1153 Pawlings. Also, we are working with applicants to refine plans at 960 Rittenhouse and Encompass Health, 2660 Audubon. A new Mechanical contractor is moving into 2650 Eisenhower.

Members of the Zoning Ordinance Working Group are working with Greg Heleniak from the Solicitor's Office on the new zoning ordinance. We are drafting ways to incorporate the Comprehensive Plan and other visions into the revised ordinance.

Recently, staff have been working with property owners and tenants on alleviating property maintenance concerns in the 2900 block of Fourth Street and in the 3900 block of Ridge Pike, along with some recurring stormwater issues.

We issued 43 building permits, 25 zoning permits, 3 new business licenses, 16 resale U&Os, and handled 45 service requests in February. As always, please contact us with any questions or concerns.

HIGHLIGHTS

COMMUNICATIONS / COMMUNITY OUTREACH

Website, social media, and digital sign messages of note:

- Perkiomen Watershed Spring Clean-up
- PECO gas main work Evansburg Road
- Baba's Hot Chicken and Brews ribbon cutting
- Redtail Park Community Survey reminder
- Bird Town signs
- Employment Opportunity: Accreditation and Grants Coordinator
- Share of Police post New officers
- FEMA Youth Preparedness Council opportunity
- Office closures inclement weather, Presidents' Day
- PECO notice: Bill update to affect customer account numbers
- Share of Methacton School District post Campus Planning Survey
- Parks and Recreation programs and events
- Board/commission/council meetings/cancellations
- Good Morning Lower Providence posts

Continued to send emails to those signed up to receive updates on the Park Avenue/Eagleville Road/Crawford Road intersection improvement project. To date, there are 148 contacts on the list.

RIGHT-TO-KNOW OFFICE

During the month, requests for information under the Right-to-Know Law were logged and processed, totaling 12 police and 15 non-police. (Copies of reports prepared as a result of an accident investigation conducted by the Lower Providence Township Police Department are obtained through Carfax.)

ON-GOING RESPONSIBILITIES

Communications

- Website posts, updates
- Facebook, X and Instagram posts
- Digital sign messages
- Press releases
- Constant Contact emails
- Trash & recycling service issues

Administration

- Legal advertisements as needed
- Scheduling, correspondence and miscellaneous tasks as needed
- Preparation and distribution of Board of Supervisors' agenda packets
- Weekly email to Board of Supervisors with informational items

LOWER PROVIDENCE TOWNSHIP COMMUNITY RELATIONS DEPARTMENT MONTHLY REPORT FEBRUARY 2024

- Completion of post-Board meeting tasks, including posting of meeting summary and approved minutes on website
- Scheduling, setup of auditorium
- Attendance at various meetings; preparation and distribution of meeting notes
- Maintenance of Resolution, Minute and Ordinance books

Meetings / Training

- Board of Supervisors (prepared minutes) Feb. 1, 15
- Staff Meeting Feb. 6, 29
- DVHT Wellness Webinar Feb. 21
- HRA Plan Overview virtual session Feb. 26
- Mascaro monthly meeting Feb. 29

Respectfully submitted, Denise Walsh

Denise Walsh Community Relations Coordinator

LOWER PROVIDENCE TOWNSHIP



100 Parklane Drive • Eagleville, PA 19403 • www.lowerprovidence.org Administration: 610 539-8020 • Fax: 610 539-6347 Police: 610-539-5901 • Fax: 610-630-2219



LOWER PROVIDENCE TOWNSHIP INTER-OFFICE CORRESPONDENCE

TO: Board of Supervisors

FROM: Finance Department

DATE: March 1, 2024

SUBJECT: February 2024 Finance Department Monthly Report

Payroll

- Reconciled benefit time for various employees
- Processed Payroll for February 9th and February 23^{rd.}
- Worked with Paychex to set up withholdings for employee H.S.A contributions.

Software Conversion

- Setup journal approvals in Accounting Software
- Began to import history from previous accounting software
- Added Caselle Advantage (Budgeting/Reporting Module)

Audit

- Audited field work began on 2/26/2024 and concluded on 2/29/2024
- Supplied requested receipts and invoices to Auditors
- Calculated compensated absences
- Provided bank reconciliations, payroll entries, MS965, escrow reconciliation, 457 participant statements, etc. to Appointed Auditors

Miscellaneous

- Met with Delco Solutions regarding IT upgrades to Municipal Building
- Worked with Help Now LLC regarding various I.T. issues including e-mail migration
- Completed Survey of Financial Condition and submitted to DCED
- Funding Townships portion of employee H.S.A deductible
- Calculated retiree/library employee's new insurance rates
- Setup ACH and Positive Pay on American Relief Fund bank account
- Prepared year end projection memo to Township Manager
- Supplied Police Department with various documents for grant reporting
- Submitted reimbursements request for the Body Worn Camera Grant
- Filed AG-385
- Worked with Delaware Valley Regional Finance Authority, TD Bank and Stifel for borrowing estimates for new Municipal Building

Ongoing tasks

• Reinvest matured Certificate of Deposit (C.D.) to continue the maturity schedule that has Certificate of Deposits maturing approximately every 30 days

- Complete Cash Flow, Revenue and Expenditure, Treasurer's, and Revenue Trends reports
- Contact Freedom Accounting Software to address numerous issues
- Follow the purchasing policy for proper approval of all purchases. Review open Purchase Orders.
- Distribute for approval, enter, and pay invoices
 - Follow up with vendors regarding unpaid/past due invoices
- Daily reconciliation of receipts for front counter, permits, and LPT rec
- Bill developers/residents for legal/engineering, alarm violations, and other fees due to the Township
- Review all entries to the General Ledger
- Reconcile all bank accounts
- Reconcile escrow account balances
- Transfer funds to the library





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Fire Marshal & Emergency Management Coordinator

February 2024 Report

During the month of February 2024:

- Lower Providence Fire Department responded to 27 emergency incidents within the Township
- Bette McMorrow and Bill Hine achieved certification through Pennsylvania Emergency Management Agency in emergency planning
- Investigated one building fire
 - o Village Way, Lower Frederick
- Business license inspections resumed
- Performed numerous fire alarm acceptance tests
- All Township building fire extinguishers have been inspected
- Met with regional Fire Investigators to discuss best practices
- Developed evidence collection procedures
- Taught CPR to four new hires
- Bill Hine, Andrew Getka and I completed the Cambria County Leadership Academy
 - A nine evening program consisting of presenters discussing leadership trends in the fire service.
- Attended Township meeting to request adoption of The Compliance Engine
- Participated in electric vehicle webinar discussing the challenges and solutions to fire incidents involving electric vehicles.

Notes: Special thanks to Denise Walsh for her continued assistance with the Fire Marshal webpage.

LOWER PROVIDENCE TOWNSHIP PARKS AND RECREATION

MONTHLY REPORT February 2024

Administration:

- Daily communication with Joe Chillano, Director of Public Works, to discuss job tasks/duties for parks crew.
- Attended the staff meeting.
- Transfer monthly CCFee report.
- Met with the Park and Recreation staff to prepare for Summer Camp registrations. Camp registrations began February 26th.
- Sent out second reminder letters to the past summer camp staff to see if they plan on returning this year.
- Worked on preparing for the Annual Easter Egg Hunt event with Karen Barron, Nick Walker, and Rylie Cox (intern)– ordered supplies, prepared flier and working on secure volunteers.
- Prepare for and led the Park Board Meeting February 20th. We had two presentations at this month's meeting, Amber Minnick, from the EAC, presented on Bird Town and Madison Roeger, Gold Award candidate. Both presentations were very informative.
- Worked with Paul on creating a survey for Redtail Park. It was sent out to over 800 residents to get their feedback. Surveys were sent out on Friday, February 2nd and run until March 1st.
- Nick and I attended the District III meeting at Whitemarsh Township.
- Attended a monthly meeting for Montgomery County Senior Games on Thursday, February 15th. We will continue to meet as a committee monthly to prepare for the games. The Senior Games will be played May 6th -May 10th.
- I took Nick Walker around to a few of the parks in the township. We will continue to visit all other parks as the weather permits.
- Continued to work with Nick on daily tasks and I have him researching and securing food trucks for our special events.
- I am still working on securing another band for our summer concert series.
- Met with Mike Nester to discuss the opening of the bathrooms in March.
- Mike Nester placed the Bird Town signs around the township.
- Coordinated a "Big Day of Service", with Victory Church, on Saturday, April 27th. We will spruce up Eagleville and Eskie Parks from 9 am -1pm.
- Met the new supervisor, Terri Neufeglise.
- I have been having open communication with the County and MARA about building a pole barn on County property. Now, I am waiting to hear from MARA and what their next step will be.
- Mike installed an AED box at Eskie Park at the pavilion.
- Mike Nester prepared and cleaned Hoy Park for Joe Webster's event on February 16th.
- Nick Walker completed Cybersecurity training on February 27th.
- Working with Nick daily to secure programs for spring and summer
- We sold 4 discounted Regal Movie tickets. Movie tickets are sold at a discounted price of \$10.50 per ticket year- round.
- We sold 34 discounted Movie Tavern tickets in February. Movie Tavern tickets are sold for \$9.00 year -round.
- We continue to offer the Memorial Donation Program which allows residents to purchase a bench, a tree, or a brick in a loved one's honor and have it placed in a special location in one of our beautiful parks. We sold 1 brick in February.

• We continue to offer our Hometown Heroes Program and have been replacing the banners throughout Eagleville Park as they are purchased.

All Parks/ Facilities Maintenance:

- Continue to communicate with Mike Nester on any matters that need attention over the winter months.
- Trash is picked up weekly or as needed at area parks.
- Continue to check and replenish Mutt Mitts in area parks.
- Continue to inspect area parks daily and make repairs as needed.
- Mike, Zach, and John are inspecting the memorial flags and making sure they are secure.
- Prepare a cleaning schedule for John Simons for the Schoolhouse as we have programs running Monday -Friday and rentals on the weekends.

Programs in session:

• Firebirds Theatre Acting Class Session

Upcoming Programs:

- East Egg Hunt
- Senior Bingo
- Community Yard Sale
- Adult & Kids Pottery Class
- Creative Cartooning with Mr. David
- Babysitting Class
- Medicare Workshop
- Pickleball for Beginners

Daily Tasks:

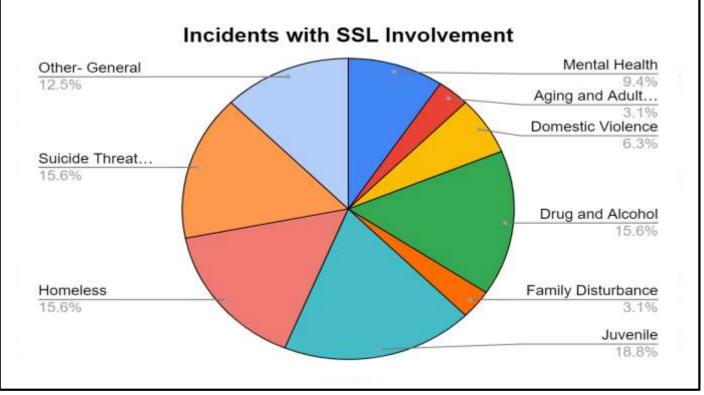
- Return calls and emails daily.
- Respond to requests from the residents.
- Multiple meetings with Nick Walker, Karen Barron, and Rylie Cox regarding winter/spring programs as well as ongoing programs and events.
- Continue to participate in Zoom/ in person meetings and webinar with PRPS.
- Update P & R web page, Facebook, Instagram, MyRec and the marquee as needed.

Respectfully Submitted,

Jane C. Delaney Director of Parks and Recreation

		Number of	~		Number o
Type of Service Provided	Description	Instances	(Presenting Issues	Incidents
Contact/	Contacting residents to determine needs and				
Assisting Resident	providing resources as needed.	53		Acute Mental Health	
	SSL makes referrals to local agencies -				
	examples include: MCORT, Mobile Crisis,				
Referrals	Mental Health Agencies, Senior Services.	21		Aging and Adult Services	
	SSL responds to calls or outreach to residents				
Co-Response/ Community	accompanied by an officer to offer assistance				
Outreach	at the scene.	9	J	Domestic Violence	
Incidents	Incidents involving social service needs	32	\prec	Drug and Alcohol	
	Trauma informed initiative, partnership				
Handle with Care	between MSD and Law Enforcement	4		Family Disturbance	
	Bags that caontain resources for homeless				
	population, including list of community				
	resources, food, water, toiletires, and hot				
Resource Bags	meal cards	1		Juvenile	
	Key Partnership established with Septa- one			Developmental/Intellectual	
Septa Passes	way passes offered	2		Disability	
	Confidential Officer wellness meetings with				
Annual Officer Wellness	Social Services Liaison to be held annually.	0		Homeless	
	Trainings provided to Law Enforcement				
	promoting trauma informed care, cultural				
LEO Trainings	competency and officer wellness	1		Physical Disability	
		·		Suicide	
	Trainings Attended			Suicide Threat/ Attempt	
FEMA NIC Courses 100, 200),700, 800			Death Notification	
Liability Prevention for Me				Other- General Public Service	
Strategies for Coordinating	Overdose Prevention Efforts			•	L
Motivational Interviewing I					

Motivational Interviewing Masterclass







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Michael Jackson, Chief of Police

Submitted By: Michael Jackson, Chief of Police

POLICE FLEET	Jan-24	Feb-24	Total
Miles Traveled	25,109	25,348	50,457

INCIDENTS	Jan-24	Feb-24	Total
Police Activity (CAD)	2,144	2,275	4,419

ENFORCEMENT ACTIVITY	Jan-24	Feb-24	Total
Traffic Stops	503	565	1,068
Traffic Citations	121	258	379
Non-Traffic Citations	7	4	11
Criminal Arrests	28	33	61
Foot and Bike Patrols	218	210	428
Traffic Details	166	152	318
Public Contacts (Minimum)	914	1035	1,949
Formal Personnel Complaints	0	10	10
Personnel Compliments	4	4	8

JUVENILE CONTACTS	Jan-24	Feb-24	Total
Juvenile Contacts	48	49	97
Juveniles Petitioned	0	0	0
Warnings Issued	11	9	20
Citations Issued	1	5	6
Referral to Other Agencies	2	1	3

ACCIDENTS	Jan-24	Feb-24	Total
Total Number of Accidents	51	46	97
Reportable Accidents	15	17	32
Non-Reportable Accidents	36	29	65



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Michael Jackson, Chief of Police

ALARM RESPONSES	Jan-24	Feb-24	Total
Total Alarms	72	44	116
Security Alarms	50	28	78
Fire Alarms	22	16	38

DETECTIVE DIVISION	Jan-24	Feb-24	Total
Investigations	30	32	62

SUBPOENAS FOR COURT	Jan-24	Feb-24	Total
District Court 38-1-20	54	60	114
Montgomery County	3	6	9
All Others	0	0	0

DUI TASK FORCE	Jan-24	Feb-24	Total
Reimbursed Overtime Hours	0	44	44

AGGRESSIVE DRIVING	Jan-24	Feb-24	Total
Reimbursed Overtime Hours	0	0	0

DRUG TASK FORCE	Jan-24	Feb-24	Total
Reimbursed Overtime Hours	8	24	32

PA LIQUOR CONTROL BOARD	Jan-24	Feb-24	Total
Reimbursed Overtime Hours	0	0	0

* Personnel complaints from February were related to the same incident and involving the same officer.



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Michael Jackson, Chief of Police

The following is a list of Community Relations details for February 2024:

On Monday, February 12, members of the Community Policing Unit participated in a presentation at Methacton High School regarding the dangers of fentanyl poisoning.

On Tuesday, February 20, members of the police department assisted Methacton High School administration and staff with their lockdown drill.

On Wednesday, February 21, Sgt. Stead and Cpl. Heim presented to a group of preschool students at the St. Andrews Nursery School regarding police officer's role in the community.

On Friday, February 23, Sgt. Stead presented alcohol and the law lessons to several eighth-grade classes at the Arcola Intermediate School.

On Friday, February 23, members of the Community Policing Unit participated in a presentation at Methacton High School regarding the dangers of fentanyl poisoning.

On Monday, February 26, members of the Community Policing Unit participated in a presentation at Methacton High School regarding the dangers of fentanyl poisoning.

On Tuesday, February 27, members of the Community Policing Unit participated in a presentation at Methacton High School regarding the dangers of fentanyl poisoning.

On Wednesday, February 28, Sgt. Stead provided a ride to school for a Woodland Elementary School student recognized for being the top book reader in the school.

The following is a list of notable TSU activity for February 2024:

There was one traffic complaint made by a resident during the month.

The traffic radar recorder was deployed on Redtail Road near Osprey Drive after a complaint was made about speeding vehicles. The seven-day study indicated there was not an issue and no additional enforcement was necessary.

During the month, one hundred forty (140) Bus Patrol violations were submitted for review, resulting in eighty-five (85) civil citations being issued to drivers.



PENNSYLVANIA PENNSYLVANIA CHIEFS OF POLICE ASSOCIATION

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Michael Jackson, Chief of Police

Youth Aid Panel:

The police department submitted one (1) juvenile to the Montgomery County District Attorney's Office Youth Aid Panel Program in January 2024.

Curfew:

There was one (1) violation of the Lower Providence Township curfew ordinance during the month.

LOWER PROVIDENCE TOWNSHIP

PUBLIC WORKS DEPARTMENT

MONTHLY REPORT

February 2024

Below is a list of some items that the Public Works Department accomplished during the month of February.

- Meet with Jane Delaney daily to review/ discuss departmental needs
- All PA One call notifications were reviewed, field marked and responded to appropriately
- Director reviewed road opening permits, performed inspections where required
- The department completed various and multiple building maintenance tasks
- Street signs were repaired/replaced
- Meet with PW Foreman, PW Crew Leader and Parks Crew Leader to discuss work assignments and scheduling
- Director had several meetings with staff on various topics
- Mechanics performed routine maintenance on Township fleet and equipment
- Director approved bills associated with the department
- Janitor cleaned our buildings during the month
- Janitor cleans multiple Parks restrooms and stocks paper products
- PW & Parks guys did trash runs twice this week in our Parks. Every Monday and Friday
- Director returned phone calls and emails addressing residents' concerns.
- Director worked on the monthly report
- Storm sewer inlets were cleaned prior to any rainstorms
- Multiple storm sewer inlet on various Twp roadways were repaired in place. Work associated includes cleaning out the inlet, repairing with brick, lentels and concrete. Replacing the top and restoration work. We are constantly working on our storm sewer system
- Traffic signals and streetlights were repaired during the month
- Parks members inspected all playground equipment during the month
- Emphasis on pothole patching during the month
- Crews removed two fallen trees from the roadways
- I worked on the 2024 budget during the month
- PW Dept. prepared all vehicles and equipment for the upcoming winter
- We continued cleaning up the naturalized basins, removing dead trees, vines and plant invasive species
- Roadways were brined as needed in anticipation of winter storms
- We had two winter storms during the month and crews were called in each time to plow and salt roadways

- Received and stockpiled road salt
- The Sewer Authority's new project started and PA Water's project continues. Even though theses aren't Twp projects we are still involved as the work takes place along our roadways and impacts our residents
- I met with a pipe lining contractor and will be receiving quotes for the work we looked at together
- New storm sewer pipes were installed along Rogers Rd
- Worked on the 2024 Rd Reconstruction project which will be out for bid in March
- Crew members cut up and removed a fallen light pole from Evansburg Point Park
- All staff members attended a storm sewer outfall screening training which was held at our Twp building
- Fallen trees were removed from Parklane Drive
- PW members repaired asphalt curbing along Alden Rd
- Continued with interviews for the open PW position

Respectfully submitted,

Joseph R. Chillano



March 12, 2024

BOARD of SUPERVISORS SUMMARY

Preliminary/Final Plan Major Land Development: LD-23-01 – 960 Rittenhouse Road Associates-960 Rittenhouse Road

<u>**Requested Action:**</u> Consideration of preliminary/final plan approval. Extension granted until March 29, 2024

Plan Summary: For your consideration is a plan from 960 Rittenhouse Road Associates, are proposing the demolition 25,000 square foot manufacturing facility and the construction of a new one-story 65,700 square foot warehouse facility at 960 Rittenhouse Road

Requested Waivers:

1. §123-31.D – A partial waiver is required from offering the additional required Ultimate Right-of-Way for Rittenhouse Road.

The proposed half width cartway widening and drainage system is fully within the existing 50' Right-of-Way. Alternatively, the developer requests a modification/waiver to permit a "15' wide/variable width multi-purpose trail/public right-of-way easement".

- §123-32.A a waiver is required from providing curb along Rittenhouse Road.
 A meandering landscaped 8' wide multi-use asphalt path is proposed in lieu of traditional curb and sidewalk.
- §123-33 a partial waiver is required from providing sidewalk along Rittenhouse Road.
 A meandering landscaped 8' wide multi-use asphalt path is proposed in lieu of sidewalk.
- 4. §123-36.B.(1) a waiver is required from providing driveway accesses at least 200 feet apart. A waiver is requested for the Driveways at Rittenhouse Road and Van Buren Avenue. Minimal traffic is anticipated for the 23-space parking lot and 24-space parking lot accessing Rittenhouse Road and Van Buren Avenue, respectively. Sight Distance requirements are met for the proposed driveway location accessing Rittenhouse Road and Van Buren Avenue. The existing driveway access to Van Buren Avenue is less than 200' from the adjacent driveway to the south.
- §123-36.F a partial waiver is required from a maximum driveway paving width of 28 feet.
 Truck Entrance into/out of Van Bueren Avenue is 35' wide for trucks. Separate passenger vehicle entrance into/out of Rittenhouse Road is proposed at 24' to minimize impervious surface.

6. §123-50.B – a partial waiver is required from each nonresidential development shall be screened as a necessary safeguard to the character of an adjacent area.

Duplicate requirement to street trees and depth of buffer does not allow for installation of overlapping requirements.

7. §123-143 (Valley Forge Corporate Center Land Use and Design Manual) – a partial waiver is required from landscape buffers.

Depth of buffer does not allow for installation of overlapping requirements.

8. §129-19.C.(2) - a waiver is required from all storm sewer piping being Class III reinforced concrete pipe.

Watertight HDPE piping is proposed instead of RCP, except for the basin outlet pipes.

9. §129-19.C.(6) – a waiver is required from pipe slope of terminal sections having a minimum slope of 1% (0.01 ft/ft).

A pipe slope of 0.5% (0.005 ft/ft) is proposed for new stormwater piping to provide positive discharge to the existing shallow inlet boxes.

10. §129-19.C.(16) – a waiver is required from stormwater pipes being oriented at right angles to electric, water, sanitary sewer and gas utilities when crossing above or beneath same.
 An angle of 45 degrees was used for the proposed sanitary sewer crossing so that the same

alignment of the existing sanitary sewer could be utilized.

11. \$129-19.G.(4) - a waiver is required from no excavation being made with a cut face steeper in slope than four horizontal to one vertical (4:1 = 25%).

A 3:1 (33%) slope was used for the side slopes of the diversion swale along the northeastern property line to respect the existing PECO easement limits.

12. §129-19.H.(9) - a waiver is required from all detention or retention basins having slopes of four horizontal to one vertical (4:1 = 25%) or flatter on the basin's outer berm and five horizontal to one vertical or less on the basin's inner berm.

The small MRC Rain Garden Basins were designed with a flat 0% slope to allow for infiltration through the soil media, in accordance with PADEP guidance.

13. §129-19.H.(10) – a waiver is required from all portions of a detention basin bottom having a minimum slope of 2%.

The basins were designed with a flat 0% slope to allow for infiltration through the soil media, in accordance with PADEP guidance.

- \$129-19.H.(12) a waiver is required from emergency spillways discharging over embankments shall be constructed of reinforced concrete checker-blocks to protect the berm against erosion.
 A permanent erosion control matting is proposed for the Rain Garden MRC Basins. Erosion control matting specified is appropriate for calculated design outflows.
- 15. §129-19.H.(15) a waiver is required from the minimum freeboard through the emergency spillway of one foot.

Considering the shallow depth of the MRC Rain Gardens (2.5 feet), a freeboard of 6" was utilized.

- 16. §129-19.H.(19) a waiver is required from the grate of the basin outlet structure of at least six inches lower than the elevation of the earthen emergency spillway. Six inches, minimum, is also required between the routed one-hundred-year water surface elevation and top of the outlet structure. Considering the shallow depth of the MRC Rain Gardens (2.5 feet), the basin outlet structure grate is designed 3 inches lower than the emergency spillway for Basin 2A and 4 inches for Basin 2B.
- 17. §129-19.H.(24) a waiver is required from perimeter berms and embankments of retention/detention basins being designed to create a natural appearance and reduce future maintenance requirements.

Proximity of basin areas to other required landscape does not allow for planting of all required detention basin landscape.

Current review letters: *see attached of the review letters

- REL Design, Waiver Request Letter, revised November 3, 2023
- REL Design, Responses to Review Letters, November 3, 2023
- Conditional Use Decision, Resolution 2023-23
- Woodrow and Associates, October 11, 2023
- McMahon Associates-Bowman Company, October 10, 2023
- Montgomery County Planning Commission, November 20, 2023
- Police Chief, October 2, 2023
- LP Fire Marshal, January 5, 2024

Review Comment Summary

- 1. The project has received conditional use approval from the Board of Supervisors. The applicant is seeking amendment of conditions.
- Truck traffic is to be directed through Park Pointe and will be prohibited from Rittenhouse Road. Of specific concern is the intersection of Van Buren and S. Trooper and an appropriate design is being developed.
- 3. The existing environmental contamination is being remediated by the applicant under the direction of US EPA and PA DEP
- 4. On-site stormwater management is being added, including rain gardens, that will improve overall stormwater conditions in the area.
- 5. An eight feet wide asphalt trail with post and rail fence is to be constructed.
- 6. The northbound travel lane of Rittenhouse Road is to be widened to fifteen feet.
- 7. Wiring conduits for EV charger wiring are to be provided.



Box 133 Valley Forge, PA 19481

610-666-9200 relamb.com James E. Donaghy - Architect Robert J. O'Donnell - Professional Engineer

September 22, 2023 *Revised November 3, 2023*

Mr. Michael Mrozinski Director of Community Development Lower Providence Township 100 Parklane Drive Eagleville, PA 19403

RE: 960 Rittenhouse Road Warehouse 960 Rittenhouse Road Associates TMP 43-00-12256-00-4 Preliminary/Final Land Development Application

Dear Mike,

In conjunction with the Plan submission for the above referenced project, and as part of the Application Requirements, the following is a list of waiver requests:

1. §123-31.D – A partial waiver is required from offering the additional required Ultimate Right-of-Way for Rittenhouse Road.

The proposed half width cartway widening and drainage system is fully within the existing 50' Right-of-Way. Alternatively, the developer requests a modification/waiver to permit a "15' wide/variable width multi-purpose trail/public right-of-way easement".

- §123-32.A a waiver is required from providing curb along Rittenhouse Road.
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- 5. §123-36.F a partial waiver is required from a maximum driveway paving width of 28 feet.

James E. Donaghy - Architect Robert J. O'Donnell - Professional Engineer

Truck Entrance into/out of Van Bueren Avenue is 35' wide for trucks. Separate passenger vehicle entrance into/out of Rittenhouse Road is proposed at 24' to minimize impervious surface.

6. §123-50.B – a partial waiver is required from each nonresidential development shall be screened as a necessary safeguard to the character of an adjacent area.

Duplicate requirement to street trees and depth of buffer does not allow for installation of overlapping requirements.

7. §123-143 (Valley Forge Corporate Center Land Use and Design Manual) – a partial waiver is required from landscape buffers.

Depth of buffer does not allow for installation of overlapping requirements.

- 8. §129-19.C.(2) a waiver is required from all storm sewer piping being Class III reinforced concrete pipe. Watertight HDPE piping is proposed instead of RCP, except for the basin outlet pipes.
- §129-19.C.(6) a waiver is required from pipe slope of terminal sections having a minimum slope of 1% (0.01 ft/ft).

A pipe slope of 0.5% (0.005 ft/ft) is proposed for new stormwater piping to provide positive discharge to the existing shallow inlet boxes.

10. §129-19.C.(16) – a waiver is required from stormwater pipes being oriented at right angles to electric, water, sanitary sewer and gas utilities when crossing above or beneath same.

An angle of 45 degrees was used for the proposed sanitary sewer crossing so that the same alignment of the existing sanitary sewer could be utilized.

11. §129-19.G.(4) – a waiver is required from no excavation being made with a cut face steeper in slope than four horizontal to one vertical (4:1 = 25%).

A 3:1 (33%) slope was used for the side slopes of the diversion swale along the northeastern property line to respect the existing PECO easement limits.

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The small MRC Rain Garden Basins were designed with a flat 0% slope to allow for infiltration through the soil media, in accordance with PADEP guidance.

13. §129-19.H.(10) – a waiver is required from all portions of a detention basin bottom having a minimum slope of 2%.

The basins were designed with a flat 0% slope to allow for infiltration through the soil media, in accordance with PADEP guidance.

- 14. §129-19.H.(12) a waiver is required from emergency spillways discharging over embankments shall be constructed of reinforced concrete checker-blocks to protect the berm against erosion.
 A permanent erosion control matting is proposed for the Rain Garden MRC Basins. Erosion control matting specified is appropriate for calculated design outflows.
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Considering the shallow depth of the MRC Rain Gardens (2.5 feet), a freeboard of 6" was utilized.

James E. Donaghy - Architect Robert J. O'Donnell - Professional Engineer

- 16. §129-19.H.(19) a waiver is required from the grate of the basin outlet structure of at least six inches lower than the elevation of the earthen emergency spillway. Six inches, minimum, is also required between the routed one-hundred-year water surface elevation and top of the outlet structure. Considering the shallow depth of the MRC Rain Gardens (2.5 feet), the basin outlet structure grate is designed 3 inches lower than the emergency spillway for Basin 2A and 4 inches for Basin 2B.
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 Proximity of basin areas to other required landscape does not allow for planting of all required detention basin landscape.

Sincerely,

William R. McNaney, P.E. Civil Project Engineer

Cc: File



Box 133 Valley Forge, PA 19481

610-666-9200 relamb.com James E. Donaghy - Architect Robert J. O'Donnell - Professional Engineer

November 3, 2023

Mr. Michael Mrozinski Director of Community Development Lower Providence Township 100 Parklane Drive Eagleville, PA 19403 VIA E-Mail: mmrozinski@lowerprovidence.org

RE: 960 Rittenhouse Road Warehouse 960 Rittenhouse Road Associates, LLC TMP 43-00-12256-00-4 Preliminary/Final Land Development Application: Response Letter to Twp. Comments <u>REL Job #2234</u>

Dear Mike,

Please see the following document resubmission in support of the above referenced project:

- 1. Twelve (12) sets of Preliminary/Final Land Development Plans, dated last revised November 3, 2023.
- 2. Two (2) copies of Storm Sewer Addendum Report, dated November 3, 2023.
- 3. Two (2) Revised Traffic Impact Study Dated November 3, 2023, prepared by Traffic, Planning & Design
- 4. One (1) copy of the Landcore Response letter dated April 4, 2023
- 5. One (1) copy of CS-4401 Forms dated 10/27/2023, prepared by Traffic, Planning & Design
- 6. One (1) copy of the August 7, 2023 EPA approval of the environmental cleanup plan ("Work Plan") for the property
- 7. One (1) copy of the September 18, 2023 PA DEP approval of the Prospective Purchaser Agreement for the environmental
- 8. One (1) set of photos of Van Buren Road existing curbing.
- 9. Updated Waiver Request Letter dated November 3, 2023

Please find the following responses to comments contained in the below referenced review letters: Original comments from the below referenced review letters are included, with responses to each respective comment noted in italicized text afterwards.

Woodrow & Associates, Inc. review letter dated October 11, 2023

Conditional Use Approval Obligations

1. Applicant shall comply with all the objective criteria set forth in the ordinance satisfying all criteria before the issuance of any certificate of occupancy.

This is to be confirmed with the Township's Director of Planning and Zoning.

Acknowledged. Township's Director of Planning and Zoning to confirm.

 The proposed development shall be consistent with the exhibits and evidence introduced at the conditional use hearing; if there is a substantial change to the same, including but not limited to, a high cube fulfillment warehouse use, the architectural renderings, landscaping plan, access, etc., additional conditional use approvals will be required.

The plan does not currently propose any significant divergence from the approved documents.

Acknowledged.

3. The applicant shall implement the restrictive truck movement depicted on the plans, including but not limited to a prohibition of truck traffic on Rittenhouse Road.

We look to McMahon and Associates to confirmation of restriction.

See responses to McMahon Letter.

4. Applicant shall be subject to payment of a traffic impact fee based upon post development conditions six months after warehouse occupancy.

Open Item

Will comply.

5. The applicant shall re-stripe the intersection of Trooper Road and Van Buren Avenue to make sure there is a clear right turn lane on Van Buren Avenue onto Trooper Road.

We look to McMahon and Associates for confirmation of compliance with this condition.

See responses to McMahon Letter.

6. The applicant shall work with the Township for increased signage in the area to indicate where truck traffic should go coming in and out of facility and shall educate the tenant and drivers regarding the restrictions, particularly with respect to the prohibition of truck traffic on Rittenhouse Road.

Open Issue

The signage is included on the plans. See sheet C-101 and C-902 for "No Right Turn for Trucks" sign at driveway exit to Van Buren Ave.

7. The soil remediation will be undertaken by the applicant without any involvement from the Township. The applicant will obtain any and all necessary approvals from the EPA and DEP, and copies of all such approvals shall be provided to the Township prior to construction beginning on the site.

Open Issue

On September 18, 2023, PA DEP approved the Prospective Purchaser Agreement for the environmental clean up of the property. On August 7, 2023, the EPA approved the environmental cleanup plan ("Work Plan") for the property. Copies of the Work Plan, the August 7, 2023 EPA letter and the September 18, 2023 letter are attached.

8. The applicant will work with the Township engineer to design appropriate stormwater improvements to support the development.

Completed

Acknowledged.

9. The applicant shall use his/her best efforts to ensure that noise coming from the property or from trucks coming and going from the property has as little impact on the neighboring and surrounding properties as reasonably practicable, particularly within the hours of 10 PM and 7 AM.

Open Issue

The proposed use will comply with the Township's noise ordinance under Chapter 103 of the Township Code.

10. The applicant will comply with any requirements of the sewer authority for sanitary sewer.

Open Issue

Will comply. Sewer Planning Module and Utility Plans submitted to the Township. Awaiting correspondence from Lower Providence Township Sewer Authority.

11. The applicant will comply with any requirements of any agency having jurisdiction over the property or project.

Open Issue

Will comply. Approval process is underway with agencies having jurisdiction over the project.

12. Compliance with all conditions of approval shall be the applicant's sole cost and expense, with no cost or expense borne by the Township.

Applicant has acknowledged.

Acknowledged.

Approvals/Permits/Reviews

- 1. Fire and potable water supply certification from the appropriate authority. *Application Process Underway with serving water authority. See responses contained herein to Fire Marshal review letter.*
- 2. Lower Providence Township Sewer Authority. *Application Process Underway (Through Lower Providence Twp.)*
- 3. PA DEP Waiver of or exemption from sewage facilities planning. *Application Process to begin after LPTSA review*)
- 4. PA DEP NPDES permit approval. Application Process Underway
- 5. PA DEP Resolution of any environmental contamination restrictions from earlier uses on the property. *See enclosed letter*
- 6. Execution of land development and financial security agreements. Will Comply
- 7. Execution of stormwater operation and maintenance agreement. *Will Comply*

Zoning Ordinance

Armed with the Conditional Use approval and resolution, it appears the project is now in compliance with specific obligations found within our zoning code. We will defer to Mr. Mrozinski for confirmation of this opinion.

Comment noted. Township Zoning Officer to Confirm.

Subdivision Land Development Ordinance Review

1. Section 123-22 — This ordinance citation defines the obligation to provide the various agreements that bind the applicant and the Township through the development process.

Will comply.

2. Section 123-29 — This ordinance citation speaks to the obligation to acknowledge the potential for future improvements to the road frontages by suggesting appropriate ultimate right-of-way width and cartway width. Again, will defer to McMahon and Associates to assure they are comfortable with the configuration of rights-of-way and frontage improvements.

See responses to McMahon Letter.

- 3. Section 123-32.A Curbs, sidewalk and storm sewers are required for the road frontages.
 - a. Along Van Buren Avenue Curbs exist along this frontage; however, the Township will reserve the right to require that damaged or misaligned curbs be replaced in conjunction with a preconstruction view of the property.

Photos of the curb condition enclosed. The developer requests an on-site inspection of the existing curbing with the Township Engineer to specifically identify any portions of the curbing that needs to be replaced.

b. Along Van Buren Avenue — Very limited storm sewer infrastructure exists. We would like the opportunity to walk the site with the designers and our public works director to assure we have captured and managed runoff from this road frontage.

The proposed stormwater system and site grading will reduce the amount of stormwater rate and volume discharging onto Van Buren Ave from the property. Exhibit plans SKC-G and SKC-H have been added to the "Storm Sewer" section of the revised Stormwater Management Report. These exhibits depict the total reduction of area/flow to the north and south directions of Van Buren Avenue.

c. Along Van Buren Avenue — The applicant is proposing a traditional five-foot-wide concrete sidewalk within the right-of-way.

Acknowledged

d. Along Rittenhouse Road —No curbs exist. The potential for curbing and road widening should be further defined by our traffic engineers; it may be appropriate for waiver or appropriate for further road improvements depending on their final review.

See responses to McMahon Letter.

e. Along Rittenhouse Road — Storm sewer infrastructure does exist.

Acknowledged

f. Along Rittenhouse Road — an eight-foot-wide meandering asphalt path is to be constructed. This asphalt path will require certain easements as the path does meander outside of the proposed right-of-way for Rittenhouse Road. The configuration of the path comes as a result of conversations with Township staff allowing for a more interesting and safe pedestrian experience. The ultimate width of the asphalt path should be weighed against the intended future use of a Rittenhouse Road trail.

Will comply. A trail easement will be provided.

4. Section 123-33 — This is the code citation obligates the installation of sidewalks. It appears the current plan meets the intent of the ordinance section.

Acknowledged

5. Section 123-41.E(2) — The stormwater management system to the southeast side of the building discharges into an storm sewer system. Additional information is required through title to understand who has ultimate responsibility for maintenance and repair of the downstream infrastructure and to assure the right to make connection to this infrastructure through easement documentation or new easement creation.

James E. Donaghy - Architect Robert J. O'Donnell - Professional Engineer The referenced storm sewer has been in place for approximatley 50 years, and ultimately drains to the Township's system in Adams Ave. The Proposed Underground Detention Basin for the project will reduce flows to the upstream inlet of the referenced storm sewer system for all storm events (2yr –

100yr) from between 36% and 66%.

6. Section 123-43 stormwater management — During the conditional use application process, significant conversation regarding stormwater management obligations were convened. In the intervening months, my office has had several conversations with the design engineers regarding basic premise theory, design management theory and ultimate design detail. I am happy to report that these earlier conversations result in a stormwater management program that we are able to support. In general, the southeast side of the building drains to a significant underground detention basin. The large underground basin is supplemented by two small water quality rain gardens adjacent to the loading dock areas. This basin was designed cognizant of the existing impervious cover that exists on the property taking advantage for only 80% of that existing surface. The result is a form of payment for sins of the past from a time when stormwater management was not required. Further, the outfall from the system was designed only to meet the capacity of the small-diameter storm sewer the drains the property through the above-mentioned easement discussion. Runoff from the northwest side of the building is managed through a series of stormwater rain gardens. These rain gardens and the plant material that are associated with it become part of an enhanced landscaping package along Rittenhouse Road. The ultimate outfall from these rain garden facilities is into the existing storm sewer system in the bed of Rittenhouse Road.

In my opinion, managing the runoff from this property will result in a significant improvement to the watershed downstream of the project.

Acknowledged.

7. Section 123 — 50 landscaping — During the conditional use application project a significant conversation regarding project landscaping occurred. The Township's major concern was with regard to massing of the building visible to the motoring public along Rittenhouse Road. I am happy to report that it appears the applicants took this conversation seriously. The Rittenhouse Road frontage is softened by a combination of street trees, foundation landscaping, rain garden infrastructure with basin bottom plant materials as well as the meandering asphalt path. Further, the perimeter landscape material in the form of combinations of deciduous trees, evergreen trees, and shrubs has been provided. We look forward to further discussions regarding implementation of this landscape material as the project appears before our planning commission.

Acknowledged.

8. Section 123-54 — Concrete survey monuments are required to be placed at each property corner including the new ultimate right-of-way boundaries.

Sheet C-101, Site Plan, has been revised to include concrete monuments and each property corner.

General Design Comments

9. Environmental Sustainability — The Township has adopted environmental sustainability guidance. We ask the applicant in this design to consider electric vehicle charging stations, the opportunity for solar

panel charging, the opportunity for the implementation of pervious paving and parking lot areas, stormwater capture and reuse, and other green infrastructure to further these Township goals.

While not required, the developer intends to install the necessary conduits to permit multiple parking spaces to be EV "ready" capable of easily accepting EV charging apparatus.

McManhon, a Bowman Company, review letter dated October 10, 2023

General

1. A response letter **must be provided** with the resubmission detailing how each comment below has been addressed, and where each can be found in the resubmission materials (i.e., page number(s)) to assist in the re-review process. Additional comments may follow upon review of any resubmitted materials.

Will Comply

2. This review is specific to the submitted land development plans referenced above only. The applicant has not yet addressed our office's comments pertaining to the transportation impact study (TIS) contained in our March 10, 2023, review #1 letter as a revised TIS has not been provided to the Township or our office, nor has a response letter to how prior comments were addressed. This item must still be provided and reviewed.

The referenced response letter dated April 4, 2023 has been included with this submission, as well as a revised TIS, as prepared by Traffic, Planning and Design.

3. According to the Township's Roadway Sufficiency Analysis, the proposed development is located in Transportation Service Area One, which currently has a corresponding impact fee of \$413 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee in accordance with the Township's Transportation Impact Fee Ordinance. According to Township Resolution 2023-23, the applicant will be subject to payment of a traffic impact fee based upon post-development conditions (i.e., trip generation counts during a typical weekday in the PM peak period of commuter traffic) six months after warehouse (full) occupancy. Our office will calculate the transportation impact fee upon review of the actual trip generation counts captured for the site, either conducted by a qualified transportation engineer hired by the applicant or if the Township prefers, by our office, approximately six months after full occupancy of the warehouse.

Will Comply

Waivers Requested

4. The applicant is requesting a waiver from Section 123-32 of the Subdivision and Land Development Ordinance, requiring curbing along Rittenhouse Road. The plans do not show any curbing along the Rittenhouse Road site frontage, thereby not satisfying the ordinance requirement. There is currently no curbing along either side of Rittenhouse Road in the vicinity of the site. Our office would support the waiver request if the Board of Supervisors are agreeable to the waiver request to not install curbing along the Rittenhouse Road frontage at this time, and should the Township Engineer also be agreeable that it is not necessary for stormwater management.

Acknowledged

5. The applicant is requesting a waiver from Section 123-33 of the Subdivision and Land Development Ordinance, requiring sidewalk along Rittenhouse Road. The plans currently show an 8-foot wide asphalt path along the Rittenhouse Road site frontage, in lieu of sidewalk. Our office would support the waiver request if the Board of Supervisors are agreeable to the waiver request to not install sidewalk along the Rittenhouse Road frontage since the plans show provision of a blacktop path along the Rittenhouse Road site frontage which provides an adequate, meandering pedestrian walkway and would be installed in lieu of sidewalk in this area.

Acknowledged

6. The applicant is requesting a waiver from Section 123-36.B(1) of the Subdivision and Land Development Ordinance, requiring a minimum of 200 feet between driveways. The plans currently show approximately 70 feet between the proposed site driveway along Van Buren Avenue and the driveway for Parcel No. 43-00-00001-00-1, well as approximately 95 feet between the proposed site driveway along Rittenhouse Road and the driveway for Parcel No. 43-00-12253-00-7, thereby not satisfying the ordinance requirement. Since the location of the Van Buren Avenue driveway appears to be in the best location for the proposed truck routing within the site, and minimal passenger car traffic is expected to use the proposed Rittenhouse Road driveway, our office would support the waiver request if the Board of Supervisors are agreeable to a waiver request to provide less than 200 feet between the proposed site driveways along Van Buren Avenue and Rittenhouse Road and the driveways for the adjacent parcels along each roadway.

Acknowledged

7. The applicant is requesting a partial waiver from Section 123-36.F of the Subdivision and Land Development Ordinance, requiring a maximum driveway width of 28 feet at the Van Buren Avenue driveway. The plans currently show a 35-foot width at this driveway, thereby not satisfying the ordinance requirement. The Van Buren Avenue driveway will be used by large trucks, so based on review of the turning templates it appears as though the 35-foot driveway width is designed to accommodate truck movements at this driveway, and therefore our office would support the waiver request if the Board of Supervisors are agreeable to a waiver request to provide more than a 28- foot width for the Van Buren Avenue driveway.

Acknowledged

Preliminary/Final Land Development Plans

- 8. According to **Township Resolution 2023-23**, the applicant will be required to provide the following in conjunction with the proposed development:
 - Restripe the eastbound Van Buren Avenue approach to Trooper Road (S.R. 0363) to provide a separate right-turn lane and separate left-turn lane. *See below. We have concerns on this item as presented.*

There was a mutual mistake or misunderstanding between the applicant/developer and the Township with respect to this condition of conditional use approval. The parties mistakenly

believed there were separate existing right and left turn lanes at the intersection and all that was required was to "restripe" the lanes. After further investigation, the developer cannot simply "restripe" the right turn lane because no right turn lane exists. The developer's traffic engineer and the Township traffic engineer have discussed the existing conditions at the intersection and the proposed development's minimal impact to the intersection. They agree the proposed development does not warrant the widening of Van Buren Ave to create a separate right turn lane together or the required traffic signal modifications to accommodate the separate right turn lane. As such, the developer requests the Board of Supervisors amend the conditional use approval to remove this as a condition of approval.

• Work with the Township to provide increased signage along area roadways to indicate truck access to the proposed warehouse. In addition, the applicant shall educate the tenant and the tenant's drivers regarding truck routes that should be used to access the facility, particularly noting the restriction of truck traffic for this site on Rittenhouse Road.

See sheet C-101 and C-902 for "No Right Turn for Trucks" sign at driveway exit to Van Buren Ave.

Important: Van Buren Avenue currently provides only a 30 to 32-foot cartway width (curb to curb) as it approaches Trooper Road (S.R. 0363) which would likely not allow for sufficient lane widths for the separate right-turn egress lane, separate left-turn egress lane on Van Buren Avenue and ingress lane on Van Buren Avenue from Trooper Road (S.R. 0363) only by restriping. More likely is that the applicant will be required to provide widening on the Van Buren Avenue approach to Trooper Road (S.R. 0363) in order to accommodate movements of all types of traffic into and out of Van Buren Avenue within their lanes at Trooper Road (S.R. 0363) without encroachment. The applicant's traffic engineer must provide supporting documentation (i.e., concept plan, truck turning plan, etc.) to support provision of a separate right-turn lane and left-turn lane on Van Buren Avenue without providing widening on the Van Buren Avenue approach. Two tractor trailers exiting Van Buren Avenue at the signal in each lane, as well as a tractor trailer truck entering from Trooper Road (S.R. 0363) turning left-in and right-in must be illustrated and shown to work in the design.

9. A modified signal permit plan and potentially also a PennDOT Highway Occupancy Permit (HOP) plan must be prepared for the intersection improvements at Van Buren Avenue and Trooper Road (S.R. 0363) to address the item above to provide two Van Buren Avenue approach lanes to Trooper Road (S.R. 0363). Plans must be provided for Township and PennDOT review and approvals.

See response to Comment #8 above.

10. According to the Township Street Map, Rittenhouse Road is classified as a collector road and should have an 80-foot ultimate right-of-way width and a minimum 30-foot cartway width as required in Section 123-31.D of the Subdivision and Land Development Ordinance. The plans currently show a 50-foot ultimate right-of-way width and approximate 22-foot cartway width along the site frontage of Rittenhouse Road, thereby not satisfying the ordinance requirement. We continue to recommend that the edge of the northbound travel lane of Rittenhouse Road on the site side of the road be widened to be 15 feet wide from centerline from Van Buren Avenue to the northern property line to incorporate the entire frontage. We prefer this be done in lieu of granting any waiver requested from this SALDO

requirement. The meandering trail will need to be moved, but we note that the utility poles already appear to be set back along the site frontage of Rittenhouse Road.

The plans have been revised to widen the Rittenhouse Road northbound travel lane to 15' from the centerline. Additionally, the meandering trail was shifted into the site and a split rail fence was added between the road/trail where the trail is within 8' of Rittenhouse Road. See updated waiver request letter waiver #1, requesting a modification/waiver to permit a "15' wide /variable width multi-purpose trail/public right-of-way easement" to the Township instead of a 15' conveyance of land for right of way purposes.

11. As a measure of better access management, we recommend that the existing driveway for 970 Rittenhouse Road and the proposed Rittenhouse Road driveway for 960 Rittenhouse Road (unless gated) be considered to become a single access for both properties to utilize, which will require cooperation and agreements between the property owners. This will eliminate the closely spaced access points. We request that this be investigated and the feasibility discussed.

The developer does not have any property right or control over the 970 Rittenhouse Road property, and therefore, cannot agree to create a single shared access. The proposed driveway opening has sufficient clear sight distance provided satisfying the intent of the driveway separation requirements.

12. A note must be added to the plans stating the area between the existing right-of-way line and the ultimate right-of-way line must be dedicated to the authority having jurisdiction over any public streets for future taking, when or as necessary, as required by **Section 123-31.K** of the **Subdivision and Land Development Ordinance.**

See updated waiver request letter waiver #1, requesting a modification/waiver to permit a "15' wide /variable width multi-purpose trail/public right-of-way easement" to the Township instead of a 15' conveyance of land for right of way purposes. General Note #16 has been added to sheet C-101.

13. Sight distance measurements looking to the right at the Rittenhouse Road driveway must be shown on future land development plans and must satisfy requirements in Section 123-36.A of the Subdivision and Land Development Ordinance, as well as PennDOT safe stopping sight distance requirements contained in Chapter 441 of PennDOT Publication 282 for both passenger cars. At least the minimum safe stopping sight distances must be achievable looking to the right at the proposed Rittenhouse Road driveway and must be sufficient for the speed and conditions of this section of the roadway.

Sheet C-311, Rittenhouse Road Site Distance Profile, has been added to the plan set. This sheet includes ground survey information from the project surveyor along Rittenhouse Road to the east of the property. Using the survey information, sight distance profiles have been added confirming available sight distance exceeds the desireable sight distance to the right for drivers existing the proposed driveway location.

14. The plans currently show a 75-foot clear sight triangle at the Van Buren Avenue and Rittenhouse Road driveways. Since Van Buren Avenue is classified as a feeder road and Rittenhouse Road is classified as a collector road, the plans should be revised to show a 100-foot clear sight triangle at both driveway locations as required in **Section 123-36.H** of the **Subdivision and Land Development Ordinance.**

Sheet C-101, Site Plan, has been revised to show a 100-foot clear sight triangle at both driveway locations.

15. According to **Section 143-71.G** of the **Zoning Ordinance**, 47 parking spaces are required for the proposed development. The plans show 48 parking spaces, thereby satisfying the ordinance requirement.

The plans have been revised to show 47 parking spaces, in order to provide provisions for vehicle turn around. 47 proposed spaces satisfies the requirement, as noted above.

16. The plans currently show two (2) ADA parking spaces for the proposed development. Based on the total number of proposed parking spaces with the development, the proposed number of ADA parking spaces meets requirements in Section 123-37.Q of the Subdivision and Land Development Ordinance.

Acknowledged

17. The Township Fire Marshal should review the emergency vehicle turning templates for accessibility and the circulation needs of Township emergency apparatus. Ensure that any correspondence, including any review comments and/or approvals, is included in subsequent submissions.

The Fire Marshal comments (Plan Review Memorandum dated 9/27/2023) and responses are contained within this letter below.

18. The turning template should also demonstrate the ability of a WB-67 to make a left-turn out of the driveway along Van Buren Avenue.

Sheet C-102, Truck Turning Plan, has been revised to include a template for a WB-67 making a leftturn onto Van Buren Avenue.

19. It is noted that there is dead-end parking within both proposed parking areas. Since this is a low parking turnover use, there at least must be sufficient space for a vehicle to maneuver from the last space of each lot and turnaround for the vehicle or a vehicle that is unsuccessful finding parking in the row. As such, please provide passenger vehicle turning templates that demonstrate that the area provided is adequate or how it should be modified. For the northern lot, the applicant and their engineer should consider adding pavers to the plan to connect an emergency access to the eastern concrete truck parking area in case of an emergency situation.

Sheet C-102, Truck Turning Plan, has been revised to include a passenger vehicle template that shows a turnaround maneuver, for the parking lot on the west side of the building. For the parking lot on the east side of the building, a stripped parking space, with a no parking sign, has been added for a capable turnaround maneuver. Also, grass pavers have been added to connect the parking lot and truck loading area for emergency access use.

20. The details for the proposed pavement sections shown on Sheet 33 of 38 should be revised to comply with Township standards. In addition, while the plans should specify where each pavement type (i.e. light duty, heavy duty) are proposed on the plan, the details shown on Sheet 33 provide a heavy duty

concrete pavement and a heavy duty concrete plans. The design should clarify which pavement section is proposed.

The pavement sections on sheet C-901, Construction Details 1, have been revised to Township standards. Additionally, sheet C-101, Site Plan, shows where each pavement type is proposed.

21. The existing roadway grades should be added to the driveway profiles provided on Sheet 11 of 38.

Sheet C-310, Driveway Profiles, has been revised to include the cross slope of the existing roadways.

22. Retaining wall design documents, including reports, specifications, and/or details, must be submitted to the Township Engineer for review and concurrence.

Sheet C-905, Construction Details 5, has been revised to include retaining wall details. Detailed retaining wall design will be required during shop drawing phase.

23. The designer must evaluate the need for fencing along the proposed asphalt path, particularly in areas where the path meets the edges of the proposed basins.

Sheet C-101, Site Plan, has been revised to include a 3-rail split rail fence where the path is directly adjacent to the basin and exceeds a slope of 3:1 at a height greater than 3', as well as within 8' of Rittenhouse Road. Additionally, a detail has been added to sheet C-905, Construction Details 5.

24. Drainage calculations, including pipe capacity calculations and spread of flow calculations, must be provided for review.

Pre and post drainage calculations for Van Buren Avenue have been included within the Post Construction Stormwater Management Report. The total flow in post conditions has been reduced in both directions on Van Buren Avenue. Rittenhouse Road storm sewer calculations have been included within the storm sewer report and spread of flow calculations have also been provided. All calculations can be found under the "Storm Sewer Reports" section of the report.

25. It is unclear as to where the proposed curb ramp at the corner of Rittenhouse Road and Van Buren Avenue is directing pedestrian traffic to. In today's design standards, newly-designed ADA pedestrian ramps do not come off the middle of the radius of an intersection, but are designed for a crossing on each road tying to it and closer to 90 degrees. The design should be revised appropriately. There also appear to be no receiving ramps and no cross-walk pavement markings proposed across either Van Buren Avenue or Rittenhouse Road, that the designer should explain, and at a minimum design the ramps on the site-controlled corner to be prepared to accept crossings in the future.

Sheet C-303 has been revised to provide two (2) separate curb ramps at close to 90 degrees, prepared to accept crossings in the future.

26. ADA Design forms (i.e. CS-4401) for all ramps located within the Township Right-of-Way should be included for review. Non-compliant values must be reviewed and modified to meet or be as close as possible, with sufficient justification, to the requirements. A Technically Infeasible Form should be

prepared for any non-compliant ramp component for review and concurrence by the Township. Any non-compliant ramp must include documentation for the non-compliance and be as close to compliant as possible prior to being considered for approval.

CS-4401 forms have been included with this submission.

- 27. The detailed ADA curb ramp plans on Sheet 10 of 38 should be revised as follows:
 - The flare widths should be labeled on the plans. Will comply. Sheet C-303, Grading Plan 3 (Curb Ramps), has been revised to include the widths of the flares.
 - The length of the triangular landing areas must be labeled on the plans. Will comply. Sheet C-303, Grading Plan 3 (Curb Ramps), has been revised to include the dimensions of the triangular landings.
 - The northern ramp for the Van Buren Avenue driveway appears to have a cross-slope that exceeds 2%; the designer should evaluate and revise as necessary.
 Will comply. Sheet C-303, Grading Plan 3 (Curb Ramps), has been revised to show a 2.0% cross slope.
 - The western ramp for the Rittenhouse Road driveway should be revised to provide a minimum 0.50% slope for the DWS towards the driveway so as not to allow stormwater runoff onto the proposed path.
 Will comply. Sheet C-303, Grading Plan 3 (Curb Ramps), has been revised to provide a minimum slope of 0.50%.
 - Additional spot grades should be provided on the DWS for the Rittenhouse Road driveway ramps to ensure that the rigid DWS can be installed properly.
 Will comply. Sheet C-303, Grading Plan 3 (Curb Ramps), has been revised to include additional spot elevations on the DWS.
- 28. All curb ramps and pedestrian routes (i.e., sidewalks, crosswalks, etc.) are to be constructed in accordance with the current Federal and PennDOT ADA standards. Our office will not review any ramps internal to the site, as the applicant's engineer will be responsible for their design satisfying the required ADA standards.

Acknowledged.

29. The 4" single white line pavement markings located on the left side of the egress lane at both the Van Buren Avenue and Rittenhouse Road driveways should be replaced with double yellow line pavement markings.

Will comply. Sheet C-101, Site Plan, has been revised to show a double yellow line instead of a single white line.

30. A "Stop" sign and stop bar should be shown on the plans on the eastbound approach of the drive aisle to the south of the building at its intersection with the drive aisle leading to/from Van Buren

Avenue and the truck loading docks.

Will comply. Sheet C-101, Site Plan, has been revised to show a stop sign and stop bar at the intersection of the parking aisle and truck loading dock aisle.

31. "Authorized Personnel Only" or similar signs should be shown on the plans on both sides of the southern end of the drive aisle leading to/from the truck loading docks to deter passenger vehicles from traveling in this portion of the site.

Will comply. Sheet C-101, Site Plan, has been revised to show the requested signage on both sides of the drive aisle leading to the truck loading docks. Additionally, a detail of the sign has been added to sheet C-902, Construction Details 2.

Lower Providence Township Fire Marshal, review letter dated September 27, 2023

General

1. Water supply, including fire suppression water supply, for building must be compliant with the 2015 International Fire Code, including all appendices.

Acknowledged.

2. Fire flow for the building must be provided.

Fire flow for the building will be provided once building design is complete.

3. Truck turning plan to be submitted using the attached information sheet. Must show the truck reaching three sides.

Sheet C-102, Truck Turning Plan, has been revised to show a fire truck, per the provided information, reaching all three sides of the building.

4. First responder radio coverage test required prior to Use and Occupancy.

Acknowledged.

5. Fire hydrants to be highlighted on plan.

Fire hydrants have been highlighted on sheet C-401, Utility Plan.

If you have any questions, please do not hesitate to contact our office.

Sincerely, William R. McNaney, P.E.

Civil Project Engineer

Encl:

Cc: Gregg I. Adelman, Esquire – Kaplan and Stewart Timothy P. Woodrow, P.E., Township Engineer – Woodrow & Associates, Inc.
Casey A. Moore, P.E., Executive Vice President – McMahon (a Bowman Company) Matt Hammond, P.E., Traffic Planning & Design, Inc.
E.J. Mentry, Township Manger, Lower Providence Township Michael Hagen – 960 Rittenhouse Road Associates
Greydon Sergent - 960 Rittenhouse Road Associates
Chip McAteer - 960 Rittenhouse Road Associates
Robert O'Donnell, P.E., Vice President – REL Design, Inc.
File

LOWER PROVIDENCE TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA RESOLUTION No. 2023 - 23

WHEREAS, 960 Rittenhouse Road Associates, LLC (hereinafter referred to as "Applicant") has submitted a request for conditional use approval related to property located at 960 Rittenhouse Road, Lower Providence Township, Montgomery County, Pennsylvania, further identified as Tax Map Parcel Number 43-00-12256-00-4 (the "Property"); and

WHEREAS, the Property is located in the Mixed Use Overlay Sector of the Industrial Park Zoning District; and

WHEREAS, the Lower Providence Zoning Ordinance ("Ordinance") permits various uses by conditional use; and

WHEREAS, Applicant has submitted a request for conditional use approval to utilize the property for a warehouse use, pursuant to §143-136.A of the Ordinance.

WHEREAS, Township staff and the Township Engineer have reviewed the Application; and

WHEREAS, the Board of Supervisors of Lower Providence Township (hereinafter referred to as "Board") is prepared to GRANT approval of Applicant's request for conditional use approval, subject to certain conditions; and

WHEREAS, the Board is prepared to authorize the Township Manager to execute the written decision of the Township, pursuant to Section 913.2(b)(1) of the Pennsylvania Municipalities Planning Code.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Board of Supervisors of Lower Providence Township this 1st day of June, 2023, that said request for conditional {01628598;V2}1 use approval is GRANTED, subject to the following conditions:

- Plans: Applicant shall submit any and all plans reasonably required by the Township to review the Project and issue all required permits.
- 2. <u>Conditions of Conditional Use Approval</u>. Applicant shall comply with any and

all conditions of approval as documented in the written decision of the Township, which

are as follows:

- i. Applicant shall comply with all objective criteria set forth in the Ordinance at §143-80.E(2)(b) and shall demonstrate such compliance to the satisfaction of the Township prior to issuance of any Certificate of Occupancy.
- ii. The proposed development shall be consistent with the exhibits and evidence introduced at the conditional use hearing. If there is a substantial change to same, including, but not limited to, a high-cube fulfillment warehouse use, the architectural renderings, landscaping plan, access, etc., additional conditional use approval will be required.
- iii. Applicant shall implement the restrictive truck movements depicted on the plans, including but not limited to a prohibition of truck traffic on Rittenhouse Road.
- iv. Applicant shall be subject to payment of a traffic impact fee based upon post development conditions 6 months after warehouse occupancy.
- v. Applicant shall re-stripe the intersection of Trooper Road and Van Buren Avenue and make sure that there is a clear right turn lane on Van Buren Avenue onto Trooper Road.
- vi. Applicant shall work with the Township for increased signage in the area to indicate where truck traffic should go coming in and out of the facility, and shall educate the tenant and drivers regarding the restrictions, particularly with respect to the prohibition of truck traffic on Rittenhouse Road.
- vii. The soil remediation will be undertaken by the Applicant without any involvement from the Township. Applicant will obtain any and all necessary approvals from the EPA and DEP, and copies of all such approvals shall be provided to the Township prior to construction beginning on the site.
- viii. Applicant shall ensure that soil remediation will be done in a managed process, so that stormwater will not further disturb the area during the remediation process, and Applicant will utilize proper soil sediment and erosion control

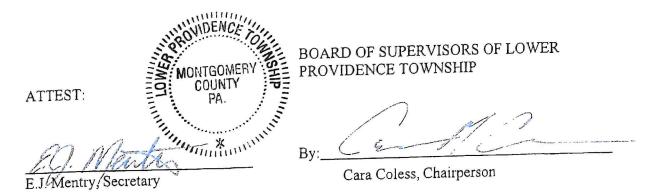
measures.

- ix. Applicant will work with the Township Engineer to design appropriate stormwater improvements to support development.
- x. Applicant shall use best efforts to ensure that noise coming from the property or from trucks coming and going from the property has a little impact on the neighboring and surrounding properties as is reasonably practicable, particularly between the hours of 10:00 p.m. and 7:00 a.m.
- xi. Applicant will comply with any requirements of the sewer authority for any sanitary sewer flow.
- xii. Applicant will comply with any requirements of any agency having jurisdiction over the property or the project.
- xiii. Compliance with all conditions of approval shall be at Applicant's sole cost and expense, with no cost or expense borne by the Township.
- 3. Applicant shall comply with all applicable statutes, codes or ordinances during the permitting and construction of the Project.
- 4. The Township Manager is authorized to sign the aforementioned written decision on

behalf of the Board of Supervisors.

5. This approval shall expire six (6) months from the date of this Decision.

RESOLVED and **APPROVED** this 1st day of June, 2023.



{01628598;V2}3



October 11, 2023

Michael Mrozinski, Director of Community Development Lower Providence Township 100 Parklane Drive Eagleville, PA 19403

Reference: 960 Rittenhouse Road – Warehouse Land Development Application

Dear Mike:

My office is in receipt of a 38-sheet set of plans prepared by REL Design Inc. The plan is dated September 22, 2023, and calls for the demolition of the existing building and infrastructure on the property and replacing it with a 70,000 square-foot warehouse building, 69,174 Sq. ft. to be more precise. The property contains approximately 5.23 acres of land measured to the existing legal right-of-way. The property is accessed by Van Buren Avenue and Rittenhouse Road. The layout is consistent with earlier conversations in that employee traffic has two opportunities for access. The first opportunity occurs from Rittenhouse Road; the second opportunity occurs from Van Buren Avenue. All truck traffic and loading dock areas are accessed from Van Buren Avenue. The application was the subject of a conditional use application hearing and decision regarding the use of the property as a warehouse facility. The conditional use approval obligated certain improvements including traffic patterns, stormwater management, pedestrian connections, and landscape enhancements. More specifically, the conditions of approval include the following:

1. Applicant shall comply with all the objective criteria set forth in the ordinance satisfying all criteria before the issuance of any certificate of occupancy.

This is to be confirmed with the Township's director of planning and zoning.

2. The proposed development shall be consistent with the exhibits and evidence introduced at the conditional use hearing; if there is a substantial change to the same, including but not limited to, a high cube fulfillment warehouse use, the architectural renderings, landscaping plan, access, etc., additional conditional use approvals will be required.

The plan does not currently propose any significant divergence from the approved documents.

3. The applicant shall implement the restrictive truck movement depicted on the plans, including but not limited to a prohibition of truck traffic on Rittenhouse Road.

We look to McMahon and Associates for confirmation of restriction.

4. Applicant shall be subject to payment of a traffic impact fee based upon post development conditions six months after warehouse occupancy.

Open item

5. The applicant shall re-stripe the intersection of Trooper Road and Van Buren Avenue to make sure there is a clear right turn lane on Van Buren Avenue onto Trooper Road.

We look to McMahon and Associates for confirmation of compliance with this condition.

6. The applicant shall work with the Township for increased signage in the area to indicate where truck traffic should go coming in and out of facility and shall educate the tenant and drivers regarding the restrictions, particularly with respect to the prohibition of truck traffic on Rittenhouse Road.

Open issue

7. The soil remediation will be undertaken by the applicant without any involvement from the Township. The applicant will obtain any and all necessary approvals from the EPA and DEP, and copies of all such approvals shall be provided to the Township prior to construction beginning on the site.

Open issue

8. The applicant will work with the Township engineer to design appropriate stormwater improvements to support the development.

Completed

9. The applicant shall use his/her best efforts to ensure that noise coming from the property or from trucks coming and going from the property has as little impact on the neighboring and surrounding properties as reasonably practicable, particularly within the hours of 10 PM and 7 AM.

Open issue

10. The applicant will comply with any requirements of the sewer authority for sanitary sewer flow.

Open issue

October 11, 2023 Michael Mrozinski, Director of Community Development Lower Providence Township Reference: 960 Rittenhouse Road – Warehouse Land Development Application

11. The applicant will comply with any requirements of any agency having jurisdiction over the property or project.

Open issue

12. Compliance with all conditions of approval shall be the applicant's sole cost and expense, with no cost or expense borne by the Township.

Applicant has acknowledged.

Approvals/Permits/Reviews – My office is looking for the applicant to secure the following approvals/permits/reviews in conjunction with the land development plan application.

- 1. Fire and potable water supply certification from the appropriate authority.
- 2. Lower Providence Township Sewer Authority.
- PA DEP Waiver of or exemption from sewage facilities planning.
- 4. PA DEP NPDES permit approval.
- PA DEP Resolution of any environmental contamination restrictions from earlier uses on the property.
- 6. Execution of land development and financial security agreements.
- 7. Execution of stormwater operation and maintenance agreement.

Zoning Ordinance Review:

Armed with the conditional use approval and resolution, it appears the project is now in compliance with specific obligations found within our zoning code. We will defer to Mr. Mrozinski for confirmation of this opinion.

Subdivision Land Development Ordinance Review:

- 1. Section 123-22 This ordinance citation defines the obligation to provide the various agreements that bind the applicant and the Township through the development process.
- 2. Section 123-29 This ordinance citation speaks to the obligation to acknowledge the potential for future improvements to the road frontages by suggesting appropriate ultimate right-of-way width and cartway width. Again, will defer to McMahon and Associates to assure they are comfortable with the configuration of rights-of-way and frontage improvements.
- 3. Section 123-32.A Curbs, sidewalk and storm sewers are required for the road frontages.
 - a. Along Van Buren Avenue Curbs exist along this frontage; however, the Township will reserve the right to require that damaged or misaligned curbs be replaced in conjunction with a preconstruction view of the property.

October 11, 2023 Michael Mrozinski, Director of Community Development Lower Providence Township Reference: 960 Rittenhouse Road – Warehouse Land Development Application

- b. Along Van Buren Avenue Very limited storm sewer infrastructure exists. We would like the opportunity to walk the site with the designers and our public works director to assure we have captured and managed runoff from this road frontage.
- c. Along Van Buren Avenue The applicant is proposing a traditional five-foot-wide concrete sidewalk within the right-of-way.
- d. Along Rittenhouse Road No curbs exist. The potential for curbing and road widening should be further defined by our traffic engineers; it may be appropriate for waiver or appropriate for further road improvements depending on their final review.
- e. Along Rittenhouse Road Storm sewer infrastructure does exist.
- f. Along Rittenhouse Road an eight-foot-wide meandering asphalt path is to be constructed. This asphalt path will require certain easements as the path does meander outside of the proposed right-of-way for Rittenhouse Road. The configuration of the path comes as a result of conversations with Township staff allowing for a more interesting and safe pedestrian experience. The ultimate width of the asphalt path should be weighed against the intended future use of a Rittenhouse Road trail.
- 4. Section 123-33 This is the code citation obligates the installation of sidewalks. It appears the current plan meets the intent of the store section.
- 5. Section 123-41.E(2) The stormwater management system to the southeast side of the building discharges into an storm sewer system. Additional information is required through title to understand who has ultimate responsibility for maintenance and repair of the downstream infrastructure and to assure the right to make connection to this infrastructure through easement documentation or new easement creation.
- 6. Section 123-43 stormwater management During the conditional use application process, significant conversation regarding stormwater management obligations were convened. In the intervening months, my office has had several conversations with the design engineers regarding basic premise theory, design management theory and ultimate design detail. I am happy to report that these earlier conversations result in a stormwater management program that we are able to support. In general, the southeast side of the building drains to a significant underground detention basin. The large underground basin is supplemented by two small water quality rain gardens adjacent to the loading dock areas. This basin was designed cognizant of the existing impervious cover that exists on the property taking advantage for only 80% of that existing surface. The result is a form of payment for sins of the past from a time when stormwater management was not required. Further, the outfall from the system was designed only to meet the capacity of the small-diameter storm sewer the drains the property through the above-mentioned easement discussion. Runoff from the northwest side of the building is managed through a series of stormwater rain gardens. These rain gardens and the plant material that are associated with it become part of an enhanced landscaping package along Rittenhouse Road. The ultimate outfall from these rain garden facilities is into the existing storm sewer system in the bed of Rittenhouse Road.

October 11, 2023 Michael Mrozinski, Director of Community Development Lower Providence Township Reference: 960 Rittenhouse Road – Warehouse Land Development Application

In my opinion, managing the runoff from this property will result in a significant improvement to the watershed downstream of the project.

- 7. Section 123 50 landscaping During the conditional use application project a significant conversation regarding project landscaping occurred. The Township's major concern was with regard to massing of the building visible to the motoring public along Rittenhouse Road. I am happy to report that it appears the applicants took this conversation seriously. The Rittenhouse Road frontage is softened by a combination of street trees, foundation landscaping, rain garden infrastructure with basin bottom plant materials as well as the meandering asphalt path. Further, the perimeter landscape material in the form of combinations of deciduous trees, evergreen trees, and shrubs has been provided. We look forward to further discussions regarding implementation of this landscape material as the project appears before our planning commission.
- Section 123-54 Concrete survey monuments are required to be placed at each property corner including the new ultimate right-of-way boundaries.

General design comments:

1. Environmental Sustainability – The Township has adopted environmental sustainability guidance. We ask the applicant in this design to consider electric vehicle charging stations, the opportunity for solar panel charging, the opportunity for the implementation of pervious paying and parking lot areas, stormwater capture and reuse, and other green infrastructure to further these Township goals.

Please feel free to copyact me with any questions you may have regarding this matter.

Sincerely Timony P. Woodrow, P.E. Township Engineer Wood www. Associates, Inc.

TPW/del

 C: EJ Mentry, Township Manager – Lower Providence Township Michael Clarke, Esq., Township Solicitor – Rudolph Clarke, LLC Lauren Gallagher, Esq. – Rudolph Clarke, LLC Casey Moore, P.E., McMahon Associates Alan M. Rubendall, System Superintendent – L. Prov. Sewer Authority Ed Woyden, P.E. – Gannett Fleming Engineers William R. McNaney, P.E. – Robert E. Lamb, Inc. 960 Rittenhouse Road Associates - Applicant



October 10, 2023

Mr. Michael Mrozinski Director of Community Development Lower Providence Township 100 Parklane Drive Eagleville, PA 19403

RE: Traffic Review #2 – Preliminary/Final Land Development Plans Proposed Warehouse Development – 960 Rittenhouse Road Lower Providence Township, Montgomery County, PA Project No. 311389-01-001 (formerly 823176.11)

Dear Mike:

Per the Township's request, McMahon, a Bowman company (herein will refer as Bowman) has completed our second (2nd) review of the proposed warehouse development to be located at 960 Rittenhouse Road in Lower Providence Township, Montgomery County, PA. Previously we completed a review of the Conditional Use limited plan submission. According to the submitted materials, the proposed redevelopment of this property will consist of demolishing an approximate 25,000 square-foot building and constructing a 69,174 square-foot warehouse. Access to the proposed development will be provided via a full-movement unsignalized driveway to Van Buren Avenue east of Rittenhouse Road, and a full-movement unsignalized driveway to Rittenhouse Road north of Van Buren Avenue.

The following documents were received and reviewed in preparation of our comments:

- Preliminary/Final Land Development Plans 960 Rittenhouse Road Warehouse, prepared by REL Design, Inc., last revised September 22, 2023.
- Lower Providence Township Resolution 2023-23, resolved and approved on June 1, 2023.

Based on our review of the documents listed above, Bowman offers the following comments for consideration by the Township and action by the applicant.

General

- 1. A response letter **must be provided** with the resubmission detailing how each comment below has been addressed, and where each can be found in the resubmission materials (i.e., page number(s)) to assist in the re-review process. Additional comments may follow upon review of any resubmitted materials.
- 2. This review is specific to the submitted land development plans referenced above only. The applicant has not yet addressed our office's comments pertaining to the transportation impact study (TIS) contained in our Mach 10, 2023, review #1 letter as a revised TIS has not been provided to the Township or our office, nor has a response letter to how prior comments were addressed. This item must still be provided and reviewed.



3. According to the Township's Roadway Sufficiency Analysis, the proposed development is located in Transportation Service Area One, which currently has a corresponding impact fee of \$413 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee in accordance with the Township's Transportation Impact Fee Ordinance. According to Township Resolution 2023-23, the applicant will be subject to payment of a traffic impact fee based upon post-development conditions (*i.e., trip generation counts during a typical weekday in the PM peak period of commuter traffic)* six months after warehouse (full) occupancy. Our office will calculate the transportation impact fee upon review of the actual trip generation counts captured for the site, either conducted by a qualified transportation engineer hired by the applicant or if the Township prefers, by our office, approximately six months after full occupancy of the warehouse.

Waiver Requests

The project contains numerous waiver requests. Below are a few specific to transportation-related elements that were part of our review. The applicant's engineer must provide a formal waiver request letter listing all requested waivers on Sheet 2 and the justification for these waiver requests, for consideration by the Township Planning Commission and recommendations made by them to the Board of Supervisors who will take formal action on each.

- 4. The applicant is requesting a waiver from Section 123-32 of the Subdivision and Land Development Ordinance, requiring curbing along Rittenhouse Road. The plans do not show any curbing along the Rittenhouse Road site frontage, thereby <u>not satisfying</u> the ordinance requirement. There is currently no curbing along either side of Rittenhouse Road in the vicinity of the site. Our office would support the waiver request if the Board of Supervisors are agreeable to the waiver request to not install curbing along the Rittenhouse Road frontage at this time, and should the Township Engineer also be agreeable that it is not necessary for stormwater management.
- 5. The applicant is requesting a waiver from Section 123-33 of the Subdivision and Land Development Ordinance, requiring sidewalk along Rittenhouse Road. The plans currently show an 8-foot wide asphalt path along the Rittenhouse Road site frontage, in lieu of sidewalk. Our office would support the waiver request if the Board of Supervisors are agreeable to the waiver request to not install sidewalk along the Rittenhouse Road frontage since the plans show provision of a blacktop path along the Rittenhouse Road site frontage which provides an adequate, meandering pedestrian walkway and would be installed in lieu of sidewalk in this area.
- 6. The applicant is requesting a waiver from Section 123-36.B(1) of the Subdivision and Land Development Ordinance, requiring a minimum of 200 feet between driveways. The plans currently show approximately 70 feet between the proposed site driveway along Van Buren Avenue and the driveway for Parcel No. 43-00-00001-00-1, well as approximately 95 feet between the proposed site driveway along Rittenhouse Road and the driveway for Parcel No. 43-00-12253-00-7, thereby not satisfying the ordinance requirement. Since the location of the Van Buren Avenue driveway appears to be in the best location for the proposed truck routing within the site, and minimal passenger car traffic is expected to use the proposed Rittenhouse Road driveway, our office would support the waiver request if the Board of Supervisors are agreeable to a waiver request to provide less than 200 feet between the proposed site driveways along Van Buren Avenue and Rittenhouse Road and the driveways for Parcel No and Rittenhouse Road and the driveways along Van Buren Avenue and Rittenhouse Road and the driveways for the adjacent parcels along each roadway.



7. The applicant is requesting a partial waiver from **Section 123-36.F** of the **Subdivision and Land Development Ordinance**, requiring a maximum driveway width of 28 feet at the Van Buren Avenue driveway. The plans currently show a 35-foot width at this driveway, thereby not satisfying the ordinance requirement. The Van Buren Avenue driveway will be used by large trucks, so based on review of the turning templates it appears as though the 35-foot driveway width is designed to accommodate truck movements at this driveway, and therefore our office would support the waiver request if the Board of Supervisors are agreeable to a waiver request to provide more than a 28foot width for the Van Buren Avenue driveway.

Preliminary/Final Land Development Plans

- 8. According to **Township Resolution 2023-23**, the applicant will be required to provide the following in conjunction with the proposed development:
 - Restripe the eastbound Van Buren Avenue approach to Trooper Road (S.R. 0363) to provide a separate right-turn lane and separate left-turn lane. See below. We have concerns on this item as presented.
 - Work with the Township to provide increased signage along area roadways to indicate truck access to the proposed warehouse. In addition, the applicant shall educate the tenant and the tenant's drivers regarding truck routes that should be used to access the facility, particularly noting the restriction of truck traffic for this site on Rittenhouse Road.

Important: Van Buren Avenue currently provides only a 30 to 32-foot cartway width (curb to curb) as it approaches Trooper Road (S.R. 0363) which would likely not allow for sufficient lane widths for the separate right-turn egress lane, separate left-turn egress lane on Van Buren Avenue and ingress lane on Van Buren Avenue from Trooper Road (S.R. 0363) only by restriping. More likely is that the applicant will be required to provide widening on the Van Buren Avenue approach to Trooper Road (S.R. 0363) in order to accommodate movements of all types of traffic into and out of Van Buren Avenue within their lanes at Trooper Road (S.R. 0363) without encroachment. The applicant's traffic engineer must provide supporting documentation (i.e., concept plan, truck turning plan, etc.) to support provision of a separate right-turn lane and left-turn lane on Van Buren Avenue without providing widening on the Van Buren Avenue approach. Two tractor trailers exiting Van Buren Avenue at the signal in each lane, as well as a tractor trailer truck entering from Trooper Road (S.R. 0363) turning left-in and right-in must be illustrated and shown to work in the design.

- 9. A modified signal permit plan and potentially also a PennDOT Highway Occupancy Permit (HOP) plan must be prepared for the intersection improvements at Van Buren Avenue and Trooper Road (S.R. 0363) to address the item above to provide two Van Buren Avenue approach lanes to Trooper Road (S.R. 0363). Plans must be provided for Township and PennDOT review and approvals.
- 10. According to the Township Street Map, Rittenhouse Road is classified as a collector road and should have an 80-foot ultimate right-of-way width and a minimum 30-foot cartway width as required in **Section 123-31.D** of the **Subdivision and Land Development Ordinance**. The plans currently show a 50-foot ultimate right-of-way width and approximate 22-foot cartway width along the site frontage of Rittenhouse Road, thereby not satisfying the ordinance requirement. We continue to recommend that the edge of the northbound travel lane of Rittenhouse Road on the site side of the road be widened to be 15 feet wide from centerline from Van Buren Avenue to the northern property line to incorporate the entire frontage. We prefer this be done in lieu of granting any



waiver requested from this SALDO requirement. The meandering trail will need to be moved, but we note that the utility poles already appear to be set back along the site frontage of Rittenhouse Road.

- 11. As a measure of better access management, we recommend that the existing driveway for 970 Rittenhouse Road and the proposed Rittenhouse Road driveway for 960 Rittenhouse Road (unless gated) be considered to become a single access for both properties to utilize, which will require cooperation and agreements between the property owners. This will eliminate the closely spaced access points. We request that this be investigated and the feasibility discussed.
- 12. A note must be added to the plans stating the area between the existing right-of-way line and the ultimate right-of-way line must be dedicated to the authority having jurisdiction over any public streets for future taking, when or as necessary, as required by **Section 123-31.K** of the **Subdivision** and **Land Development Ordinance**.
- 13. Sight distance measurements looking to the right at the Rittenhouse Road driveway must be shown on future land development plans and must satisfy requirements in **Section 123-36.A** of the **Subdivision and Land Development Ordinance**, as well as PennDOT safe stopping sight distance requirements contained in Chapter 441 of **PennDOT Publication 282** for both passenger cars. At least the minimum safe stopping sight distances must be achievable looking to the right at the proposed Rittenhouse Road driveway and must be sufficient for the speed and conditions of this section of the roadway.
- 14. The plans currently show a 75-foot clear sight triangle at the Van Buren Avenue and Rittenhouse Road driveways. Since Van Buren Avenue is classified as a feeder road and Rittenhouse Road is classified as a collector road, the plans should be revised to show a 100-foot clear sight triangle at both driveway locations as required in **Section 123-36.H** of the **Subdivision and Land Development Ordinance.**
- 15. According to **Section 143-71.G** of the **Zoning Ordinance**, 47 parking spaces are required for the proposed development. The plans show 48 parking spaces, thereby satisfying the ordinance requirement.
- 16. The plans currently show two (2) ADA parking spaces for the proposed development. Based on the total number of proposed parking spaces with the development, the proposed number of ADA parking spaces meets requirements in in **Section 123-37.Q** of the **Subdivision and Land Development Ordinance**.
- 17. The Township Fire Marshal should review the emergency vehicle turning templates for accessibility and the circulation needs of Township emergency apparatus. Ensure that any correspondence, including any review comments and/or approvals, is included in subsequent submissions.
- 18. The turning template should also demonstrate the ability of a WB-67 to make a left-turn out of the driveway along Van Buren Avenue.
- 19. It is noted that there is dead-end parking within both proposed parking areas. Since this is a low parking turnover use, there at least must be sufficient space for a vehicle to maneuver from the last



space of each lot and turnaround for the vehicle or a vehicle that is unsuccessful finding parking in the row. As such, please provide passenger vehicle turning templates that demonstrate that the area provided is adequate or how it should be modified. For the northern lot, the applicant and their engineer should consider adding pavers to the plan to connect an emergency access to the eastern concrete truck parking area in case of an emergency situation.

- 20. The details for the proposed pavement sections shown on Sheet 33 of 38 should be revised to comply with Township standards. In addition, while the plans should specify where each pavement type (i.e. light duty, heavy duty) are proposed on the plan, the details shown on Sheet 33 provide a heavy duty concrete pavement and a heavy duty concrete plans. The design should clarify which pavement section is proposed.
- 21. The existing roadway grades should be added to the driveway profiles provided on Sheet 11 of 38.
- 22. Retaining wall design documents, including reports, specifications, and/or details, must be submitted to the Township Engineer for review and concurrence.
- 23. The designer must evaluate the need for fencing along the proposed asphalt path, particularly in areas where the path meets the edges of the proposed basins.
- 24. Drainage calculations, including pipe capacity calculations and spread of flow calculations, must be provided for review.
- 25. It is unclear as to where the proposed curb ramp at the corner of Rittenhouse Road and Van Buren Avenue is directing pedestrian traffic to. In today's design standards, newly-designed ADA pedestrian ramps do not come off the middle of the radius of an intersection, but are designed for a crossing on each road tying to it and closer to 90 degrees. The design should be revised appropriately. There also appear to be no receiving ramps and no cross-walk pavement markings proposed across either Van Buren Avenue or Rittenhouse Road, that the designer should explain, and at a minimum design the ramps on the site-controlled corner to be prepared to accept crossings in the future.
- 26. ADA Design forms (i.e. CS-4401) for all ramps located within the Township Right-of-Way should be included for review. Non-compliant values must be reviewed and modified to meet or be as close as possible, with sufficient justification, to the requirements. A Technically Infeasible Form should be prepared for any non-compliant ramp component for review and concurrence by the Township. Any non-compliant ramp must include documentation for the non-compliance and be as close to compliant as possible prior to being considered for approval.
- 27. The detailed ADA curb ramp plans on Sheet 10 of 38 should be revised as follows:
 - The flare widths should be labeled on the plans.
 - The length of the triangular landing areas must be labeled on the plans.
 - The northern ramp for the Van Buren Avenue driveway appears to have a cross-slope that exceeds 2%; the designer should evaluate and revise as necessary.
 - The western ramp for the Rittenhouse Road driveway should be revised to provide a minimum 0.50% slope for the DWS towards the driveway so as not to allow stormwater runoff onto the proposed path.



- Additional spot grades should be provided on the DWS for the Rittenhouse Road driveway ramps to ensure that the rigid DWS can be installed properly.
- 28. All curb ramps and pedestrian routes (i.e., sidewalks, crosswalks, etc.) are to be constructed in accordance with the current Federal and PennDOT ADA standards. Our office will not review any ramps internal to the site, as the applicant's engineer will be responsible for their design satisfying the required ADA standards.
- 29. The 4" single white line pavement markings located on the left side of the egress lane at both the Van Buren Avenue and Rittenhouse Road driveways should be replaced with double yellow line pavement markings.
- 30. A "Stop" sign and stop bar should be shown on the plans on the eastbound approach of the drive aisle to the south of the building at its intersection with the drive aisle leading to/from Van Buren Avenue and the truck loading docks.
- 31. "Authorized Personnel Only" or similar signs should be shown on the plans on both sides of the southern end of the drive aisle leading to/from the truck loading docks to deter passenger vehicles from traveling in this portion of the site.

We trust that this review letter responds to the Township's request and addresses our review of the materials for traffic operations and issues related to the proposed development apparent to us at this time. Please contact me, or Michelle Eve, P.E., should you have any questions.

Sincerely,

anyl Moore

Casey A. Moore, P.E. Executive Vice President

CAM/BMJ

CC: E.J. Mentry, Township Manager
 Lauren A. Gallagher, Esquire, Rudolph Clarke, LLC, Township Solicitor
 Timothy Woodrow, P.E., Woodrow Engineers, Township Engineer
 John Miklos, Montgomery County Planning Commission
 Matt Hammond, P.E., Traffic Planning and Design, Inc. (Applicant's Traffic Engineer)
 William McNaney, P.E., REL Design, Inc. (Applicant's Engineer)

Q:\PA-FTWA-MC\MCM\eng\LOWERPR01\823176_960 Ritenhouse Road\Project Management\Submissions\2023-09-27 LD Plans\Review\2023-10-10 Review Letter #2_960 Rittenhouse Road LD Plans (finalized).docx

LOWER PROVIDENCE TOWNSHIP POLICE DEPARTMENT

Inter Office Communications Memo

DATE:October 2, 2023To:Mike MrozinskiFROM:Chief Michael JacksonSUBJECT:LD-23-01 960 Rittenhouse Road

I have reviewed the plans relating to this project and have no recommendations.



LOWER PROVIDENCE TOWNSHIP

100 Parklane Drive • Eagleville, PA 19403 • www.lowerprovidence.org Administration: 610 539-8020 • Fax: 610 539-6347 Police: 610-539-5900 • Fax: 610-630-2219



DATE:	January 5, 2024
То:	Mike Mrozinski Director of Community Development
From:	Michael Rohlfing Fire Marshal
SUBJECT:	Plan Review for 960 Rittenhouse Road Warehouse

After reviewing the plans provided, there are no outstanding issues. Please see the information below regarding requirements prior to a Use and Occupancy being issued.

- 1. Fire flow for building must be provided prior to Use and Occupancy
- 2. First responder radio coverage test required prior to Use and Occupancy.

Please contact me should you have any questions.

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

960 RITTENHOUSE ROAD WAREHOUSE LOWER PROVIDENCE TOWNSHIP **MONTGOMERY COUNTY, PENNSYLVANIA**

PROJECT DATA APPLICANT/

OWNER IN EQUITY:

OWNER:

SITE ADDRESS/INFO:

PROJECT SITE AREA:

SITE DESCRIPTION:

960 RITTENHOUSE ROAD ASSOCIATES, LLC 338 SUN VALLEY DRIVE AMBLER, PA 19002 PHONE: 215-840-3938

FACCIOLO FRANK U/W MARTIAL TRUST 2024 SPROUL ROAD BROMALL, PA 19008

960 RITTENHOUSE ROAD AUDUBON, PA 19403

PARCEL ID 43-00-12256-00-4 DEED BOOK 5868, PAGE 548

5.534 ACRES (241,041 S.F.) GROSS 5.231 ACRES (227,842 S.F.) NET

THE FOLLOWING NARRATIVE DESCRIBES THE MODIFICATIONS TO THE PROPERTY. THIS PROJECT WILL INCLUDE CONSTRUCTION OF A NEW WAREHOUSE BUILDING, AND ASSOCIATED DRIVEWAY/PARKING. FOR STORMWATER MANAGEMENT, PROPOSED MRC BASINS AND AN UNDERGROUND DETENTION BASIN ARE DESIGNED TO MEET REQUIREMENTS FOR PEAK RATE AND WATER QUALITY FOR RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS.

CONTACT LIST

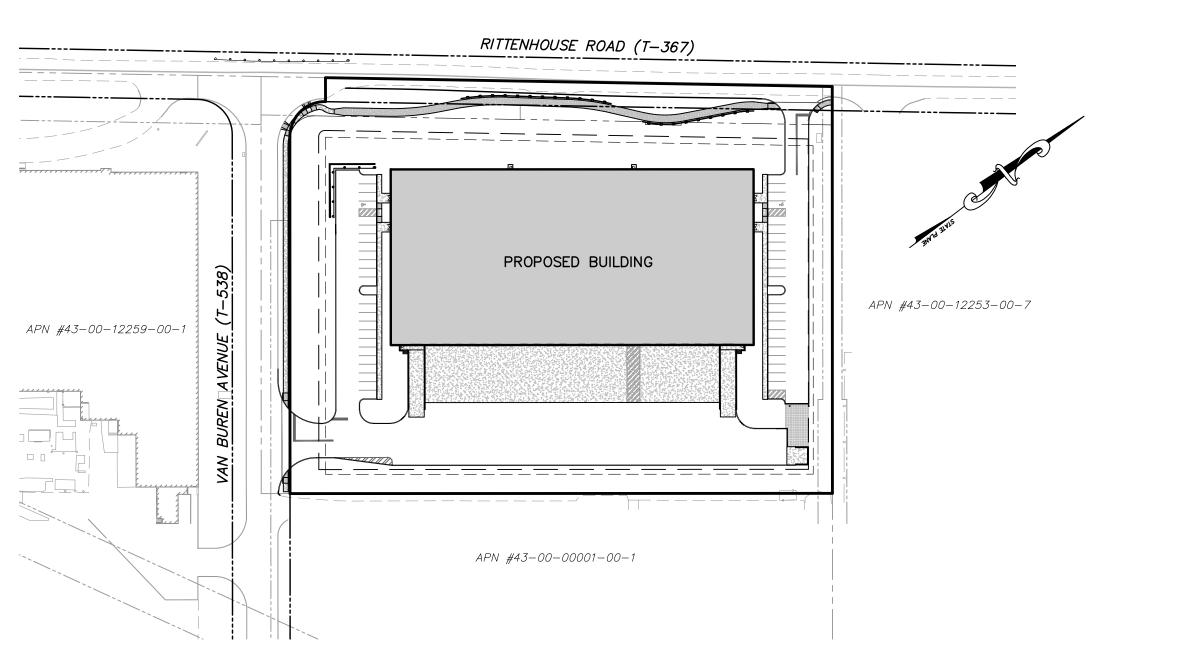
CIVIL ENGINEER: REL DESIGN, INC. 939 JEFFERSON AVE. NORRISTOWN, PA 19403 CONTACT NAME: ROB O'DONNELL, P.E., VICE-PRESIDENT MANAGER, STRUCTURAL AND CIVIL ENGINEERING TEL: (610) 666-9200 x276 EMAIL: RODONNELL@RELAMB.COM

ARCHITECT: REL DESIGN, INC 939 JEFFERSON AVE. NORRISTOWN, PA 19403 CONTACT NAME: JIM DONAGHY, R.A., PROJECT ARCHITECT TEL: (610) 666-9200 x231 EMAIL: JDONAGHY@RELAMB.COM

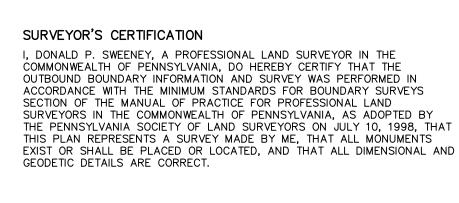
SURVEYOR: DONALD P. SWEENEY, P.L.S. CONTROL POINT ASSOCIATES, INC. 1600 MANOR DRIVE., SUITE 210 CHALFONT, PA 18914 TEL: (215) 712-9800 EMAIL: WWW.CPASURVEY.COM

SERIAL NO. 20222781727 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc

FOR



DWG. NO.	DRAWING TITLE
C-001	CIVIL COVER SHEET
C-002	SITE PLAN NOTES
C-101	SITE PLAN
C-102	TRUCK TURNING PLAN
C-201	EXISTING FEATURES PLAN
C-202	DEMOLITION PLAN
C-203	AERIAL PLAN
C-301	GRADING PLAN 1
C-302	GRADING PLAN 2 (CURB RAMPS)
C-303	GRADING PLAN 3 (CURB RAMPS)
C-310	DRIVEWAY PROFILES
C-311	RITTENHOUSE ROAD SIGHT DISTANCE PROFILE
C-312	RITTENHOUSE ROAD WIDENING
C-320	STORM SEWER PROFILES 1
C-321	STORM SEWER PROFILES 2
C-401	UTILITY PLAN
C-410	WATER PROFILES
C-420	SANITARY SEWER PROFILES
C-480	WATER DETAILS
C-490	SANITARY SEWER DETAILS
C-601	LANDSCAPE PLAN
C-610	LIGHTING PLAN
C-701	EROSION & SEDIMENTATION CONTROL PLAN (INITIAL STAGE)
C-702	EROSION & SEDIMENTATION CONTROL PLAN (INTERMEDIATE STAGE)
C-703	EROSION & SEDIMENTATION CONTROL PLAN (FINAL STAGE)
C-720	EROSION & SEDIMENTATION CONTROL DETAILS 1
C-721	EROSION & SEDIMENTATION CONTROL DETAILS 2
C-722	EROSION & SEDIMENTATION CONTROL DETAILS 3
C-723	EROSION & SEDIMENTATION CONTROL DETAILS 4
C-801	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
C-802	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS 1
C-803	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS 2
C-850	PRE-DEVELOPED DRAINAGE AREA PLAN
C-851	POST-DEVELOPED DRAINAGE AREA PLAN
C-901	CONSTRUCTION DETAILS 1
C-902	CONSTRUCTION DETAILS 2
C-903	CONSTRUCTION DETAILS 3
C-904	CONSTRUCTION DETAILS 4
C-905	CONSTRUCTION DETAILS 5
C-906	CONSTRUCTION DETAILS 6



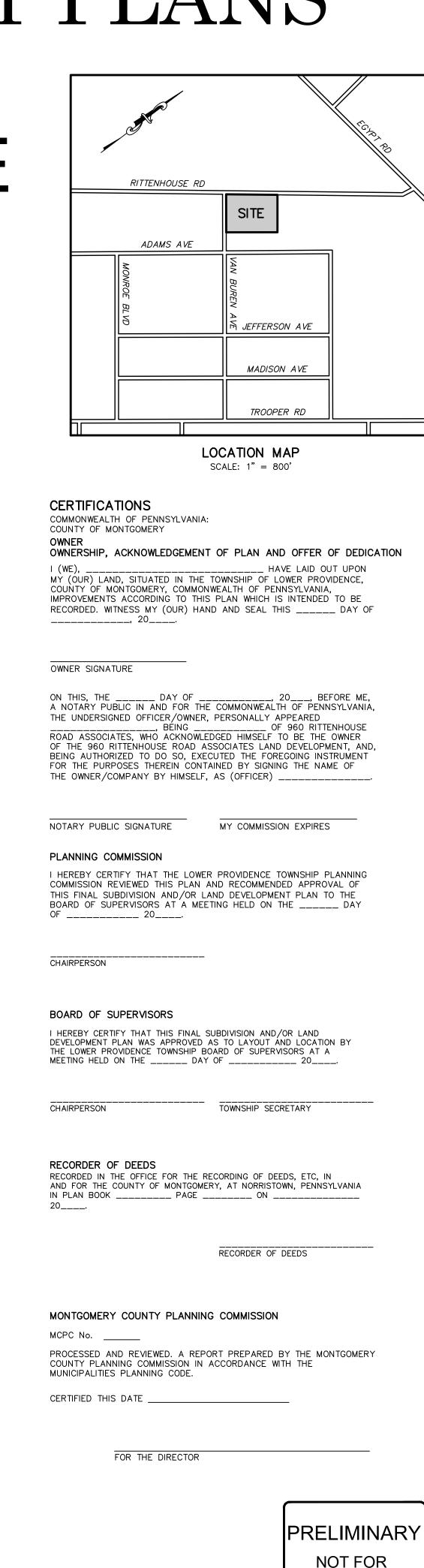
SIGNATURE P.L.S. No.

PROFESSIONAL ENGINEER CERTIFICATION I, ROBERT J. O'DONNELL, A PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT THE PLAN AND DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LOWER PROVIDENCE TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AND WERE PREPARED BY ME OR UNDER MY

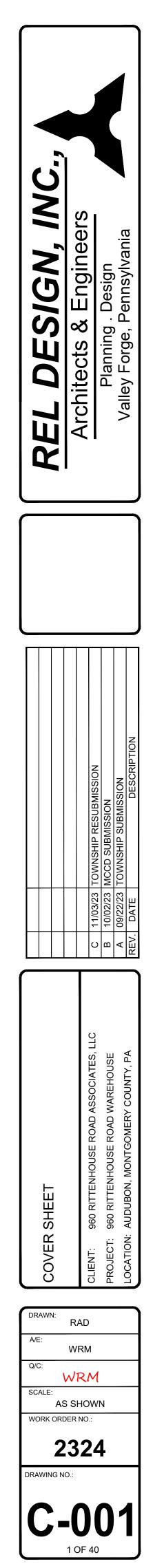
SIGNATURE PA. P.E. No. 060541

TOWNSHIP MANAGER I HEREBY CERTIFY THAT THE BOARD OF SUPERVISORS HAS APPROVED THE IMPROVEMENT CONSTRUCTION PLAN AND ANY CHANGES THERETO ON THE DATE SHOWN.

TOWNSHIP MANAGER



CONSTRUCTION



DATE

DATE

PROPERTY DESCRIPTION

ALL THAT CERTAIN LOT OR PIECE OF GROUND SITUATE IN THE TOWNSHIP OF LOWER PROVIDENCE, COUNTY OF MONTGOMERY AND COMMONWEALTH OF PENNSYLVANIA, DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

BEGINNING AT A POINT ON THE CENTER LINE OF RITTENHOUSE ROAD, A CORNER OF PARCEL #1301 AND OTHER LAND NOW OR LATE OF VALLEY FORGE INDUSTRIAL PARK, SAID POINT BEING AT THE DISTANCE OF ONE THOUSAND NINE HUNDRED THIRTY-THREE AND NINETY-FOUR ONE-HUNDREDTHS FEET MEASURED SOUTHWESTERLY ALONG THE CENTER LINE OF RITTENHOUSE ROAD FROM A POINT MARKING ITS INTERSECTION WITH THE CENTER LINE OF EGYPT ROAD; THENCE FROM SAID BEGINNING POINT LEAVING RITTENHOUSE ROAD BY OTHER LAND NOW OR LATE OF VALLEY FORGE INDUSTRIAL PARK THE TWO FOLLOWING COURSES AND DISTANCES. (1) SOUTH FORTY-EIGHT DEGREES NO MINUTES EAST THREE HUNDRED NINETY-SEVEN AND FIFTY-SEVEN ONE-HUNDREDTHS FEET; (2) SOUTH FORTY-TWO DEGREES NO MINUTES WEST TWO HUNDRED SEVENTY FEET TO A POINT ON THE CENTER LINE OF VAN BUREN AVENUE; THENCE BY CENTER LINE OF VAN BUREN AVENUE NORTH FORTY EIGHT DEGREES NO MINUTES WEST FOUR HUNDRED, TWO AND FORTY-THREE ONE HUNDREDTHS FEET TO A POINT ON THE CENTER LINE OF RITTENHOUSE ROAD; THENCE BY THE CENTER LINE OF RITTENHOUSE ROAD NORTH FORTY-THREE DEGREES TWO MINUTES EAST TWO HUNDRED THE FEET TO A POINT ON THE CENTER LINE OF RITTENHOUSE ROAD; THENCE BY THE CENTER LINE OF RITTENHOUSE ROAD NORTH FORTY-THREE DEGREES TWO MINUTES EAST TWO HUNDRED THE FEET TO A POINT ON THE CENTER LINE OF RITTENHOUSE ROAD; THENCE BY THE CENTER LINE OF RITTENHOUSE ROAD NORTH FORTY-THREE DEGREES TWO MINUTES EAST TWO HUNDRED SEVENTY AND FOUR ONE-HUNDREDTHS FEET TO THE FIRST MENTIONED POINT AND PLACE OF BEGINNING.

ALL THAT CERTAIN LOT OR PIECE OF GROUND, SITUATE IN THE TOWNSHIP OF LOWER PROVIDENCE, COUNTY OF MONTGOMERY AND STATE OF PENNSYLVANIA, BOUNDED AND DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT ON THE CENTER LINE OF VAN BUREN AVENUE A CORNER OF THIS AND PARCEL NO. 1301, SAID POINT BEING AT THE DISTANCE OF FOUR HUNDRED TWO AND FORTY-THREE ONE-HUNDREDTHS FEET MEASURED SOUTH FORTY-EIGHT DEGREES NO MINUTES EAST ALONG THE CENTER LINE OF VAN BUREN AVENUE FROM ITS INTERSECTION WITH THE CENTER LINE OF RITTENHOUSE ROAD; THENCE FROM SAID BEGINNING POINT LEAVING VAN BUREN AVENUE BY PARCEL NO. 1301 NORTH FORTY-TWO DEGREES NO MINUTES EAST TWO HUNDRED SEVENTY FEET TO A POINT; THENCE BY OTHER LAND NOW OR LATE OF VALLEY FORGE INDUSTRIAL PARK THE TWO FOLLOWING COURSES AND DISTANCES: (1) SOUTH FORTY-EIGHT DEGREES NO MINUTES EAST THIRTY-TWO FEET; (2) SOUTH FORTY-TWO DEGREES NO MINUTES WEST TWO HUNDRED SEVENTY FEET TO A POINT ON THE CENTER LINE OF VAN BUREN AVENUE; THENCE BY THE CENTER LINE OF VAN BUREN AVENUE NORTH FORTY-EIGHT DEGREES NO MINUTES WEST THIRTY-TWO FEET TO THE FIRST MENTIONED POINT AND PLACE OF BEGINNING.

BEING KNOWN AS 960 RITTENHOUSE ROAD. BEING PARCEL NO. 43-00-12256-00-4

ALSO ALL THAT CERTAIN PIECE OR PARCEL OF GROUND SITUATE IN LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA AND DESCRIBED ACCORDING TO A CERTAIN PLAN OF PROPERTY MADE BY YERKES ENGINEERING CO., CIVIL ENGINEERS AND SURVEYORS DARED JULY 22, 1.963, AS FOLLOWS, TO WIT:

BEGINNING AT A POINT ON THE TITLE LINE IN THE BED OF RITTENHOUSE ROAD A CORNER OF LANDS NOW OR LATE OF AERO SPACE COMPONENTS DIVISION ATLAS CHEMICALS INDUSTRIES. INC., SAID POINT BEING AT THE DISTANCE OF 605. 02 FEET MEASURED SOUTH 43 DEGREES 02 MINUTES WEST ALONG THE LINE THROUGH THE BED OF RITTENHOUSE ROAD FROM ITS POINT OF INTERSECTION WITH THE EXTENDED LINE IN THE BED OF EISENHOWER AVENUE; THENCE EXTENDING FROM SAID POINT OF BEGINNING SOUTH 48 DEGREES 00 MINUTES EAST ALONG THE AFORESAID LANDS NOW OR LATE OF AERO SPACE COMPONENTS DIVISIONS OF ATLAS CHEMICALS INDUSTRIES, INC. CROSSING THE SOUTHEASTERLY SIDE OF RITTENHOUSE ROAD 423. 70 FEET TO A POINT A CORNER OF LANDS NOW OR LATE OF VALLEY FORGE INDUSTRIAL PARK INC., THENCE EXTENDING SOUTH 42 DEGREES 00 MINUTES WEST ALONG THE LAST MENTIONED LAND 325.00 FEET TO A POINT A CORNER OF LANDS NOW OR LATE OF NAVIGATION COMPUTER CORP. . THENCE EXTENDING NORTH 48 DEGREES 00 MINUTES WEST ALONG THE LAST MENTIONED LANDS RECROSSING THE SOUTHEASTERLY SIDE OF RITTENHOUSE ROAD 429.57 FEET TO A POINT IN THE TITLE LINE IN THE BED OF SAME; THENCE EXTENDING NORTH 43 DEGREES 02 MINUTES EAST ALONG THE TITLE LINE THROUGH THE BED OF RITTENHOUSE ROAD 325.06 FEET TO THE FIRST MENTIONED POINT AND PLACE OF BEGINNING.

SERIAL NO. 20222781727 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc

1-800-242-1776

1. 2. 3

SURVEY NOTES

1. PROPERTY KNOWN AS BLOCK 63G, UNIT 4, APN #'S 43-00-12256-00-4 AS IDENTIFIED ON THE TAX MAP OF LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA.

 AREA = 241,041 SQUARE FEET OR 5.534 ACRES.
 LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL

QUALITY LEVEL C – LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL B – UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THE SURVEY.

4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY THE CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.

5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE COMMITMENT PREPARED BY LAND SERVICES USA, INC. AS AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. PAFA22-0536, WITH A COMMITMENT DATE OF 1/12/2022, REVISION A, DATED 11/22/22. WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:

8 TITLE TO THAT PORTION OF THE PREMISES WITHIN THE BED OF RITTENHOUSE ROAD AND VAN BUREN AVENUE IS SUBJECT TO THE PUBLIC AND PRIVATE RIGHTS THEREIN.

9 EASEMENTS AS SET FORTH IN DEED BOOK 3075 PAGE 252 AND DEED BOOK 3106 PAGE 193 – FRONT 50' OF RITTENHOUSE ROAD SUBJECT TO EASEMENT FOR MAINTENANCE OF PUBLIC OR PRIVATE ROADS AND UTILITY SERVICE LINES; 10' WIDE UTILITY EASEMENT DESCRIBED IN D.B. 3075, PG. 252 IS NULL AND VOID PER D.B. 3106, PG. 193; SHOWN PER D.B. 3106, PG. 193.

10 RESTRICTIONS AS IN DEED BOOK 3007 PAGE 410 - NOT LOCATED ON THE SURVEYED PROPERTY.

11 RIGHT OF WAY GRANTED TO THE PHILADELPHIA ELECTRIC COMPANY AS IN DEED BOOK 3283 PAGE 442 AND DEED BOOK 4763 PAGE 2010:

D.B 3283, PG. 442 – 40' WIDE EASEMENT LOCATED ON THE SURVEYED PROPERTY; SHOWN. D.B. 4763, PG. 2010 – EASEMENT FOR PAD MOUNTED TRANSFORMER, BLANKET IN NATURE; TRANSFORMER SHOWN.

12 RIGHT OF WAY GRANTED TO THE PHILADELPHIA ELECTRIC COMPANY AND THE BELL TELEPHONE COMPANY OF PENNSYLVANIA AS IN DEED BOOK 2944 PAGE 478 – NOT LOCATED ON THE SURVEYED PROPERTY.

6. EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.) PER REF. MAP #2.

7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS). TEMPORARY BENCH MARKS SET:

TBM-A: MAG NAIL SET IN CONC CURB, ON THE EASTERLY SIDE OF RITTENHOUSE ROAD, ELEVATION = 213.27'TBM-B: MAG NAIL SET IN CONC CURB, ON THE EASTERLY SIDE OF

RITTENHOUSE ROAD, ELEVATION = 228.63'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

 THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 THERE ARE A TOTAL OF (121) DESIGNATED PARKING SPACES, INCLUDING (2) HC

ACCESSIBLE SPACES.

 BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
 A SUBSURFACE UTILITY MARKOUT WAS PERFORMED BY CONTROL POINT ASSOCIATES, INC. TO ASSIST IN THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE MARKED AND

FIELD LOCATED ON 1/24/2023.
13. THE SURVEYED PROPERTY IS THE SAME PROPERTY AS DESCRIBED IN A TITLE COMMITMENT PREPARED BY LAND SERVICES USA, INC., AS AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. PAFA22-0536, WITH A COMMITMENT DATE OF 1/12/2022, REVISION A, DATED 11/22/2022.

14. THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

 THE SURVEYED PROPERTY CONTAINED IN THE LEGAL DESCRIPTION IS CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.
 THE SURVEYED PROPERTY HAS DIRECT PHYSICAL ACCESS TO VAN BUREN AVENUE AND RITTENHOUSE ROAD, PUBLIC ROADWAYS.

ZONING DATA (APN #43-00-12256-00-4)

ZONING DISTRICT:INDUSTRIAL PARK DISTRICT - IP (MIXED USE OVERLAY)EXISTING USE:MANUFACTURING (PERMITTED BY RIGHT)PROPOSED USE:WAREHOUSE (PERMITTED BY CONDITIONAL USE)*

	•		
GENERAL STANDARDS	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE**	1 ACRE	5.23 ACRES	5.231 ACRES
SITE/LOT WIDTH	NA		
SITE/LOT DEPTH	NA		
MAXIMUM BUILDING COVERAGE	65%	11%	31%
MAXIMUM IMPERVIOUS SURFACE***	65%	37%	64.9%
MINIMUM YARDS			
FRONT YARD	30 FT	37.33 FT	62.50 FT
SIDE YARD	25 FT	142.88 FT	82.00 FT
REAR YARD	20 FT	NA	NA
BUILDING SETBACKS			
FROM ACCESSORY BUILDINGS	25 FT	NA	NA
FROM STREETS	30 FT	50.14 FT	77.82 FT
FROM PARKING AREAS	15 FT	29.90 FT	15.00 FT
MAXIMUM BUILDING HEIGHT	90 FT	<90 FT	<90 FT

* CONDITIONAL USE DECISION DATED 06/01/2023 FOR TMP #43-00-12256-00-4. CONDITIONAL USE REQUIRED FOR TMP #43-00-00001-00-1. ** EXCLUDES PUBLIC RIGHT-OF-WAY *** 75% IS PERMITTED WHEN THE DESIGN INCLUDES THE USE OF GREEN ROOFS AND RAIN GARDENS.

PARKING REQUIREMENTS

PARKING REQUIREMENTS PARKING USE: WAREHOUSE PARKING REQUIREMENT: 1 SPACE/1,500 S.F. OR 1 PER EMPLOYEE ON LARGEST SHIFT (WHICHEVER IS GREATER)

69,174 S.F. (1 SPACE/1,500 S.F.) = 47 SPACES (REQUIRED) TOTAL PROPOSED: 48 SPACES

IMPERVIOUS SURFACE

BUILDING	69,174 SF
PAVING	50,620 SF
CONCRETE	28,201 SF
TOTAL	147,995 SF (3.397 ACRES)

PERMITTED PER ZONING 148,097 SF (3.400 ACRES)

LOT AREA

*GROSS AREA: 5.534 ACRES (241,041 S.F.) (TO BOUNDARY) **NET AREA: 5.231 ACRES (227,842 S.F.) (EXCLUDES LEGAL ROW)

* PER REFERENCE PLAN 1. ** PER REFERENCE PLAN 2

GENERAL NOTES

- 1. TOPOGRAPHIC INFORMATION SHOWN WITHIN THE SURVEY LIMITS ARE BASED UPON FIELD SURVEY BY CONTROL POINT ASSOCIATES, INC., PERFORMED IN OCTOBER, 2022.
- THE SURVEY IS REFERENCED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, PA SOUTH ZONE, NAD 83 (2011) AND THE ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON GPS OBSERVATIONS UTILIZING THE
- KEYSTONE VRS NETWORK (KEYNETGPS).
 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED, BY THE CONTRACTOR, AS TO THEIR LOCATION, SIZE AND TYPE.
- 4. THIS SURVEY DOES NOT CERTIFY AS TO THE PRESENCE OR ABSENCE OF UNDERGROUND IMPROVEMENTS, ENCROACHMENTS OR STRUCTURES. THE RESPONSIBILITY FOR THE SAME SHALL BE THAT OF THE CONTRACTOR.
- NO WETLAND INVESTIGATIONS WERE PERFORMED FOR THIS SURVEY.
 PARCEL(S) SHOWN HEREON ARE LOCATED IN FLOOD ZONE X, AREA DETERMINED TO BE OUTSIDE 500 YEAR FLOODPLAIN PER FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), BEING PANEL 331 OF 451, MAP NUMBER 42091C0331G, EFFECTIVE DATE MARCH 02, 2016.
- 7. NO CERTIFICATION IS MADE BY REL DESIGN, INC. AS TO THE POSITION OF ANY UTILITIES OR TO THE COMPLETENESS OF ANY UTILITIES SHOWN. ALL CONTRACTORS WORKING ON THIS SITE SHALL COMPLY WITH THE REQUIREMENTS OF ACT 121 OF 2008 (UNDERGROUND UTILITY LINE PROTECTION ACT).
- 8. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- 9. THE EXISTING BUILDING IS CURRENTLY SERVED BY PUBLIC SEWER SERVICE PROVIDED BY LOWER PROVIDENCE SEWER AUTHORITY. ALL CONSTRUCTION SHALL MEET LOWER PROVIDENCE SEWER AUTHORITY STANDARDS AND SPECIFICATIONS.
 10. THE EXISTING BUILDING IS CURRENTLY SERVED BY PUBLIC WATER SERVICE PROVIDED BY
- AUDUBON WATER CO. ALL CONSTRUCTION SHALL MEET AUDUBON WATER CO. STANDARDS AND SPECIFICATIONS. 11. ALL UTILITIES SERVICING THE PROJECT SHALL BE UNDERGROUND AND INSTALLED PRIOR TO
- FINAL PAVING. 12. THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE LOWER PROVIDENCE TOWNSHIP ZONING ORDINANCE DATED SEPTEMBER 27, 2021, AND THE SUBDIVISION AND DEVELOPMENT OF LAND ORDINANCE DATED JUNE 30, 2023.
- 13. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF ANY EASEMENT, AND THE AREA SHALL BE KEPT AS LAWN.14. ALL DRAINAGE FACILITIES ARE TO BE MAINTAINED BY THE OWNER TO RETAIN THEIR DESIGN
- CAPACITY. A BLANKET EASEMENT FOR CONVEYANCE SWALES, STORM SEWER AND APPURTENANCES OUTSIDE RIGHT-OF-WAY AREAS IS OFFERED TO LOWER PROVIDENCE TOWNSHIP.
- 15. CONTRACTOR SHALL PROVIDE PROJECT CLOSE-OUT DOCUMENTATION AND AS-BUILTS UPON PROJECT COMPLETION. AS-BUILTS SHALL BE PROVIDED IN BOTH PDF AND AUTOCAD DWG FILE FORMATS.
 16. 15' WIDE (VADIABLE WIDTLE NUMERIC TRANSPORTED IN BOTH OF WAY EASEMENT
- 16. 15' WIDE/VARIABLE WIDTH MULTI-PURPOSE TRAIL/PUBLIC RIGHT-OF-WAY EASEMENT DIRECTLY ADJACENT TO RITTENHOUSE ROAD TO BE PROVIDED TO LOWER PROVIDENCE TOWNSHIP.

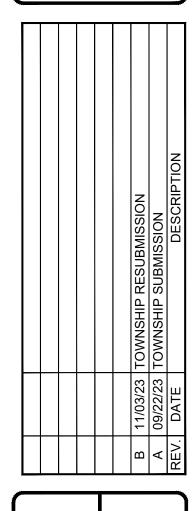
WAIVERS REQUIRED

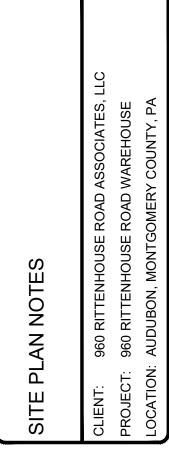
- 1. §123-32.A A WAIVER IS REQUIRED FROM PROVIDING CURB ALONG RITTENHOUSE
- §123-33 A PARTIAL WAIVER IS REQUIRED FROM PROVIDING SIDEWALK ALONG RITTENHOUSE ROAD.
- 3. §123-36.B.(1) A WAIVER IS REQUIRED FROM PROVIDING DRIVEWAY ACCESSES AT
- LEAST 200 FEET APART. 4. §123–36.F – A PARTIAL WAIVER IS REQUIRED FROM A MAXIMUM DRIVEWAY PAVING
- WIDTH OF 28 FEET. 5. §123–50.B – A PARTIAL WAIVER IS REQUIRED FROM EACH NONRESIDENTIAL
- DEVELOPMENT SHALL BE SCREENED AS A NECESSARY SAFEGUARD TO THE CHARACTER OF AN ADJACENT AREA.
- §123-143 (VALLEY FORGE CORPORATE CENTER LAND USE AND DESIGN MANUAL) -A PARTIAL WAIVER IS REQUIRED FROM LANDSCAPE BUFFERS.
- 7. \$129-19.C.(2) A WAIVER IS REQUIRED FROM ALL STORM SEWER PIPING BEING CLASS III REINFORCED CONCRETE PIPE.
- \$129-19.C.(6) A WAIVER IS REQUIRED FROM PIPE SLOPE OF TERMINAL SECTIONS HAVING A MINIMUM SLOPE OF 1% (0.01 FT/FT).
- 9. \$129-19.C.(16) A WAIVER IS REQUIRED FROM STORMWATER PIPES BEING ORIENTED AT RIGHT ANGLES TO ELECTRIC, WATER, SANITARY SEWER AND GAS UTILITIES WHEN CROSSING ABOVE OR BENEATH SAME.
- 10. 129-19.G.(4) A waiver is required from no excavation being made with a cut face steeper in slope than four horizontal to one vertical (4:1 = 25%).
- 11. §129–19.H.(9) A WAIVER IS REQUIRED FROM ALL DETENTION OR RETENTION BASINS HAVING SLOPES OF FOUR HORIZONTAL TO ONE VERTICAL (4:1 = 25%) OR FLATTER ON THE BASIN'S OUTER BERM AND FIVE HORIZONTAL TO ONE VERTICAL OR LESS ON THE BASIN'S INNER BERM.
- 12. \$129-19.H.(10) A WAIVER IS REQUIRED FROM ALL PORTIONS OF A DETENTION
- BASIN BOTTOM HAVING A MINIMUM SLOPE OF 2%. 13. §129–19.H.(12) – A WAIVER IS REQUIRED FROM EMERGENCY SPILLWAYS DISCHARGING OVER EMBANKMENTS SHALL BE CONSTRUCTED OF REINFORCED
- CONCRETE CHECKER-BLOCKS TO PROTECT THE BERM AGAINST EROSION. 14. §129–19.H.(15) – A WAIVER IS REQUIRED FROM THE MINIMUM FREEBOARD THROUGH THE EMERGENCY SPILLWAY OF ONE FOOT.
- 15. §129–19.H.(19) A WAIVER IS REQUIRED FROM THE GRATE OF THE BASIN OUTLET STRUCTURE OF AT LEAST SIX INCHES LOWER THAN THE ELEVATION OF THE EARTHEN EMERGENCY SPILLWAY. SIX INCHES, MINIMUM, IS ALSO REQUIRED BETWEEN THE ROUTED ONE-HUNDRED-YEAR WATER SURFACE ELEVATION AND TOP OF THE OUTLET STRUCTURE.
- 16. \$129-19.H.(24) A WAIVER IS REQUIRED FROM PERIMETER BERMS AND EMBANKMENTS OF RETENTION/DETENTION BASINS BEING DESIGNED TO CREATE A NATURAL APPEARANCE AND REDUCE FUTURE MAINTENANCE REQUIREMENTS.

REFERENCE PLANS

- PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED LAST REVISED 02/15/2023.
- PLANS ENTITLED "CONDITIONAL USE PLAN", PREPARED BY LANDCORE, DATE 02/13/2023.

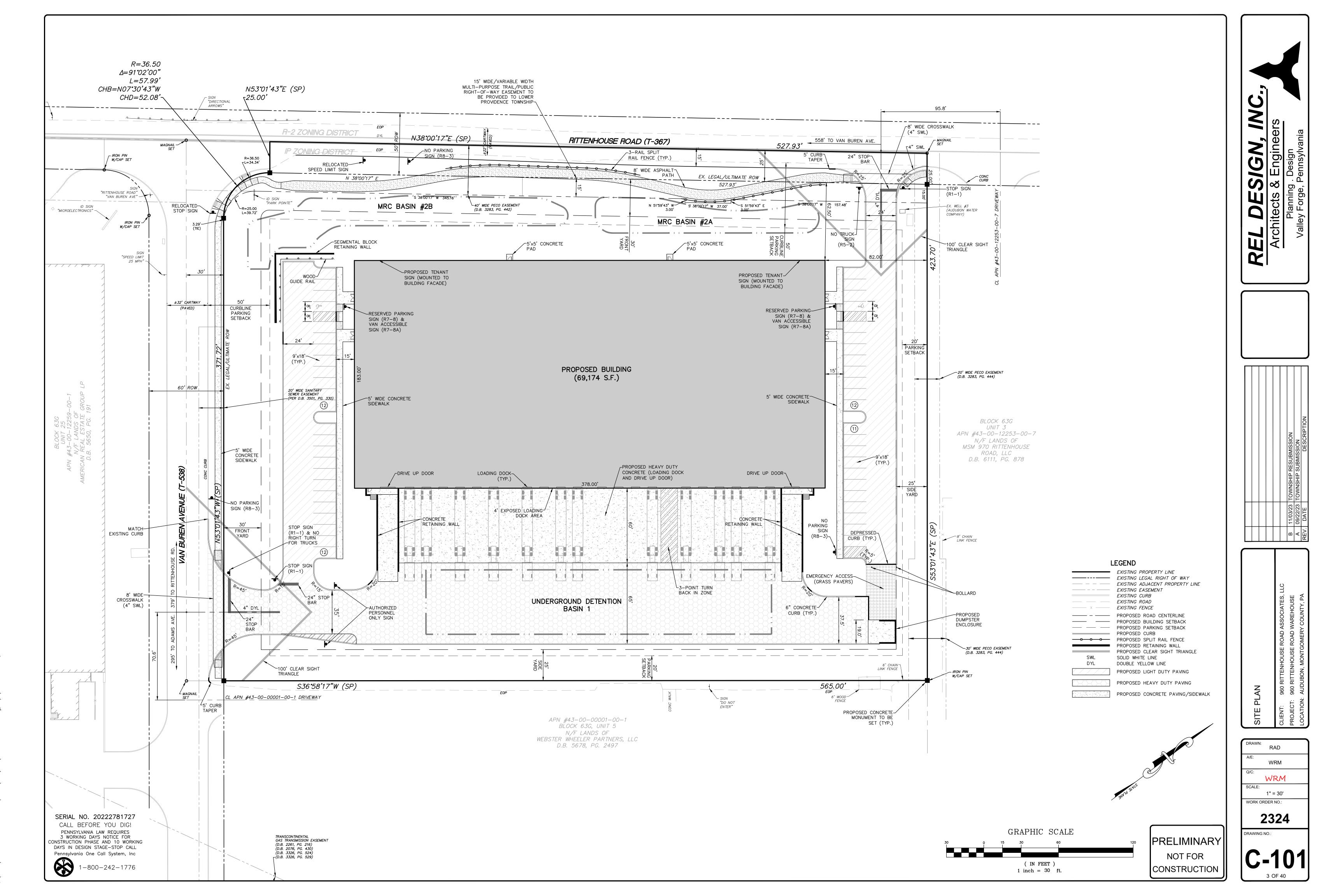
REL DESIGN, INC., Architects & Engineers

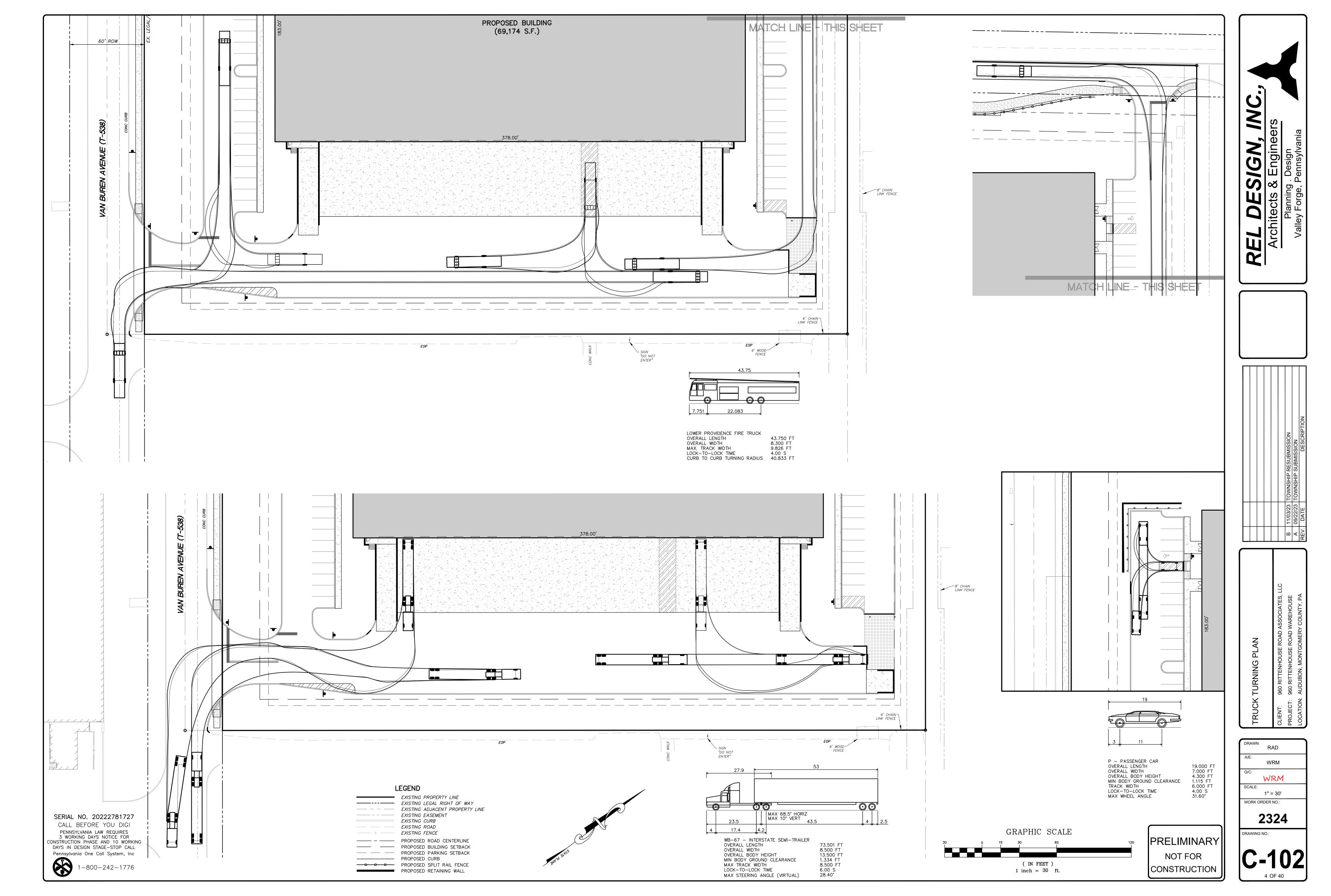


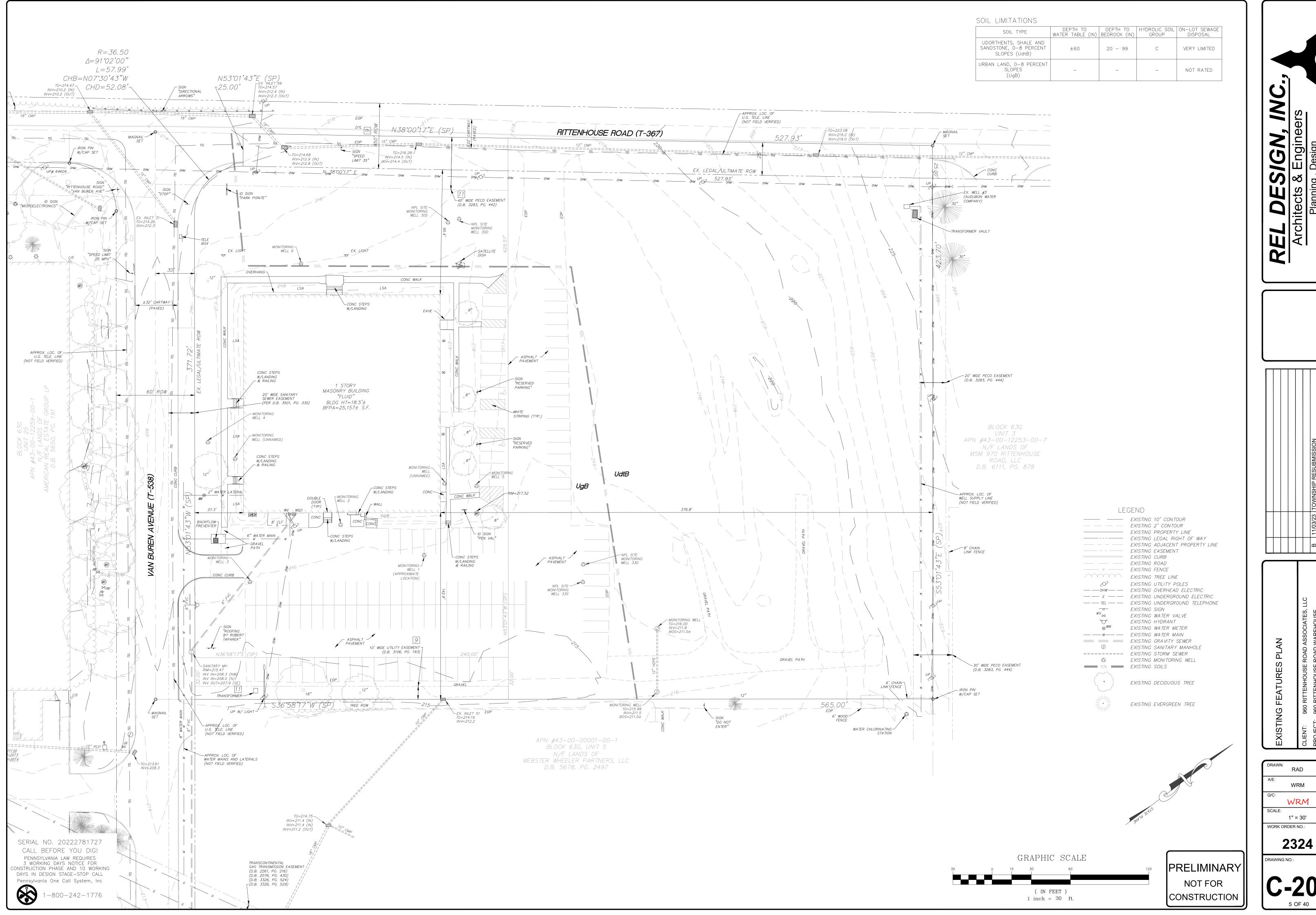




PRELIMINARY NOT FOR CONSTRUCTION







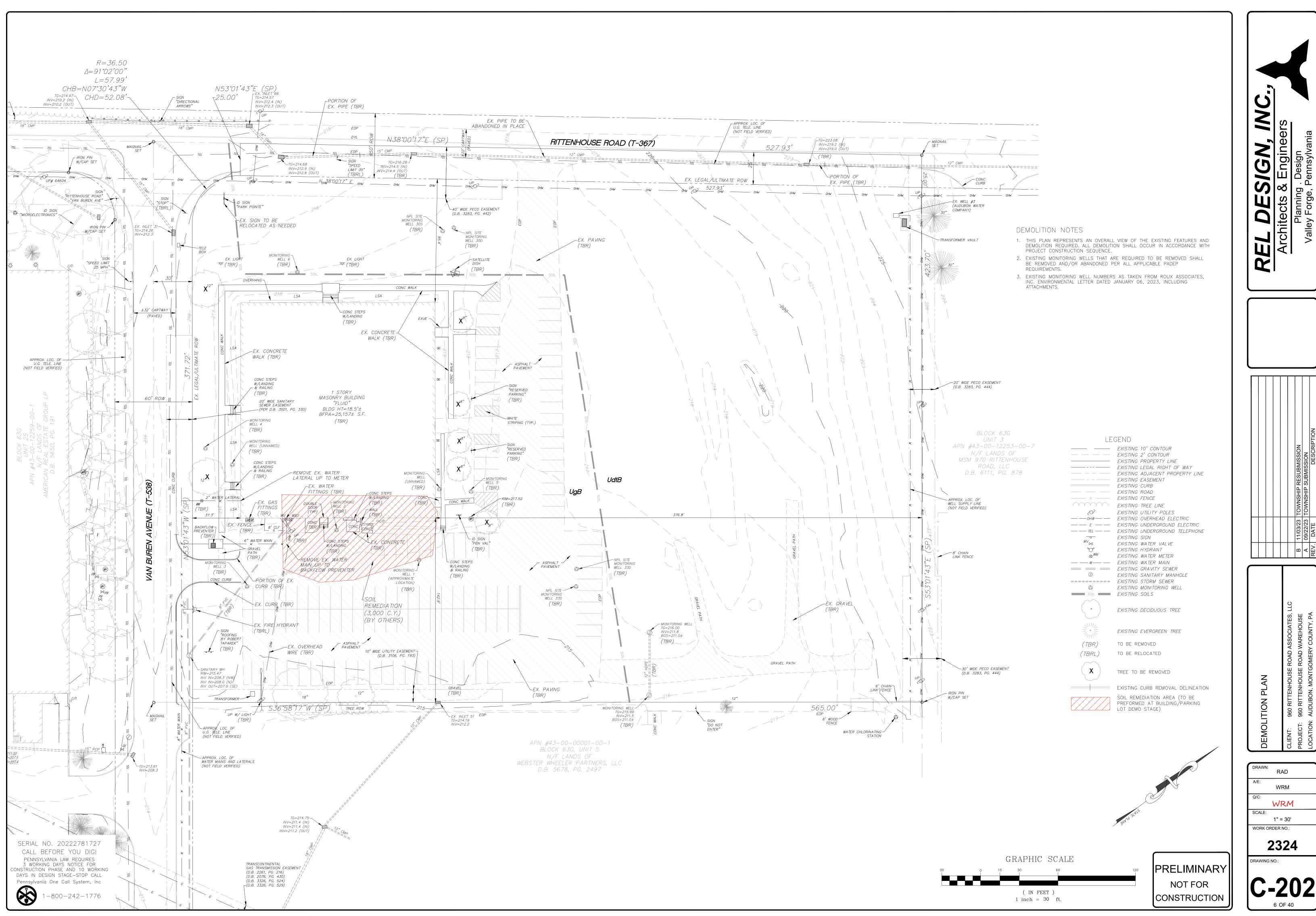
SOIL LIMITATIONS								
	SOIL TYPE	DEPTH TO WATER TABLE (IN)	DEPTH TO BEDROCK (IN)	HYDROLIC SOIL GROUP	ON-LOT SEWAGE DISPOSAL			
	UDORTHENTS, SHALE AND SANDSTONE, 0-8 PERCENT SLOPES (UdtB)	±60	20 - 99	С	VERY LIMITED			
l	JRBAN LAND, 0-8 PERCENT SLOPES (UgB)	_	_	_	NOT RATED			

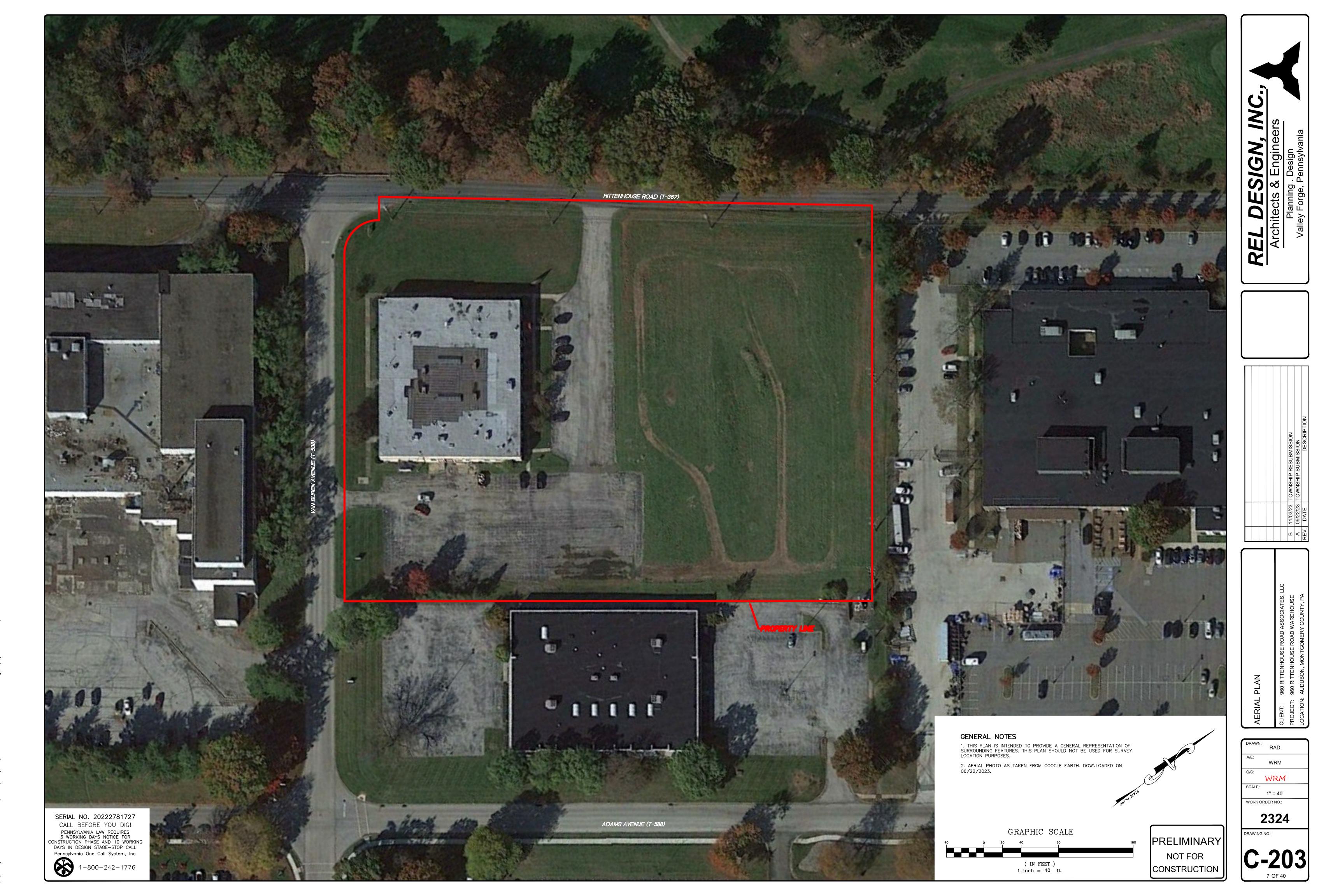
DAD

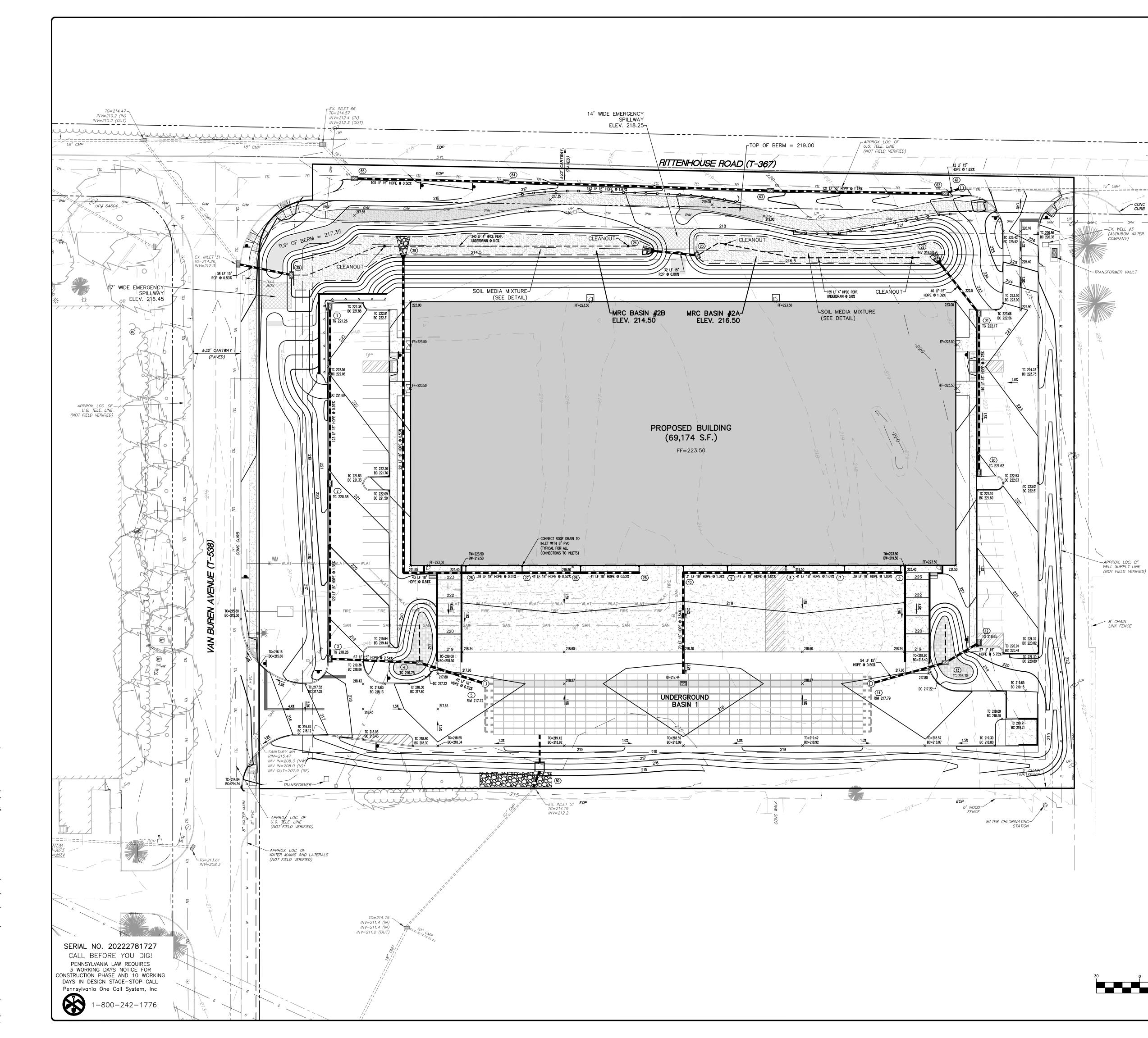
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GENERAL NOTES

GRADE IS 4:1.

- CONC CURB

- - - - - /____

- 1. THE CONTRACTOR, DURING THE PERFORMANCE OF ALL WORK ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT, IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS.
- 2. ALL MATERIAL USED FOR FILL OR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS OR ANY OTHER NON-COMPACTIBLE SOIL TYPE MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE.
- 3. ALL EXCAVATIONS, INCLUDING TRENCHES, SHALL BE KEPT DRY TO PROTECT THEIR INTEGRITY.
- 4. ELEVATIONS, DIMENSIONS, AND THE LOCATIONS OF LINEAR FEATURES SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- 5. THE BURYING OF TREES, STUMPS AND CONSTRUCTION DEBRIS IS PROHIBITED. ALL CONSTRUCTION DEBRIS MUST BE REMOVED FROM THE
- SITE AND PROPERLY DISPOSED OF. ALL AREAS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE FLOW TO NEAREST INLET OR WATERCOURSE WITHOUT PONDING OR OBSTRUCTION.
- 7. A MINIMUM OF 8 INCHES OF TOPSOIL IS REQUIRED AT ALL DISTURBED AREAS OF THE SITE THAT ARE NOT IMPERVIOUS COVER. NO RELEASE OF EXCESS TOPSOIL IS PERMITTED FROM THE SITE UNTIL APPROVAL BY THE TOWNSHIP ENGINEER.
- (INCLUDING GRAVEL) OR SPECIFIED SEED MIX SHALL BE SEEDED WITH THE STANDARD GRASS SEED MIX. MINIMUM PERMITTED LAWN GRADE IS 2.0%. MAXIMUM PERMITTED LAWN 9.
 - 10. ALL STORM SEWER PIPE SHALL BE WATERTIGHT ADS N12 HDPE PIPE WITH THE EXCEPTION OF THE BASIN OUTLETS WHICH SHALL BE O-RING RCP THROUGH THE BASIN BERMS.
 - 11. PROVIDE 18" VERTICAL CLEARANCE BETWEEN ALL WATER/SANITARY/STORMWATER UTILITY CROSSINGS. IN THE EVENT THAT THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED AT THE PIPE CROSSINGS, CONCRETE ENCASEMENTS MUST BE PROVIDED. ALL OTHER UTILITY CROSSINGS SHALL PROVIDE 12" VERTICAL CLEARANCE.
 - 12. ALL STORM SEWER INLETS MUST BE IDENTIFIED WITH A STORM DRAIN MARKER. STORM DRAIN MARKERS SHALL BE STAINLESS STEEL, AFFIXED TO THE INLET HOOD WITH ADHESIVE, RIVETS, OR BOLTS. MARKER MAY BE BOLTED TO THE GRATE IN OFF-ROAD LOCATIONS. MARKER SHALL HAVE A MINIMUM DIAMETER OF 3-1/2 INCHES AND INCLUDE "NO DUMPING -DRAINS TO WATERWAY" AND A FISH SYMBOL.

LEGEND

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× 390.5

374.19 ×

GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft.

----- EXISTING 10' CONTOUR — — — EXISTING 2' CONTOUR

----- EXISTING EASEMENT

EXISTING TREE LINE

— — w— — EXISTING WATER MAIN

=== === EXISTING GRAVITY SEWER

======== EXISTING STORM SEWER

PROPOSED RETAINING WALL

PROPOSED STORM SEWER

-----FIRE ------ PROPOSED FIRE WATER MAIN

FINISHED FLOOR ELEVATION

PROPOSED SPOT ELEVATION

PRELIMINARY

NOT FOR

CONSTRUCTION

EXISTING SPOT ELEVATION

----- PROPOSED CONTOUR

PROPOSED CURB PROPOSED CONCRETE

EXISTING PROPERTY LINE ---- EXISTING LEGAL RIGHT OF WAY

> EXISTING CURB EXISTING ROAD

EXISTING FENCE

----- E ---- EXISTING UNDERGROUND ELECTRIC

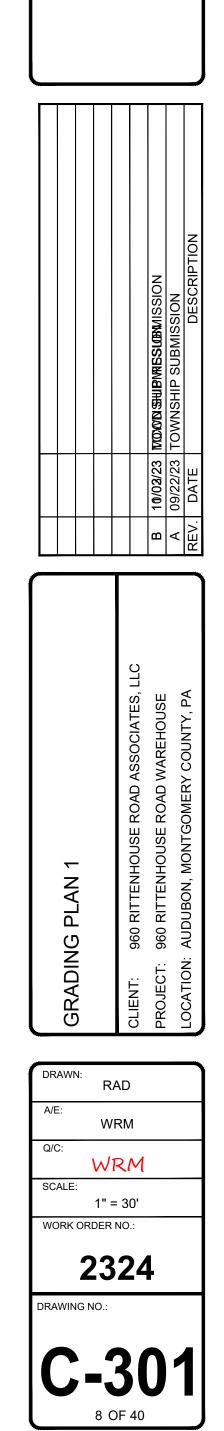
EXISTING SIGN

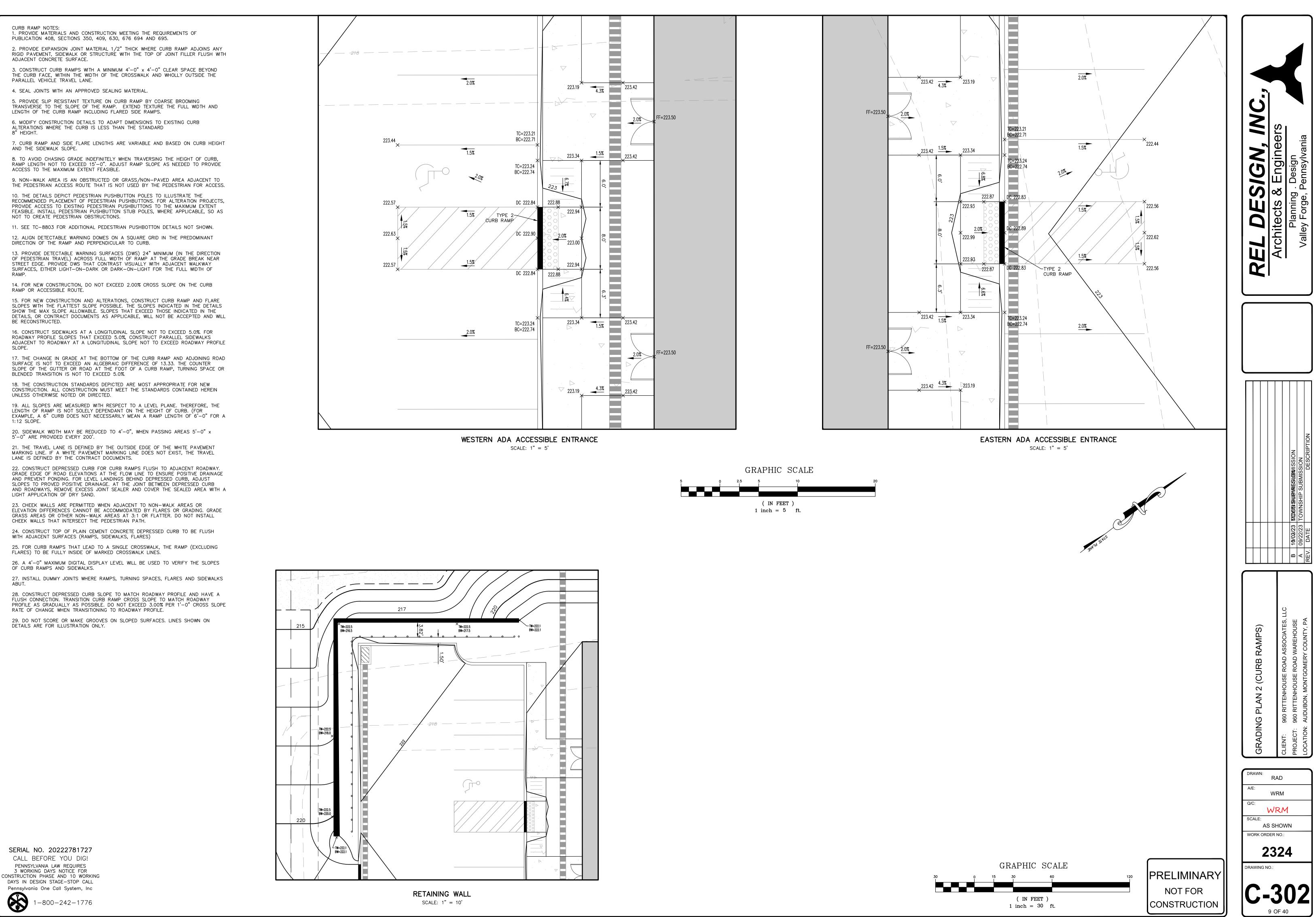
S EXISTING SANITARY MANHOLE

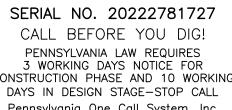
EXISTING UTILITY POLES

EXISTING ADJACENT PROPERTY LINE

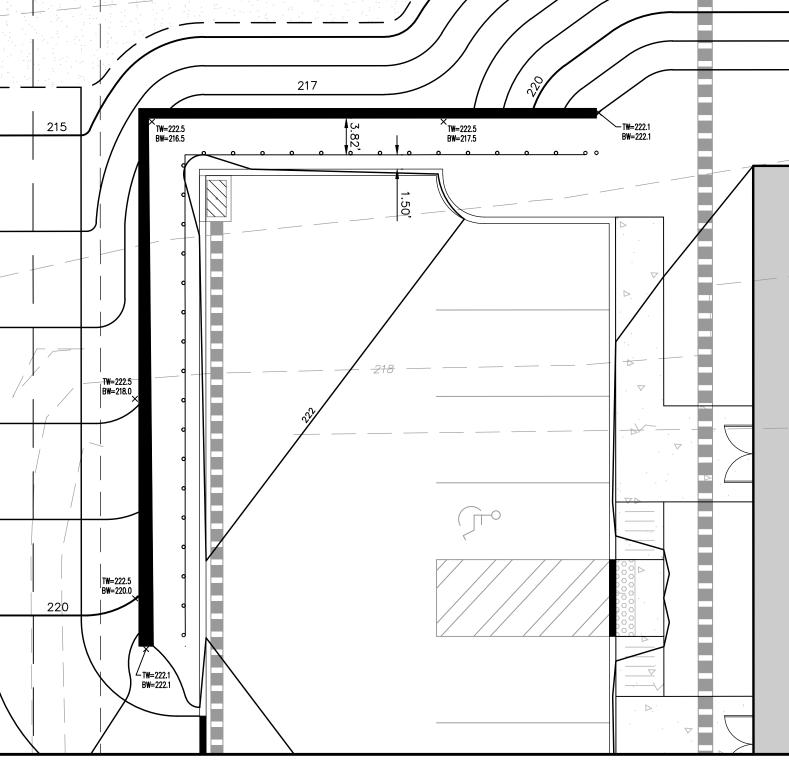
REL DESIGN, INC.,	Architects & Engineers	Planning . Design Valley Forge, Pennsylvania

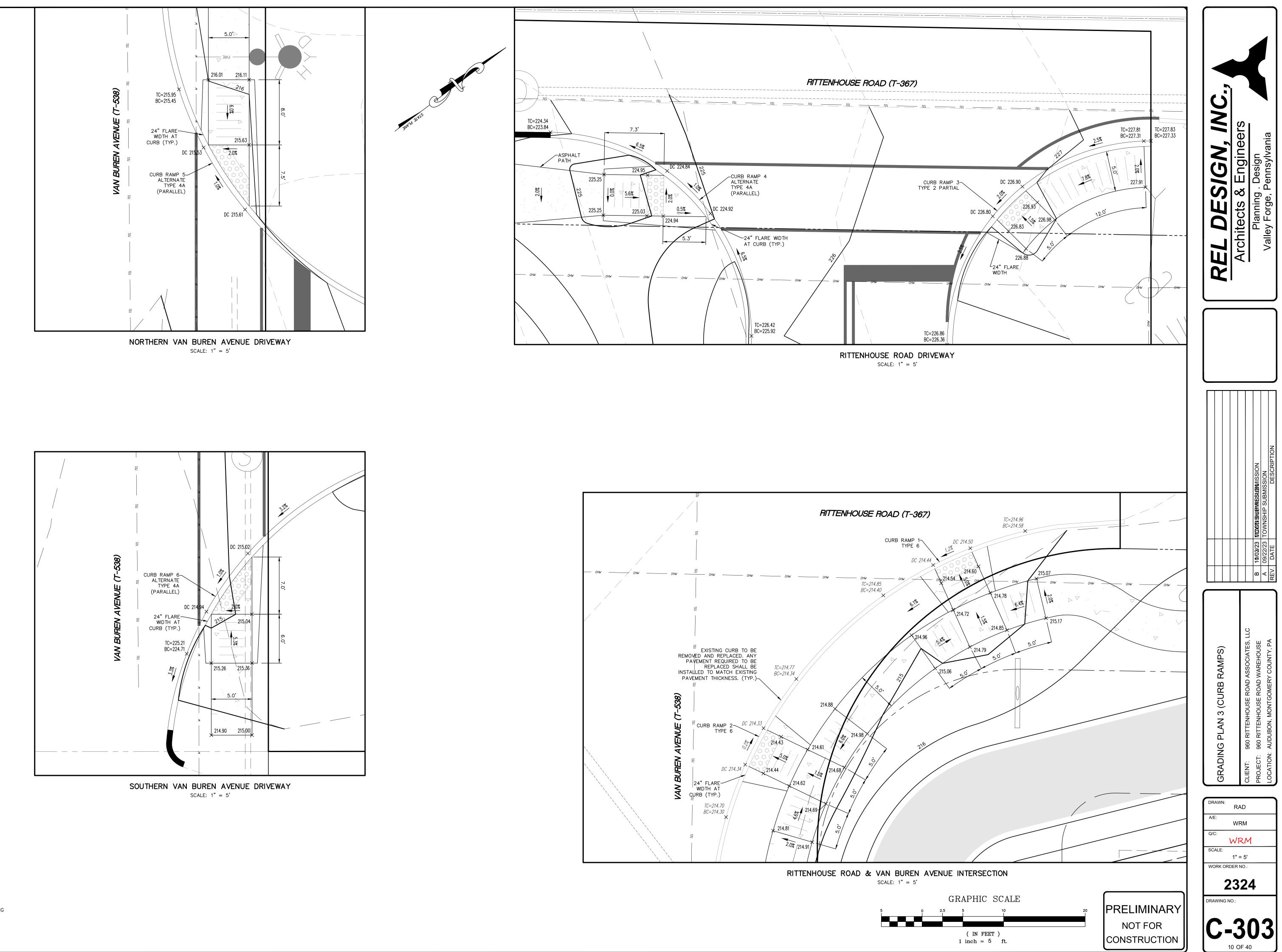




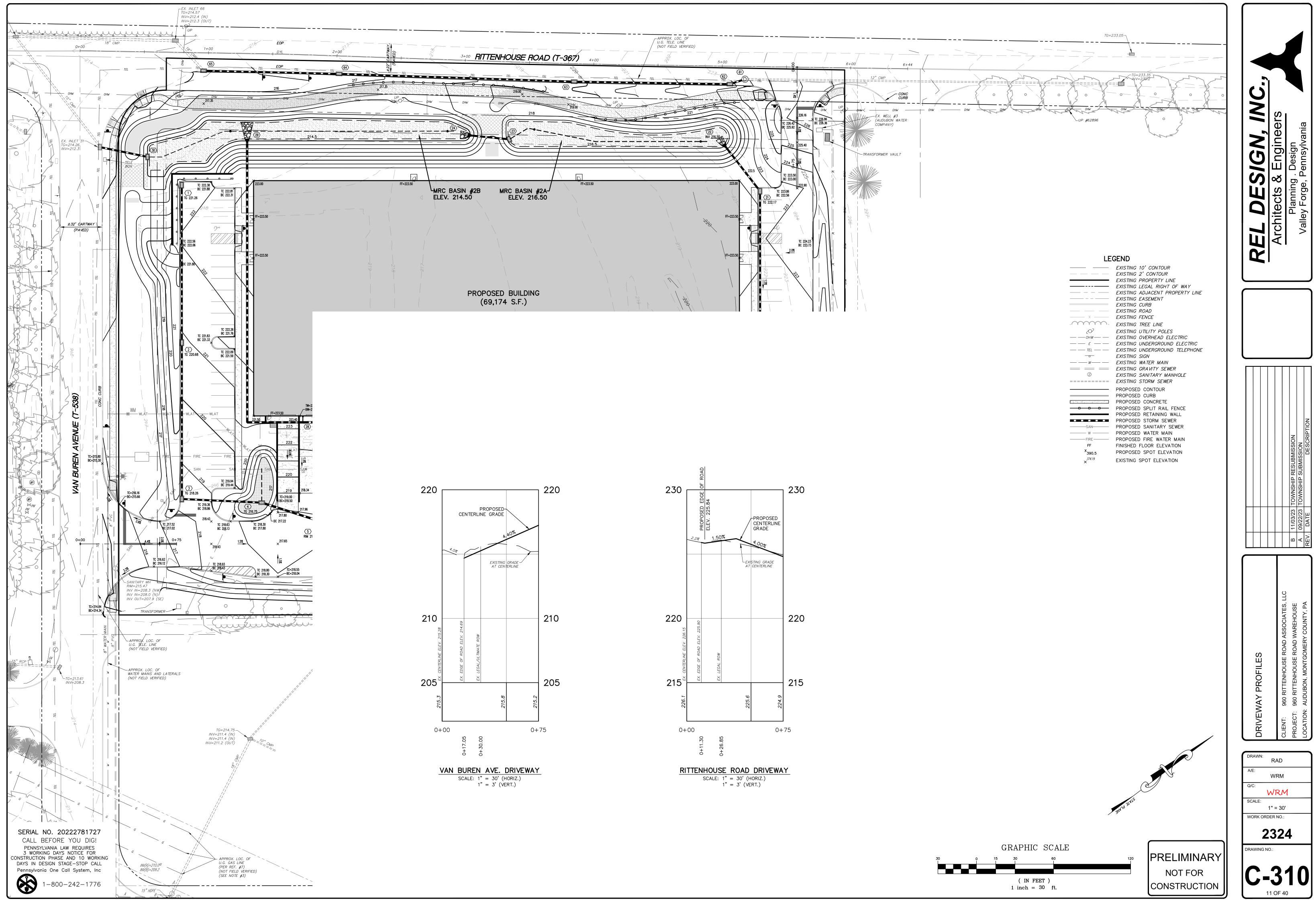






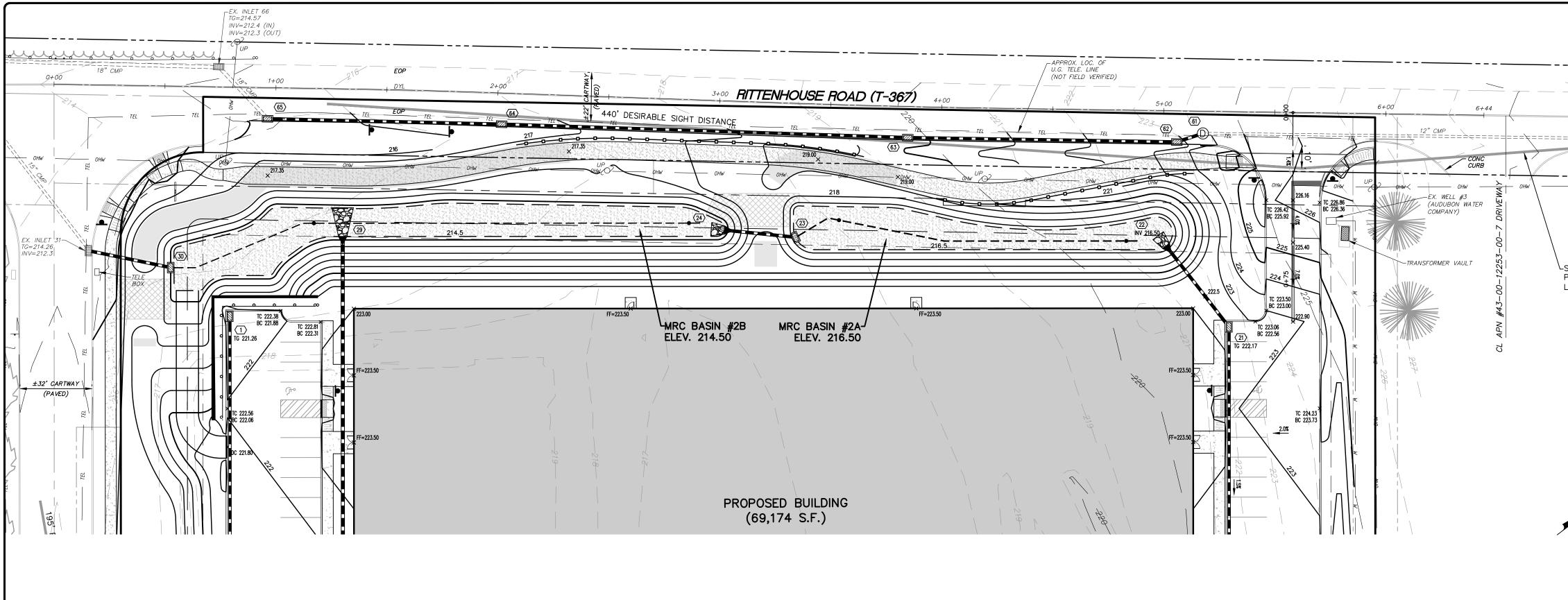


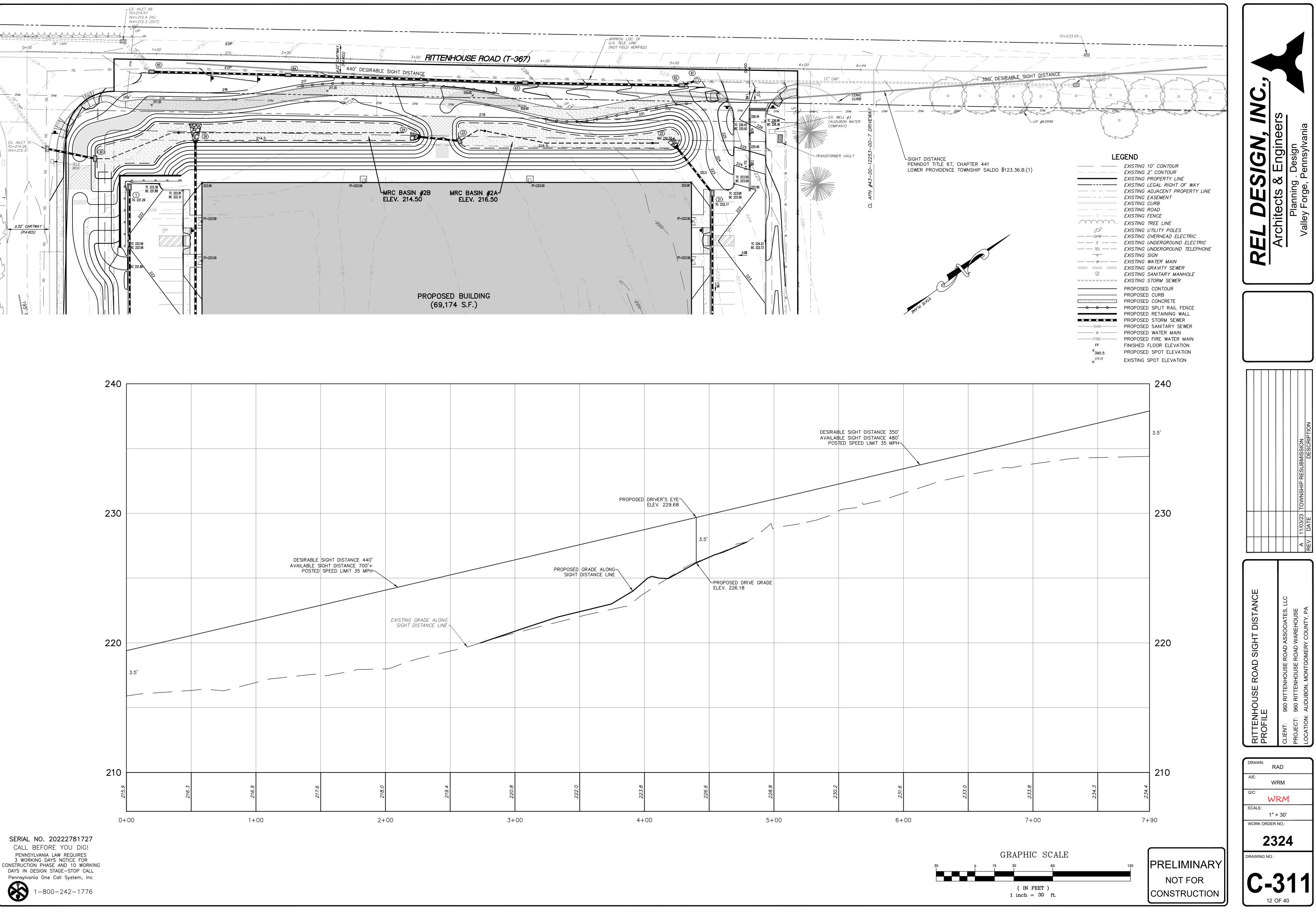
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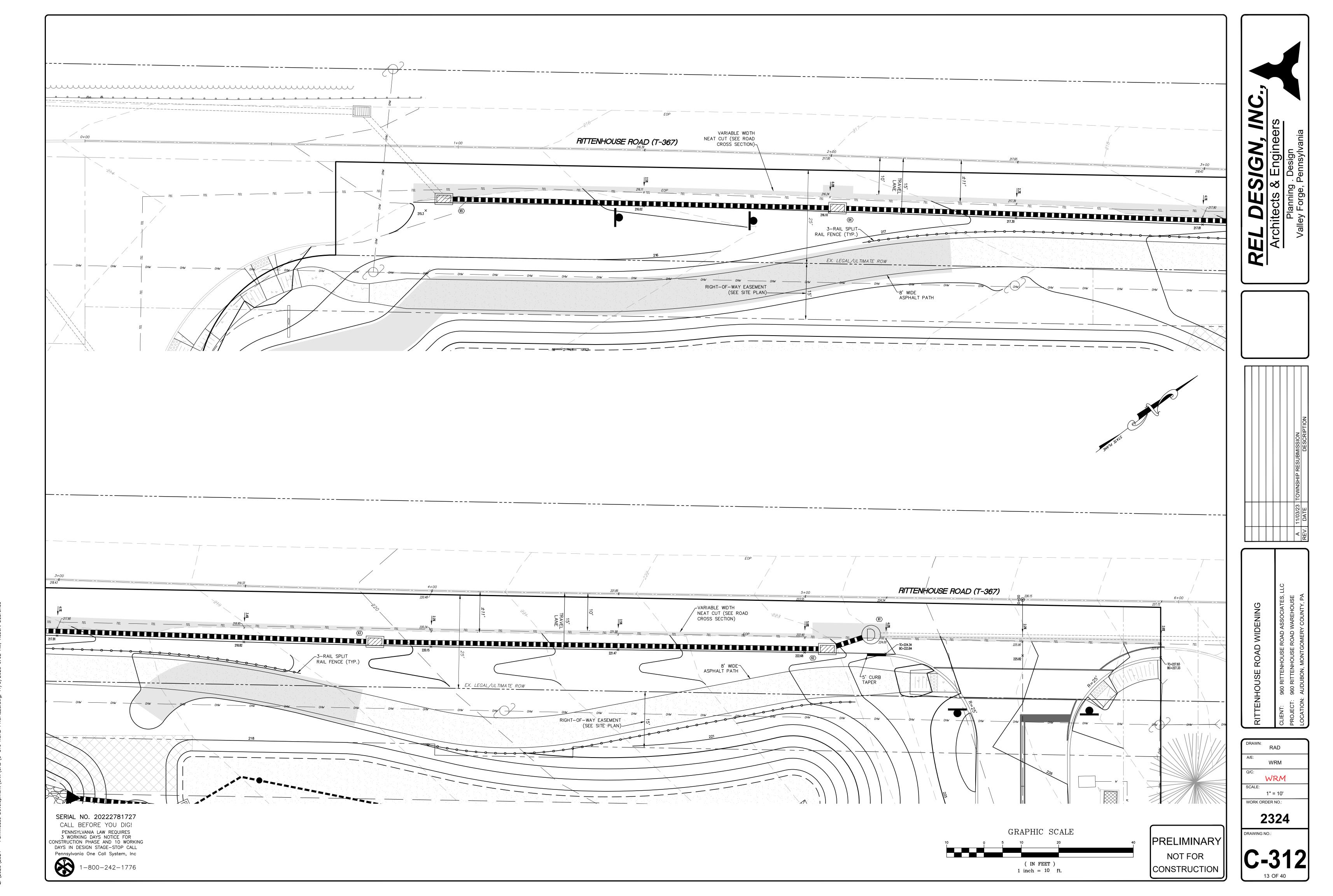


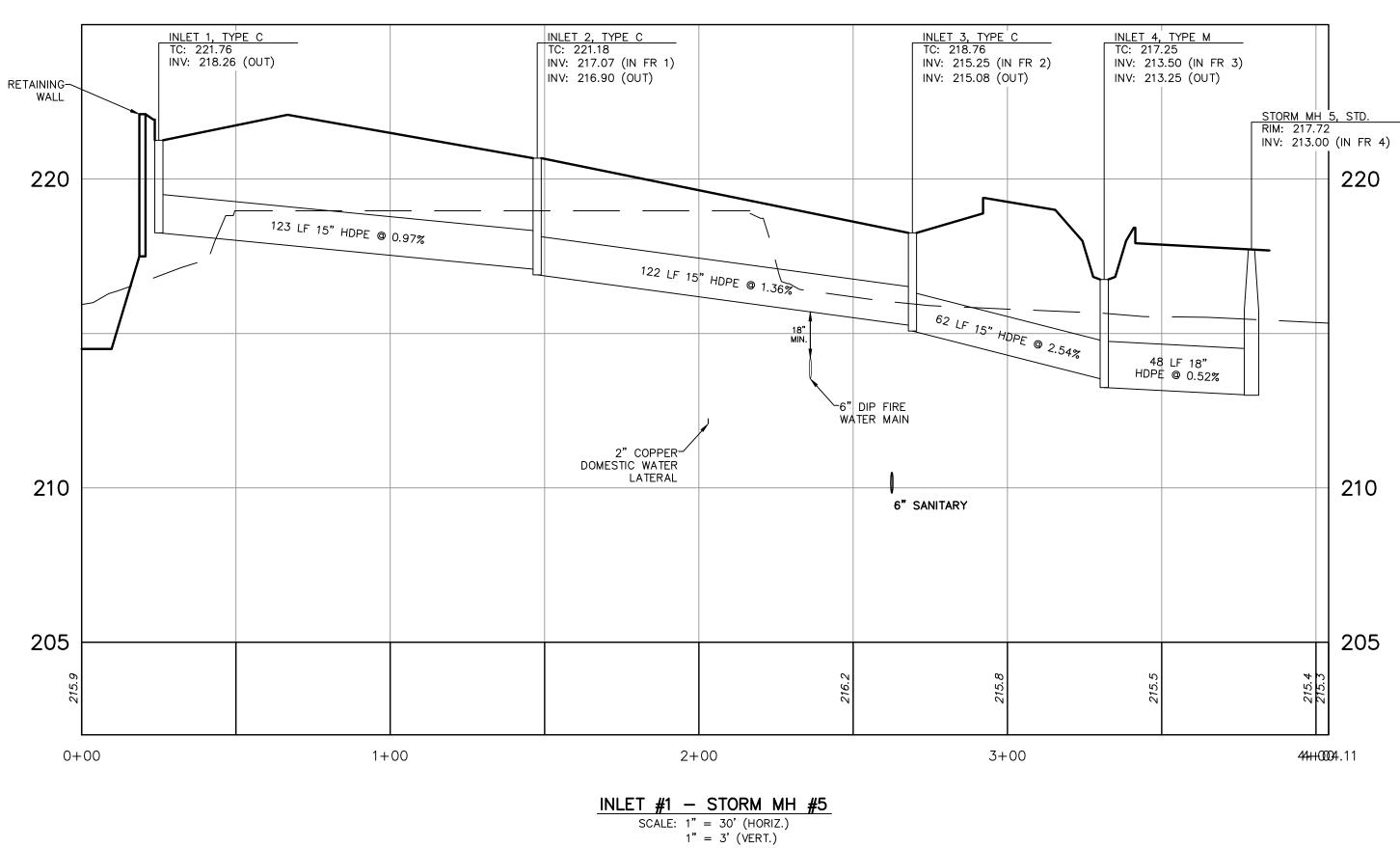
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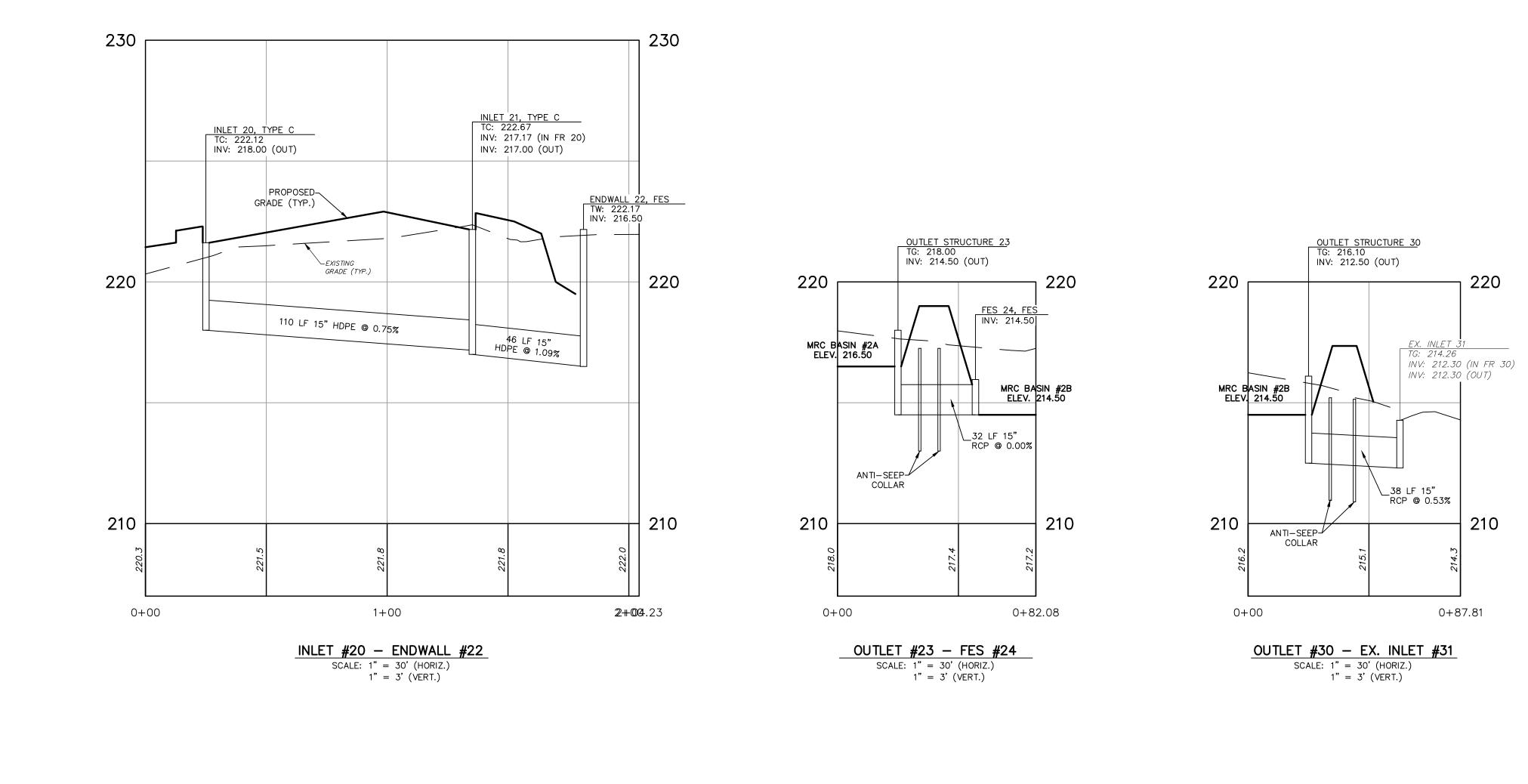
ND
STING 10' CONTOUR STING 2' CONTOUR STING PROPERTY LINE STING LEGAL RIGHT OF WAY STING ADJACENT PROPERTY LIN STING EASEMENT STING CURB STING CORB STING FENCE STING TREE LINE STING TREE LINE STING UTILITY POLES STING UTILITY POLES STING OVERHEAD ELECTRIC STING UNDERGROUND ELECTRIC STING UNDERGROUND TELEPHON STING SIGN STING WATER MAIN STING GRAVITY SEWER
STING SANITARY MANHOLE STING STORM SEWER
DPOSED CONTOUR DPOSED CURB DPOSED CURB DPOSED CONCRETE DPOSED SPLIT RAIL FENCE DPOSED RETAINING WALL DPOSED STORM SEWER DPOSED SANITARY SEWER DPOSED WATER MAIN DPOSED FIRE WATER MAIN ISHED FLOOR ELEVATION DPOSED SPOT ELEVATION



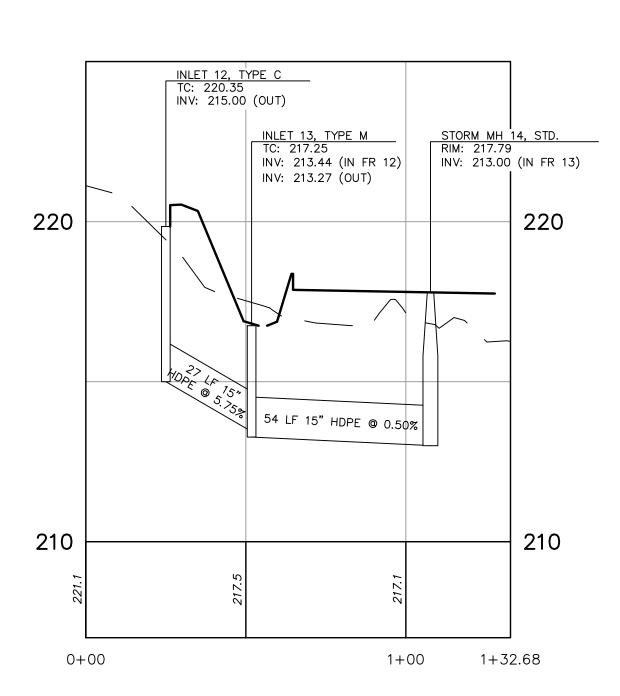








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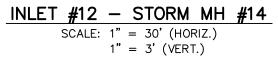


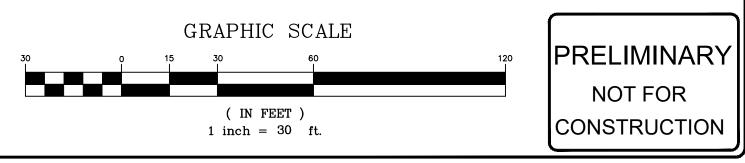


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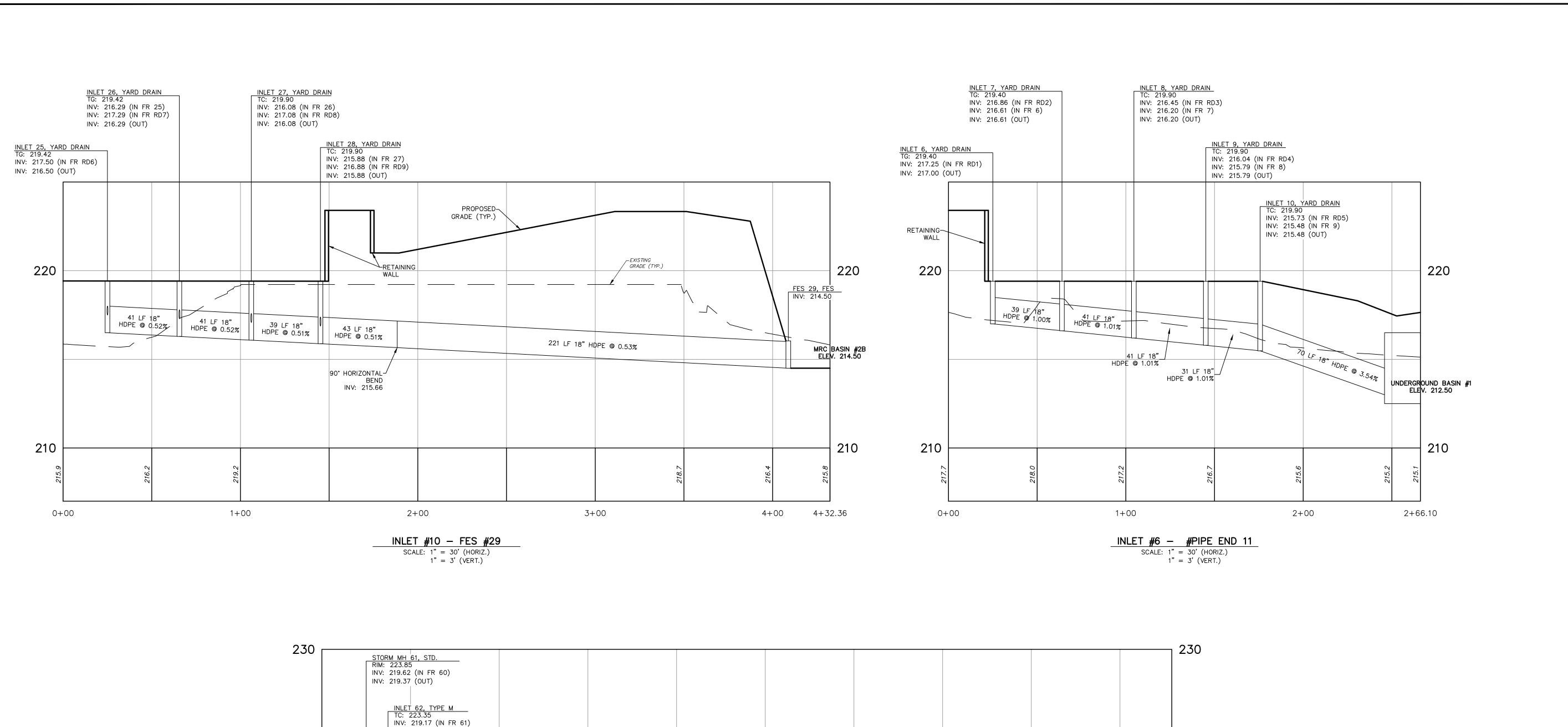
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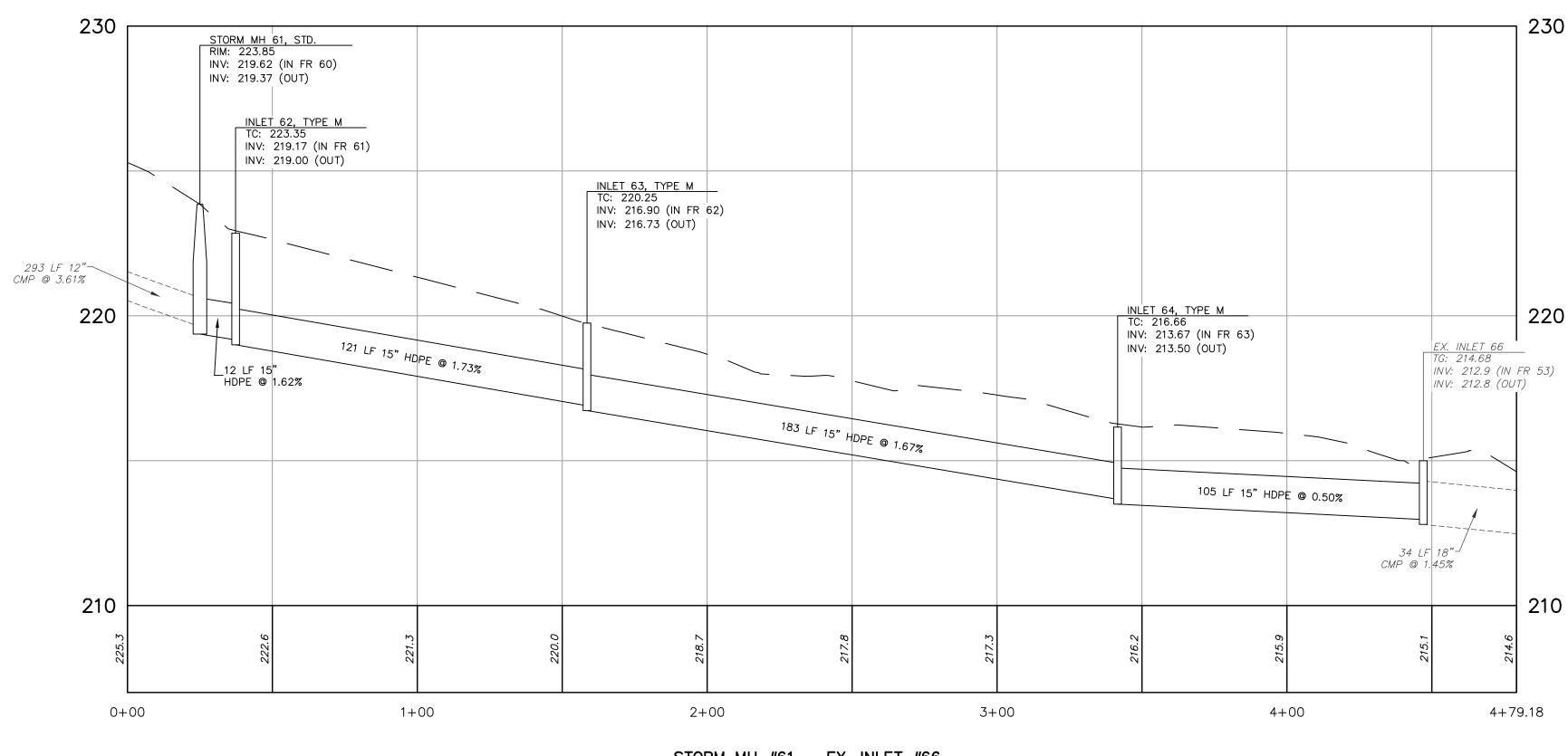
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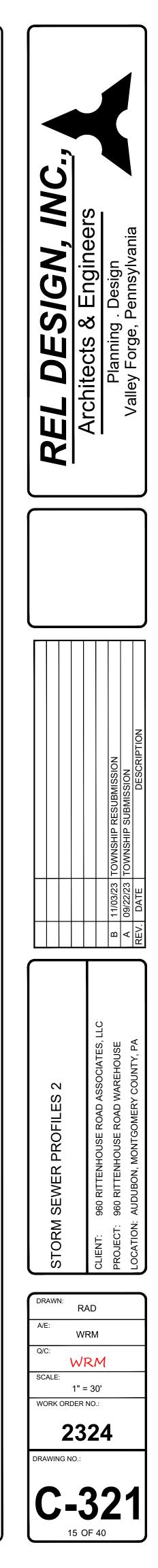
				Architects & Engineers		Planning . Design	Vallav Forda Danevivanja	
ļ						B 11/03/23 TOWNSHIP RESUBMISSION	A 09/22/23 TOWNSHIP SUBMISSION	REV. DATE DESCRIPTION
		STORM SEWER PROFILES 1			CLIENT: 960 RITTENHOUSE ROAD ASSOCIATES, LLC	PROJECT: 960 RITTENHOUSE ROAD WAREHOUSE		LOCATION: AUDUBON, MONTGOMERY COUNTY, PA
	A/E Q/C SC): Ale	W 1" DER	= 3 NO		1 1		

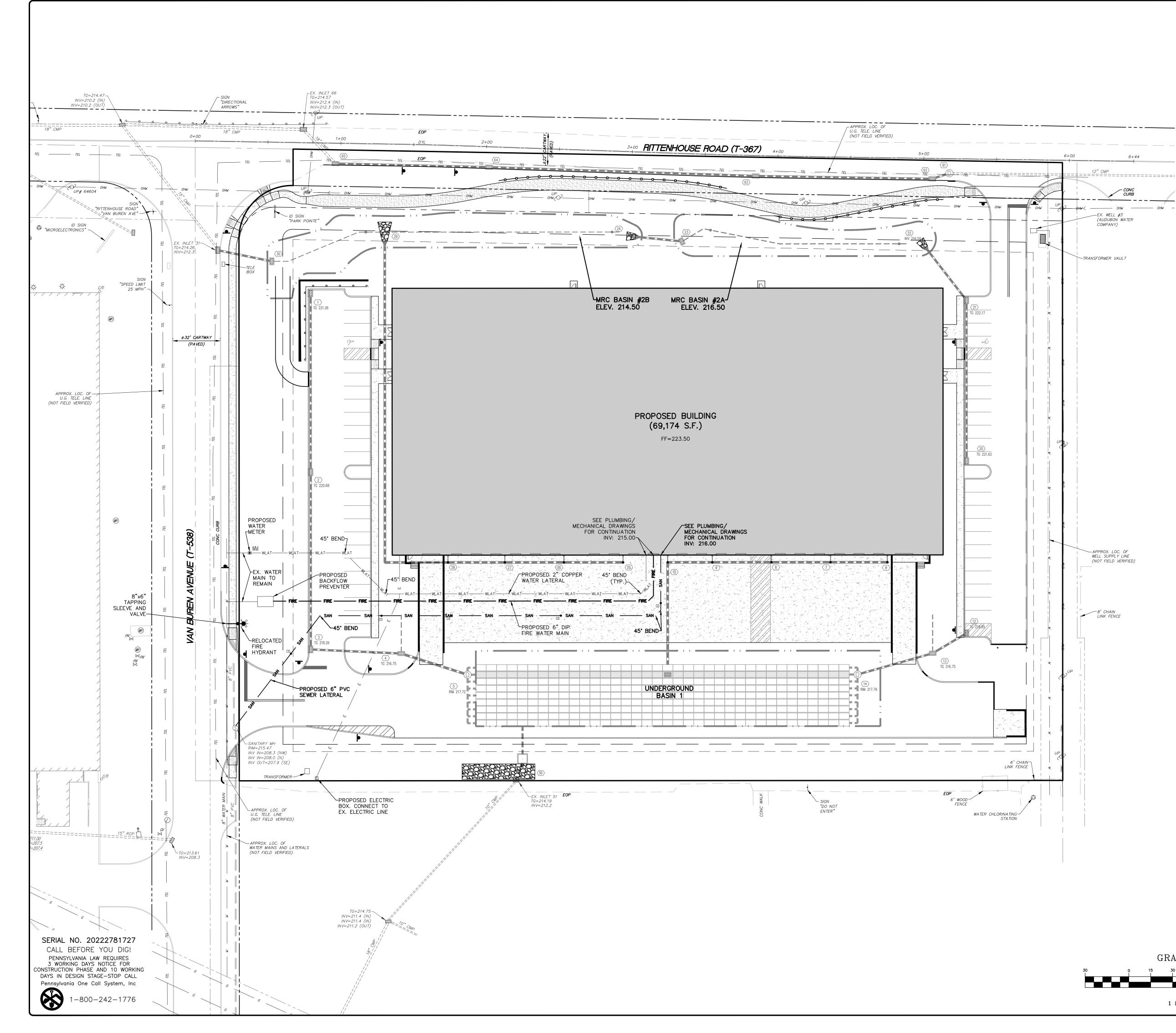




1-800-242-1776 STORM MH #61 - EX. INLET #66 SCALE: 1" = 30' (HORIZ.) 1" = 3' (VERT.)

GRAPHIC SCALE PRELIMINARY NOT FOR (IN FEET) CONSTRUCTION 1 inch = 30 ft.





UTILITY GENERAL NOTES

- 1. ALL EXISTING UNDERGROUND UTILITIES (WATER, ELECTRIC & FIBER) ARE SHOWN AT APPROXIMATE LOCATION AND DEPTHS. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED, BY THE CONTRACTOR, AS TO THEIR LOCATION, SIZE AND TYPE.
- 3. PROVIDE 18" VERTICAL CLEARANCE BETWEEN ALL WATER/SANITARY/STORMWATER UTILITY CROSSINGS. IN THE EVENT THAT THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED AT THE PIPE CROSSINGS, CONCRETE ENCASEMENTS MUST BE PROVIDED. ALL OTHER UTILITY CROSSINGS SHALL PROVIDE 12" VERTICAL CLEARANCE.
- 4. THRUST BLOCKS OR RESTRAINED JOINTS SHALL BE INSTALLED AT ALL DOMESTIC WATER AND FIRE WATER HORIZONTAL AND VERTICAL BENDS.
- 5. ELECTRIC AND FIBER DUCT BANKS ARE SHOWN HEREIN FOR COORDINATION WITH SITE UTILITIES AND GRADING FEATURES ONLY. CONSTRUCTION OF ELECTRIC AND FIBER DUCT BANKS SHALL BE BASED ON THE MOST CURRENT ELECTRICAL PLANS AND DETAILS.
- 6. ALL UTILITY (STORM, WATER, FIRE, SANITARY, ETC) PIPES SHALL HAVE A FLOWABLE FILL TRENCH PLUG AT THE BUILDING FACE. THE TRENCH PLUG SHALL EXTEND AT LEAST 5 FEET FROM THE FACE OF THE BUILDING EXTERIOR.

SANITARY SEWER NOTES

- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATION FOR SANITARY SEWER OF THE LOWER PROVIDENCE TOWNSHIP SEWER AUTHORITY.
- 2. IN ACCORDANCE WITH THIS SECTION 1.02(c) OF THE LOWER PROVIDENCE MATERIAL AND CONSTRUCTION SPECIFICATIÓNS FOR SANITARY SEWER EXTENSION, SHOP DRAWINGS OF THE SANITARY SEWER SYSTEM SHALL BE SUBMITTED TO THE AUTHORITY FOR REVIEW PRIOR TO CONSTRUCTION.
- 3. WHENEVER POSSIBLE, SEWER MAINS SHOULD BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10' A SEWER MAY BE LAID CLOSER THAN 10' TO A WATER MAIN IF: A. IT IS LAID IN A SEPARATE TRENCH.
- B. IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH. C. IN EITHER CASE, THE ELEVATION OF THE TOP (CROWN) OF THE SEWER
- IS AT LEAST 18" BELOW THE BOTTOM (INVERT) OF THE WATER MAIN. 4. THE AUTHORITY'S INSPECTION DEPARTMENT MUST BE NOTIFED AT LEAST 48 HOURS IN ADVANCE THAT INSPECTION IS REQUIRED. NOTIFICATION MAY BE MADE EITHER IN WRITING OR VERBALLY, BUT IN EITHER INSTANCE, NOTIFICATION MUST BE RECEIVED BY THE INSPECTION DEPARTMENT PRIOR
- TO THE SAID 48 HOURS. 5. WHEN A NEW SANITARY LINE IS CONSTRUCTED AND TIED INTO AN ACTIVE MANHOLE, THE NEW LINE WILL BE PLUGGED AND REMAIN PLUGGED UNTIL ALL TESTING HAS BEEN COMPLETED AND APPROVED BY THE AUTHORITY.
- 6. SHOULD ANY CHANGE BE PRECIPITATED FROM FIELD CONDITIONS ENCOUNTERED, OR IF ANY CHANGE FROM THE CONSTRUCTION DRAWINGS IS NECESSARY, A CHANGE ORDER REQUEST MUST BE FILED WITH THE AUTHORITY. THIS CHANGE MAY NOT COMMENCE UNTIL APPROVAL OF THE CHANGE ORDER IS GRANTED.
- 7. AGGREGATE BACKFILL OF ROADWAY TRENCHES WILL BE WAIVED IF PAVING IS PREFORMED MORE THAN 90 DAYS AFTER SEWER INSTALLATION. 8. AS-BUILT RECORD DRAWINGS MUST BE SUBMITTED AND APPROVED
- BEFORE ANY SEWERS ARE ACCEPTED FOR DEDICATION. THE DRAWINGS MUST BE ACCOMPANIED BY A LETTER FROM THE DEVELOPER'S ENGINEER ATTESTING TO THEIR CORRECTNESS.

— APPROX. LOC. OF WELL SUPPLY LINE (NOT FIELD VERIFIED)

6+44

- CONC CURB

_____ OHW

(AUDUBON WATER

-EX. WELL #3

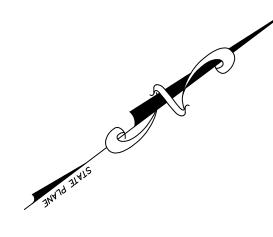
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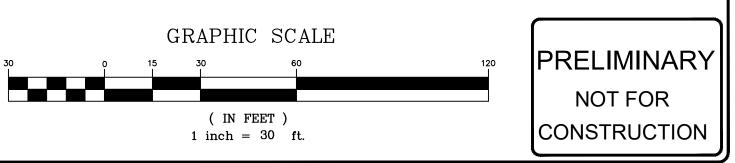
- OHW

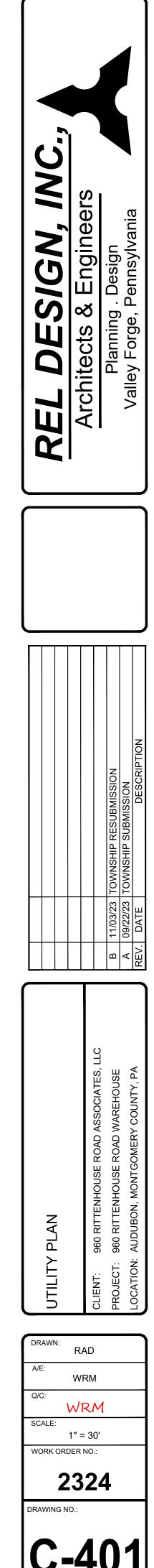
──8' CHAIN LINK FENCE

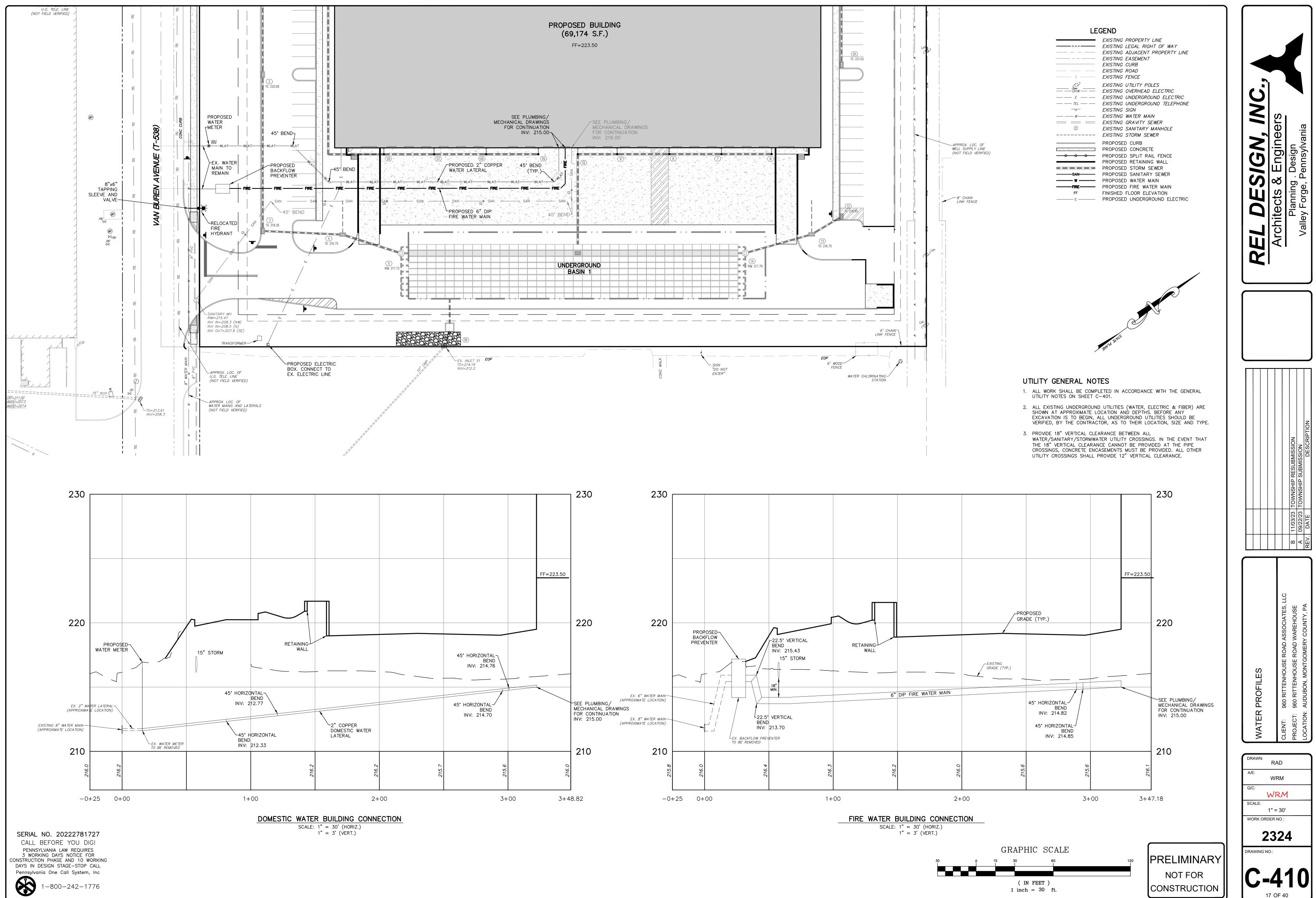
LEGEND

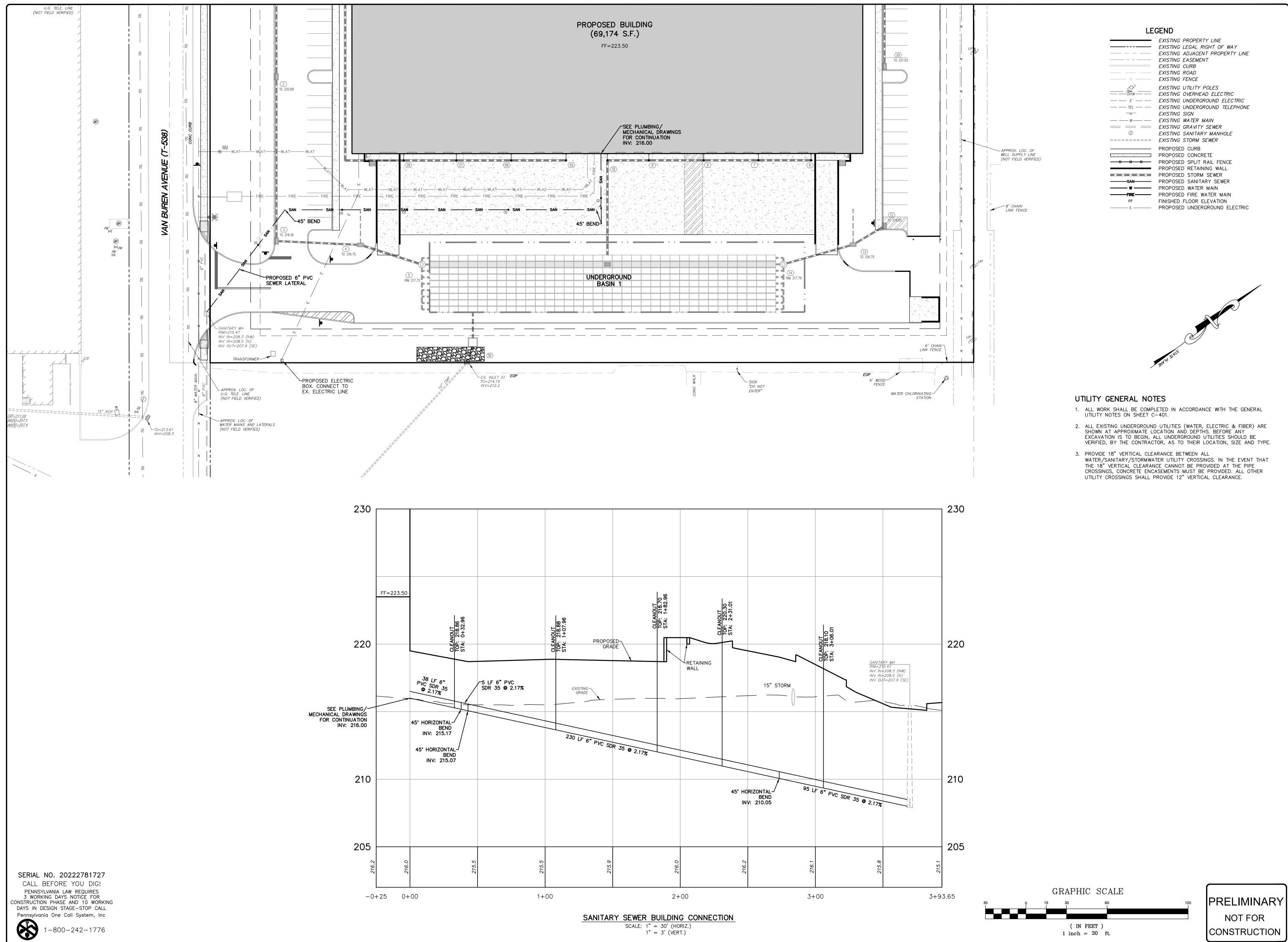
	EXISTING PROPERTY LINE EXISTING LEGAL RIGHT OF WAY EXISTING ADJACENT PROPERTY LINE EXISTING EASEMENT EXISTING CURB EXISTING ROAD
X	EXISTING FENCE
C COMW E TEL W = W S	EXISTING UTILITY POLES EXISTING OVERHEAD ELECTRIC EXISTING UNDERGROUND ELECTRIC EXISTING UNDERGROUND TELEPHONE EXISTING SIGN EXISTING WATER MAIN EXISTING GRAVITY SEWER EXISTING SANITARY MANHOLE EXISTING STORM SEWER
SAN 	PROPOSED CURB PROPOSED CONCRETE PROPOSED SPLIT RAIL FENCE PROPOSED RETAINING WALL PROPOSED STORM SEWER PROPOSED SANITARY SEWER PROPOSED WATER MAIN PROPOSED FIRE WATER MAIN FINISHED FLOOR ELEVATION PROPOSED UNDERGROUND ELECTRIC







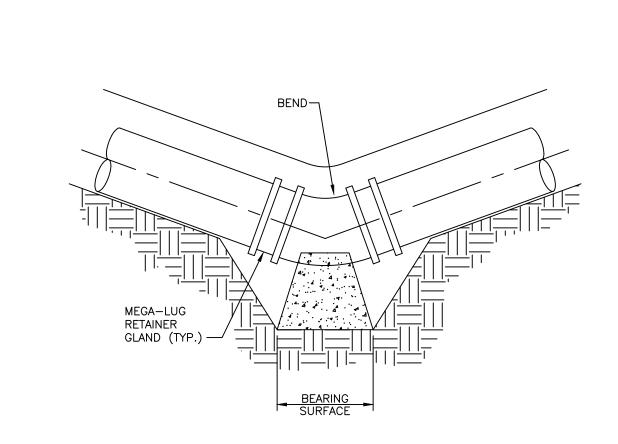




LE	GEND
	EXISTING PROPERTY LINE
	EXISTING LEGAL RIGHT OF WAY
	EXISTING ADJACENT PROPERTY LINE
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 	EXISTING UTILITY POLES
OHW	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
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— — <i>W</i> —— —	EXISTING WATER MAIN
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========	EXISTING STORM SEWER
	PROPOSED CURB
, 김 씨는 것을 알았는 것이.	PROPOSED CONCRETE
	PROPOSED SPLIT RAIL FENCE
	PROPOSED RETAINING WALL
	PROPOSED STORM SEWER
SAN	PROPOSED SANITARY SEWER
— w ——	PROPOSED WATER MAIN
FIRE	PROPOSED FIRE WATER MAIN
FF	FINISHED FLOOR ELEVATION
——— E ———	PROPOSED UNDERGROUND ELECTRIC

			Architects & Engineers		Planning . Design	Valley Forde Danneylyania	
					B 11/03/23 TOWNSHIP RESUBMISSION	A 09/22/23 TOWNSHIP SUBMISSION	REV. DATE DESCRIPTION
	SANITARY SEWFR PROFILES			CLIENT: 960 RITTENHOUSE ROAD ASSOCIATES, LLC	PROJECT: 960 RITTENHOUSE ROAD WAREHOUSE		LOCATION: AUDUBON, MONTGOMERY COUNTY, PA

	
DRAWN:	RAD
A/E:	WRM
Q/C:	WRM
SCALE:	
	1" = 30'
WORK OF	RDER NO.:
	2324
DRAWING	NO.:
С.	-420



NOTES:

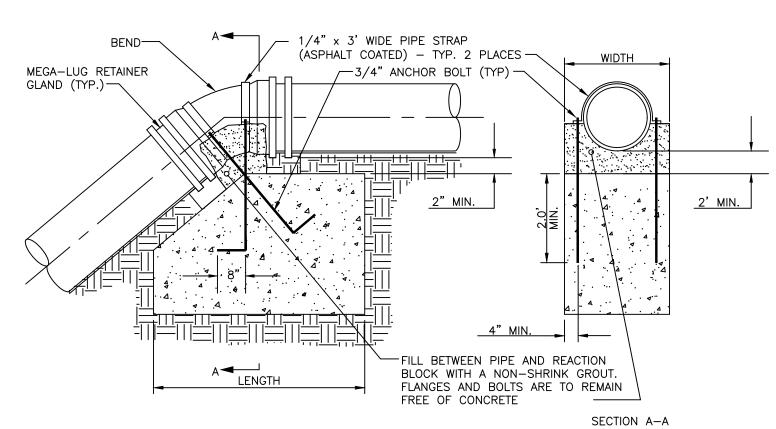
1. ALL CONCRETE SHALL BE PENNDOT CLASS A

2. ALL FITTINGS AND JOINTS SHALL BE COVERED WITH PLASTIC BEFORE PLACING CONCRETE. 3. PROVIDE MEGA-LUG RETAINER GLAND AT ALL JOINTS. RE CLASS 350 COMPACT DUCTILE IDON WITH MECHANICAL 4.

ALL	FITTINGS	SHALL	BE	CLASS	350	COMF	PACT	DUCT	ILE I	IRON	WITH	МЕСНА	NICAL	JOINTS.
			Н	ORIZONT	-						-	SQ. FT. THRUST	DOWN	WARD

				1	50 P.	S.I. T	EST P	RESSL	JRE							
PIPE SIZE	6" & 8"					10" & 12"			16" 18" 20"				24"			
TYPE OF BEARING MATERIAL						DEGR	EE OF	BEND	O OR	DEFLE	CTION					
AND ALLOWABLE LOADS	22.5°	45 °	90°	D.E.	22.5°	45°	90°	D.E.	22.5°	45°	90°	D.E.	22.5°	45°	90°	D.E.
SAND 0.75 TON/SQ.FT.	3.4	6.0	11.0	6.4	6.7	12.8	23.4	14.2	14.8	28.8	52.9	34.4	26.1	48.3	89.7	64.0
SOFT CLAY 1 TON/SQ.FT.	2.6	4.6	8.2	4.8	5.0	9.6	17.5	10.7	11.2	21.7	39.7	28.2	19.6	36.3	67.3	48.0
SAND & GRAVEL 2 TON/SQ.FT.	1.3	2.3	4.1	2.4	2.5	4.8	8.8	5.3	5.6	10.8	20.0	14.1	9.8	13.1	33.6	24.0
CLAY 4 TON/SQ.FT.	1.0	1.2	2.1	1.3	1.3	2.4	4.4	2.7	2.8	5.4	10.0	7.2	4.9	9.1	16.8	12.0
SOFT ROCK 5 TON/SQ.FT.	1.0	1.0	1.6	1.0	1.0	1.9	3.5	2.2	1.6	4.4	8.0	5.7	3.9	7.3	13.5	9.6
ROCK 15 TON/SQ.FT.	-	_	1.0	0.4	-	1.0	1.2	0.8	1.0	1.4	2.6	1.9	1.3	2.4	4.5	3.2

TYPICAL SECTION VERTICAL THRUST DOWNWARD (NOT TO SCALE)

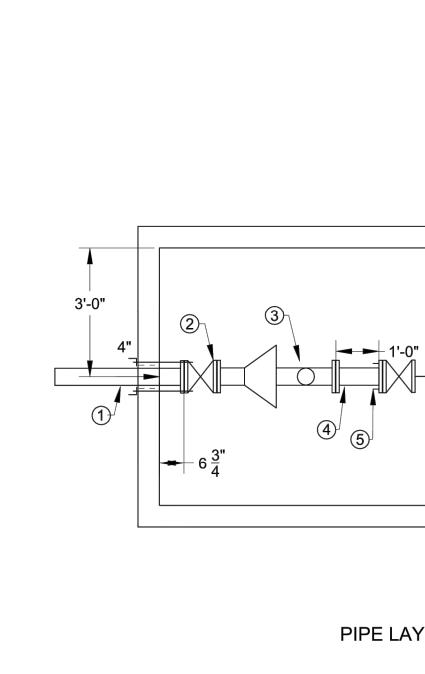


NOTES: 1. ALL CONCRETE SHALL BE PENNDOT CLASS A. 2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS U-SHAPED AROUND PIPE.

- 3. ALL FITTINGS AND JOINTS SHALL BE COVERED WITH POLYETHELENE FILM BEFORE PLACING CONCRETE.
- 4. PAINT ALL EXPOSED STEEL WITH TWO COATS OF VALDURA PAINT OR APPROVED EQUAL. 5. ALL FITTINGS SHALL BE CLASS 350 COMPACT DUCTILE IRON
- WITH MECHANICAL JOINTS. CONCRETE BLOCKING DIMENSIONS, VERTICAL THRUST

UPWARD – 150 P.S.I. TEST PRESSURE												
PIPE LENGTH					WIDTH			DEPTH				
SIZES	11.25*	22.25 *	45 °	11.25*	22.25*	45 °	11.25*	22.25 *	45 °			
6"&8"	3'	4'	6'	3'	4'	6'	3'	4'	6'			
10"& 12"	3.5'	4'	7'	3.5'	4'	7'	3.5'	4'	7'			
14"& 16"	4'	6'	9'	4'	6'	9'	4'	6'	9'			
18"& 20"	5'	6.5'	11.5'	5'	6.5'	11.5'	5'	6.5'	11.5'			
24"	5'	9'	12.5'	5'	9'	12.5'	5'	9'	12.5'			

TYPICAL SECTION VERTICAL THRUST UPWARD (NOT TO SCALE)

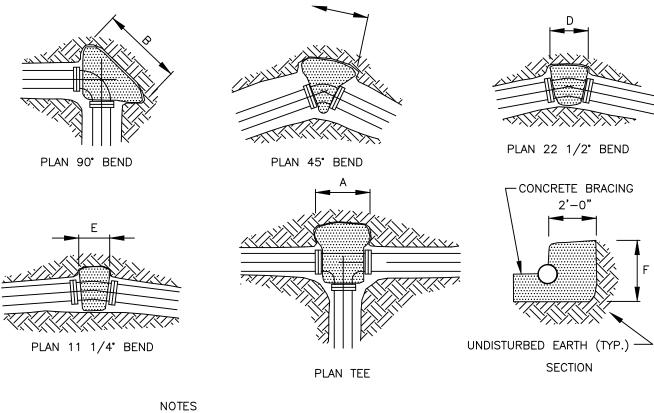


APPROVED FOR PRODUCTION BY:_

SERIAL NO. 20222781727 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc



-800-242-1776



1. PROVIDE PLASTIC COVERING TO PROTECT PIPE JOINTS FROM

CONCRETE. 2. ALL CONCRETE SHALL BE PENNDOT CLASS A.

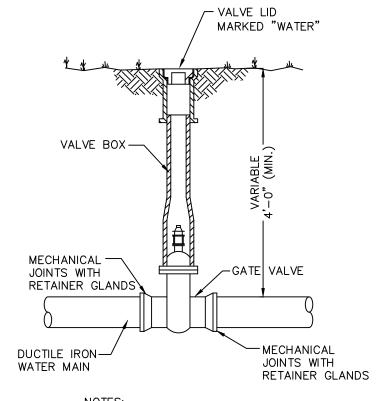
3. USE 150 PSI TEST PRESSURE UNLESS DIRECTED OTHERWISE BY THE AUTHORITY.

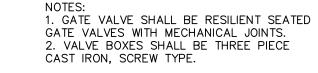
4. PROVIDE MEGA-LUG RETAINER GLAND AT ALL JOINTS. 5. ALL FITTINGS SHALL BE CLASS 350 COMPACT DUCTILE

IRON WITH MECHANICAL JOINTS.

TEST	PIPE	F	REACTIO	N BACK		IENSION	١S
PRESSURE	DIAMETER	A	В	С	D	Е	F
150 PSI	16	5'-6"	7'-9"		2'-2"		3'-4"
	12	4'-2"	5'–11	"3'–3"	1'-8"		2'-6"
	8	3'-0"	4'-3"	2'-4"	1'-2"	—	1'–8"
	6	2'-2"	3'-4"	1'–10	"0'-11	" —	1'-3"
200 PSI	16	7'-3"	10'-3	"5'–7"	2'-10	"1'–6"	3'-4"
	12	5'-7"	7'–11	"4'–3"	2'-2"	1'-2"	2'-6"
	8	4'-0"	5'-7"	3'-1"	1'-7"	0'–10	
	6	3'-1"	4'-5"	2'-5"	1'-3"	0'-8"	
250 PSI	16	9'–3"	13'-2	"7'-1"	3'-6"	2'-3"	3'-4"
	12	6'-4"	8'–11	"5'-4"	3'-5"	1'-9"	2'-6"
	8	5'-0"	6'–11	" 3'—10	"1'—11	"1'–3"	
	6	3'-10	"5'-6"	3'-9"	1'-10	"1'—1"	1'-3"

REACTION BACKING (NOT TO SCALE)



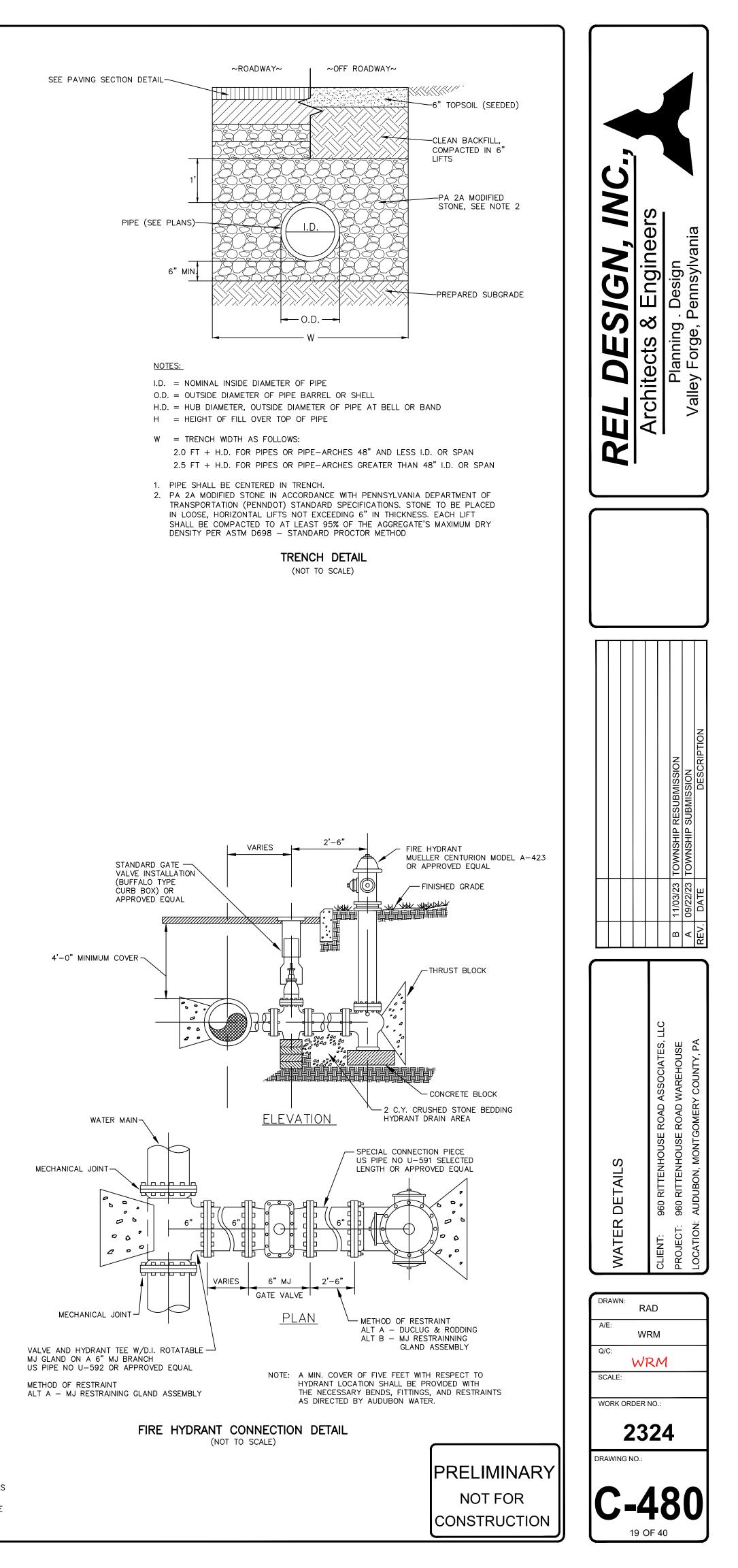


GATE VALVE AND VALVE BOX DETAIL (NOT TO SCALE)

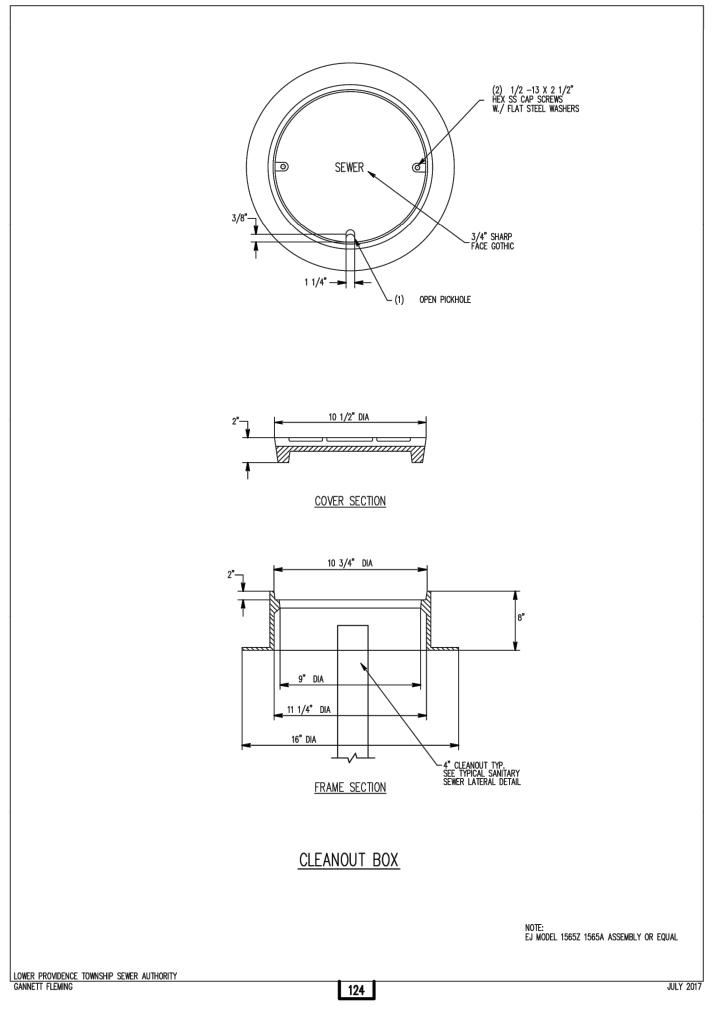
YOUT FAB-CRETE, INC. SIZE & DESCRIPTION: 4" FIRE METER PIT W/ FDG CUSTOMER: OLIVER SPRINKLER JOB NAME: JOB NAME: 955 MADISON AVE WATER AUTHORITY: AUDUBON QTY: CU. YDS: WEIGH 1200 DRAWING DATE: D. EDDINGER SALES ORDER NUMBER: SALES							
1 2 4* DIP FLGAPE 3-0* 2 1 4* OSAY GATE VALVE 3 1 4* DIP FLGAPE 1-0* 5 1 4* FLG COUPLING ADAPTER 6 1 4* VILOS SSODA DCDA WITH METER W/ 4-WHEEL RED IN 1000 GAL INC 7 1 4* FLG COUPLING ADAPTER 8 1 4* KENNEDDY 806 WAFER CHECK 9 1 17* BALL DRIP 10 1 5*4* STORZ FDC 11 1 5*4* STORZ FDC 10 1 5*4* STORZ FDC 11 1 1 12 3 4* S-89 PIPE STAND (3 REQ) Image: Stand St				LEG	GEND		
2 1 4* OSAY GATE VALVE 3 1 4* SENSUS P2 METER W/ 4-WHEEL REG IN 1000 GAL IN 4 1 4* PLG COUPLING ADAPTER 6 1 4* VILKINS 300A DCDA WITH METER W/ 4-WHEEL RED IN 1000 GAL INC 7 1 4* PLG COUPLING ADAPTER 6 1 4* WILKINS 300DA DCDA WITH METER W/ 4-WHEEL RED IN 1000 GAL INC 7 1 4* PLG TEE 8 1 4* KENNEDY 960 WAFER CHECK 9 1 10* SA* STORZ FDC 3 4* S-89 PIPE STAND (3 REQ)		ITEM	QTY		NAME		
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3 1 4" SENSUS F2 METER W/ 4-WHEEL REG IN 1000 GAL IN 4 1 4" DIP PLGXPE 1'-0" 5 1 4" FLG COUPLING ADAPTER 6 1 4" VILKINS SOGA OCDA WITH METER W/ 4-WHEEL RED IN 1000 GAL INCE 7 1 4" FLG TEE 8 1 4" KENNEDY 806 WAFER CHECK 9 1 11" Call LDRIP 10 1 5"-4" STORZ FDC 3 4" SB9 PIPE STAND (3 REQ) Image: State St	ľ						
4 1 4" DIP FLGXPE 1-0" 5 1 4" PLG COUPLING ADAPTER 6 1 4" PLG TEE 7 1 4" FLG TEE 8 1 4" KENNEDY 806 WAFER CHECK 9 1 12" SAUL DRIP 10 1 5" SAW" STORZ FDC 3 4" S-89 PIPE STAND (3 REQ) Image: State Sta	-				N/ 4-WHEEI	L REG IN 1000	GAL INCR
5 1 4" FLG COUPLING ADAPTER 6 1 4" WILKINS 300A DCDA WITH METER W/ 4-WHELE RED IN 1000 GAL INCE 7 1 4" FLG TEE 8 1 4" KENNEDY 806 WAFER CHECK 9 1 1/2" BALL DRIP 10 1 5"x4" STORZ FDC 10 1 5"x4" STORZ FDC 11 3 4" S-89 PIPE STAND (3 REQ)	-						
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10 1 5"X4" STORZ FDC 3 4" S-89 PIPE STAND (3 REQ) Image: Straight of the strai	-				N UNEUK		
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YOUT FAB-CRETE, INC. SIZE & DESCRIPTION: 4" FIRE METER PIT W/ FDG CUSTOMER: OLIVER SPRINKLER JOB NAME: 955 MADISON AVE WATER AUTHORITY: AUDUBON QTY: CU. YDS: WEIGH 1200 DRAWIN BY: D. EDDINGER SALES ORDER NUMBER: SALES ORDER NUMBER)			<u>TOP OF</u> PI	SHIPPED LOOSE FOR INSTALL BY OTHERS
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DRAWN BY: DRAWING DATE: D. EDDINGER 11/2 PART NUMBER: SALES ORDER NUMBER: SHEET					CO. 10S:		1200 LBS
DATE: PART NUMBER: SALES ORDER NUMBER: SHEET:							11/23/21
	DATE:			PART NUMBER:	SALES ORDE	ER NUMBER:	SHEET: 004
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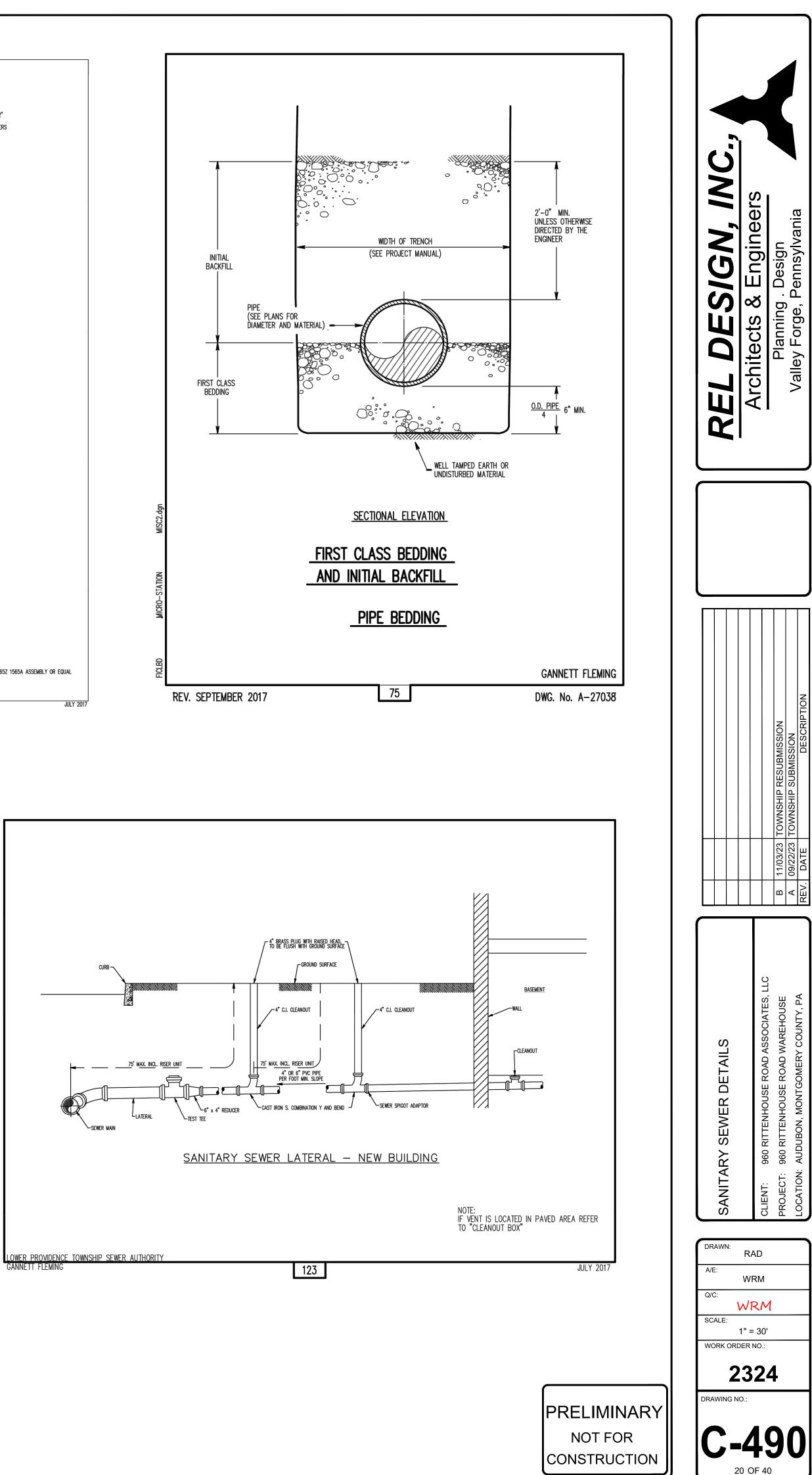
WATER NOTES

- 1. ALL WATERLINES AND APPURTENANCES SHALL CONFORM TO THE DETAILS AND SPECIFICATION OF THE AUDUBON WATER COMPANY.
- 2. FIRE LINE COMPONENTS SHALL MATCH FIRE LINE SIZE SPECIFIED ON THE PLAN.

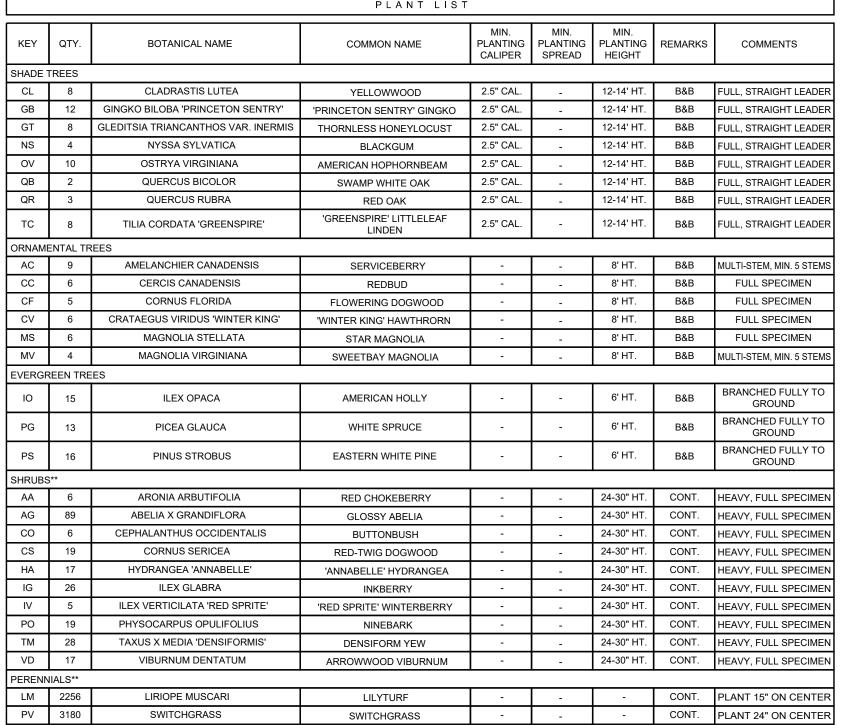


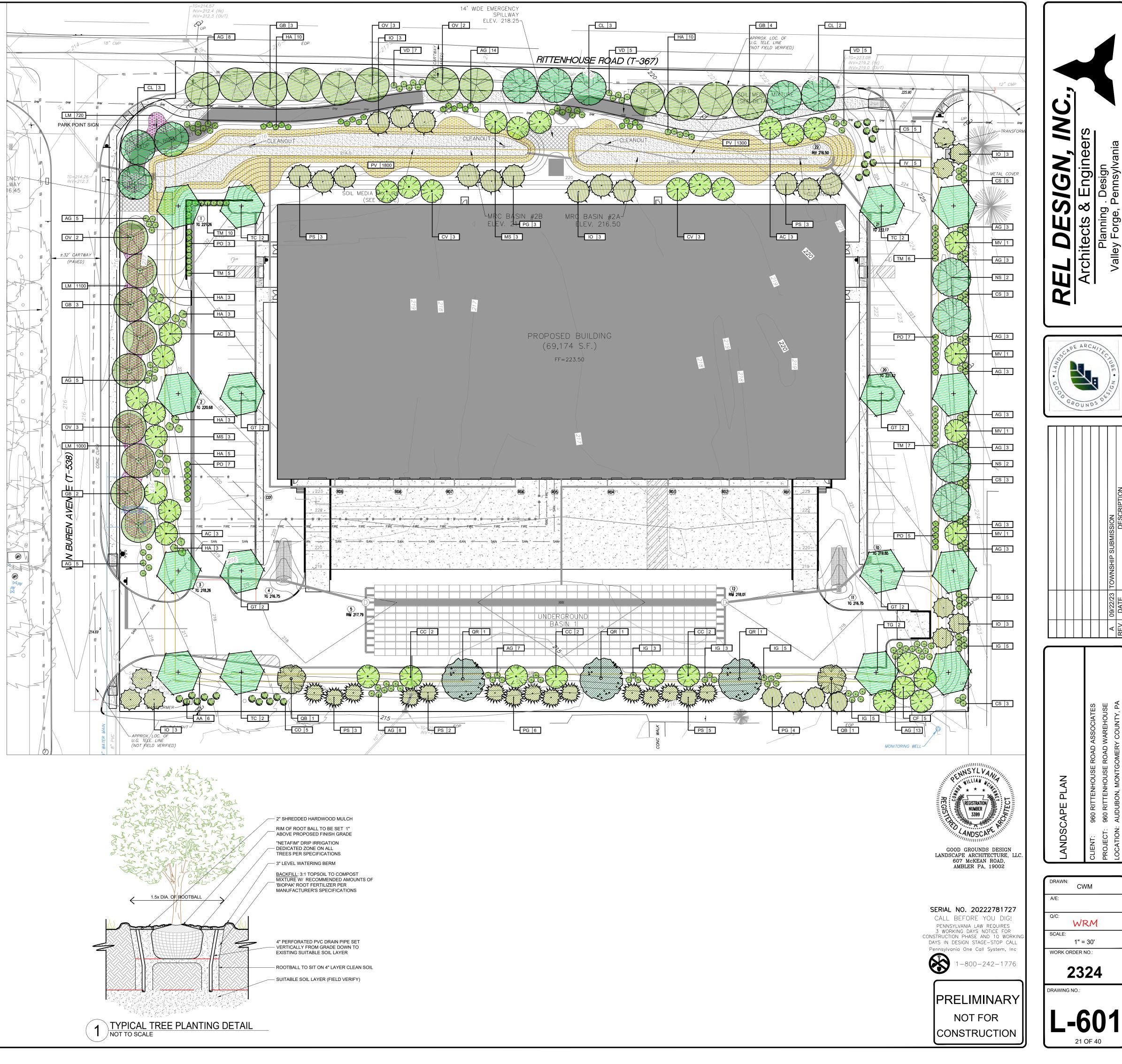
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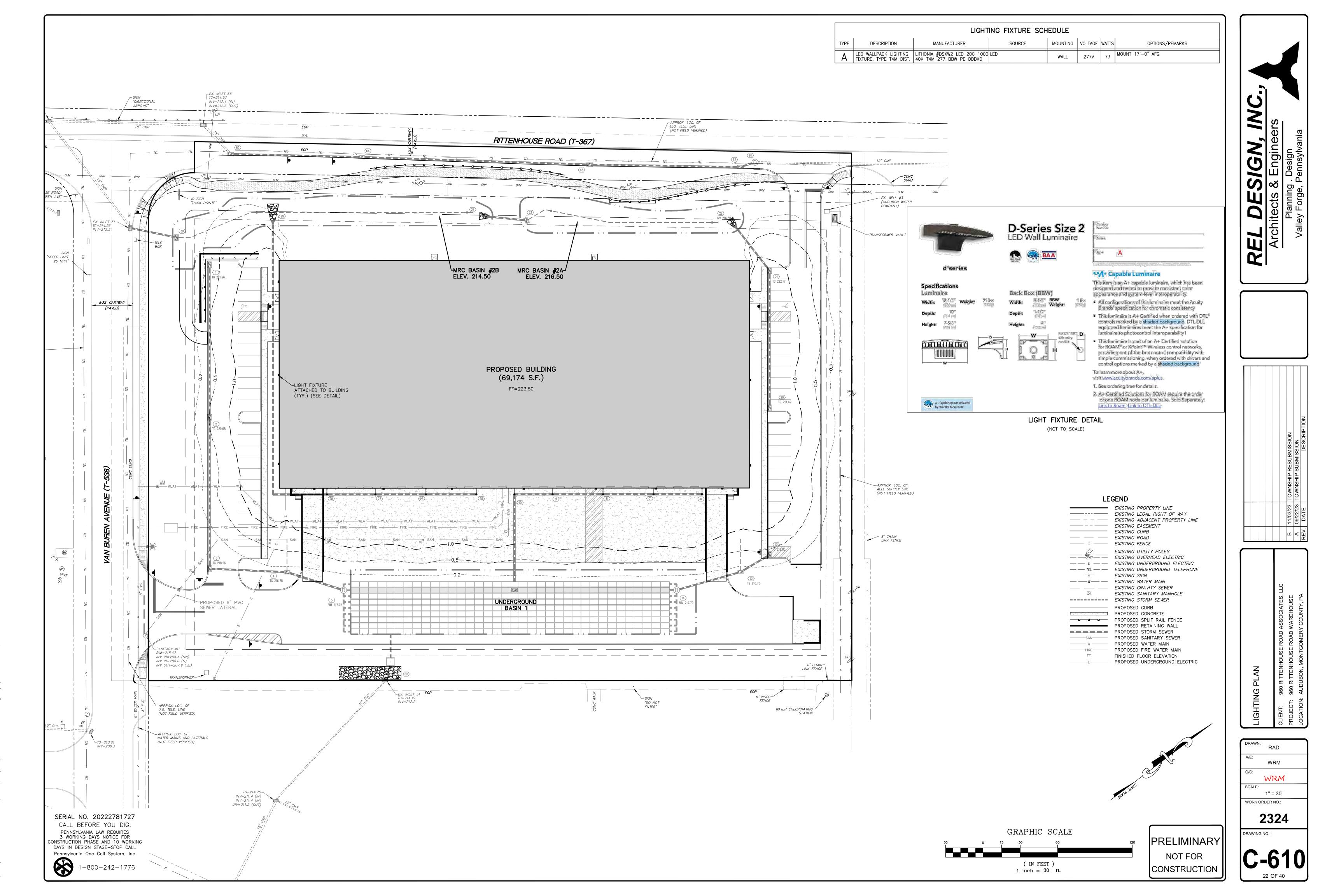


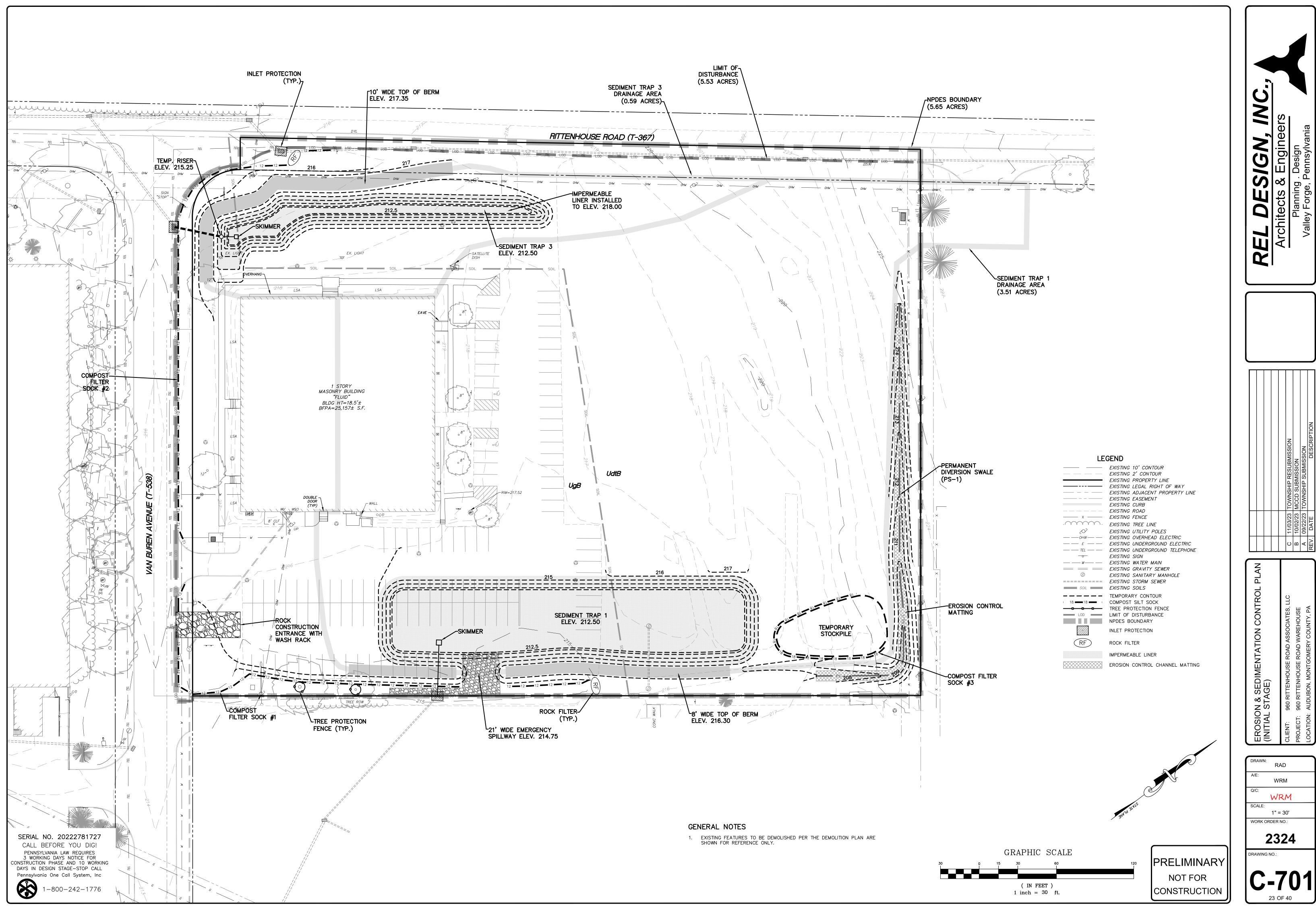


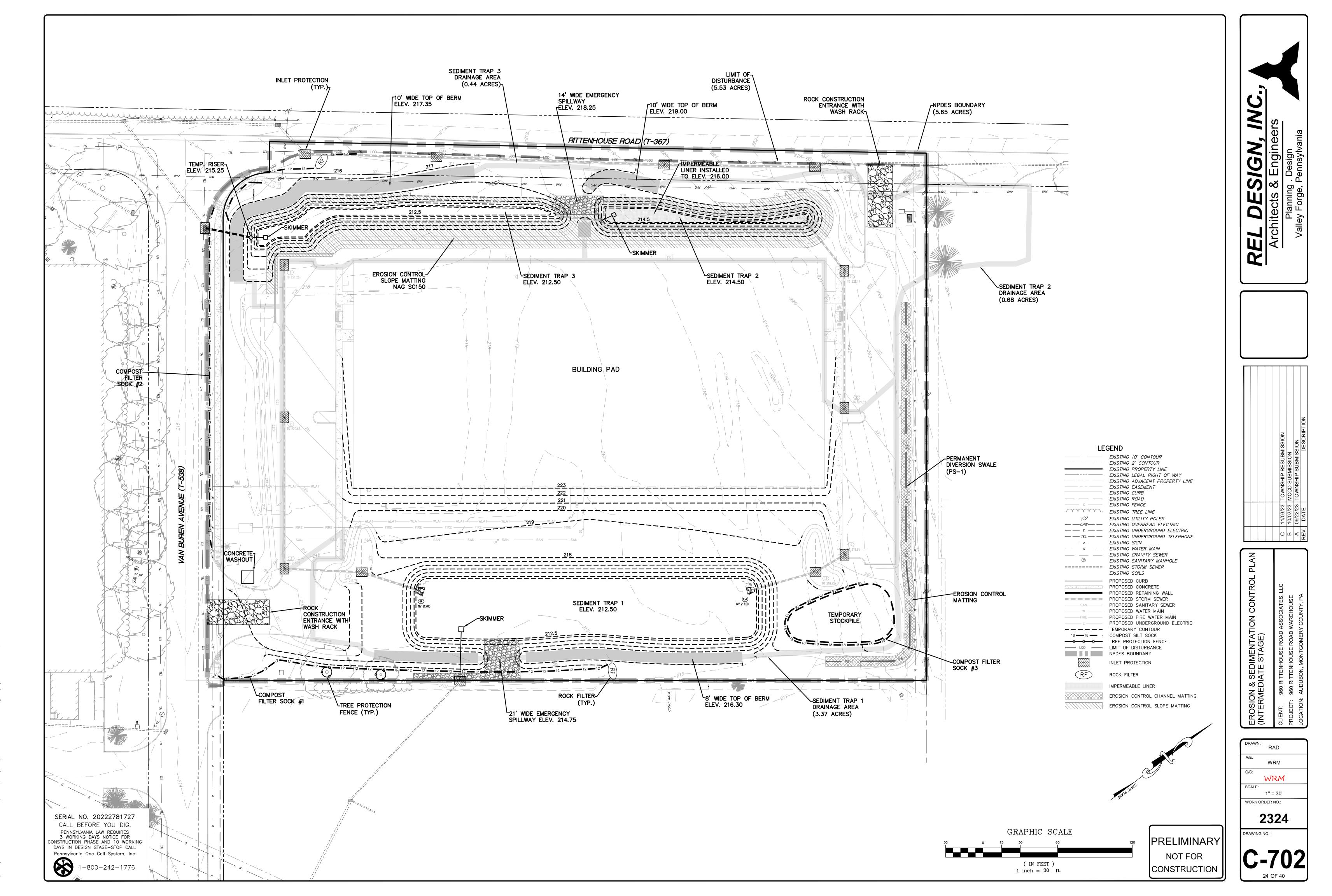
LANDSCAPE CC	MPLIANCE CHART - LOWER PROVIDENCE TOW	/NSHIP							
REQUIREMENT				REQUIRED)	PROPOS	SED	COMMENT	ORDINANCE
	DSCAPING: SHALL BE REQUIRED FOR BUFFERIN AREA USED AS PARKING, LOADING		DSES	REQUIRED)	PROPOS	SED		
	IM NUMBER OF TREES AND SHRUBS REQUIRED ERGREEN TREE PER 5,000 SF OF PAVED AREA			15 SHADE TRI EVERGREEN		16 SHADE 1 15 EVERGREE			123-50.A.
OR EVERO	JM NUMBER OF TREES AND SHRUBS REQUIRE GREEN SHRUB PER 1,500 SF OF PAVED AREA U	ISED FOR PARKING, LOADING, AND DRIVEWAYS		49 SHRUB		50 SHRU			
PERIMETER LAN	NDSCAPING: EACH NON-RESIDENTIAL DEVELO ALONG ROAD ROW, TREES SHAL		SAN	ECESSARY S		D TO THE CHAF	RACTER OF T	HE ADJACEN	NT AREA.
		RITTENHOUSE ROAD: 565'	1	2 SHADE TRE	EES	SATISFIED BY TREES BE		[1] [W]	
		VAN BUREN AVE: 408'		9 SHADE TRE	EES	SATISFIED BY TREES BE		[1] [W]	
TREES A	PROPERTY LINES ABUTTING SIMILAR DISTRICT ND SHRUBS SHALL BE: A) ONE SHADE TREE PE INE EVERGREEN TREE AND ONE FLOWERING T EVERGREEN SHRUBS	R 100' OF PROPERTY LINE; B)							123-50.B.
	NORTHE,	ASTERN PROPERTY LINE: 399'	3 E	4 SHADE TRE EVERGREEN T FLOWERING T	TREES	4 SHADE T 3 EVERGREEI 3 FLOWERING	N TREES		
	SOUTHE	ASTERN PROPERTY LINE: 565'	4 E	6 SHADE TRE EVERGREEN FLOWERING T	TREES	3 SHADE T 4 EVERGREE 4 FLOWERING	N TREES	[3] [W]	
	SHADE TREES SHALL BE ALONG BOTH SIDES (ED BEHIND OF THE ROW LINE AND NOT INTERI		/ MAI		F SIDEWA		FACILITIES,		TILITIES.
		VAN BUREN AVE: 408'		9 SHADE TRE	ES	9 SHADE T	REES		123-52.
	ATION, PROTECTION AND REPLACEMENT: EVE TER WHICH IS REMOVED / DESTROYED, SHALL					HITECT TO BE	LIVING AND H	HEALTHY, WI	TH A DBH
	3 TREES GREATER THAN 8" DBH			3 SHADE TRE		3 SHADE T			123-114.
	CORPORATE CENTER: LANDSCAPE BUFFERS ENTER LAND USE AND DESIGN MANUAL.	SHALL BE REQUIRED IN THE LO	DCATI	ONS CITED IN	N THE LOW	ER PROVIDEN	CE TOWNSHI	P VALLEY FC	DRGE
	STREET BUFFER REQUIRES BUFFER TYPE 'A' C DERSTORY TREES, 6 SHRUBS, AND 850 SF PEF								
		RITTENHOUSE ROAD: 565'	12 U 480	17 SHADE TR INDERSTORY 34 SHRUB 3 SF OF PER GROUNDCOV	' TREES S ENNIAL	12 STREET 5 SHADE T 12 UNDERSTO 36 SHRI 6360 SF OF PE GROUNDC	rees Ry trees JBS Erennial	[2] [W]	
		VAN BUREN AVE: 408'	9 U 346	13 SHADE TR NDERSTORY 25 SHRUB 8 SF OF PER GROUNDCO\	TREES S ENNIAL	9 STREET 4 SHADE T 9 UNDERSTOF 25 SHRU 3468 SF OF PE GROUNDC	REES RY TREES JBS ERENNIAL	[2] [W]	
	ARKING AND LOADING AREAS REQUIRES BUFF TREES, 2 UNDERSTORY TREES, 3 EVERGREEN S								
	PARKING AREA ALONG SOUT	THWEST PROPERTY LINE: 334'	7 U 10 I	14 SHADE TR NDERSTORY EVERGREEN EVERGREEN S	TREES TREES	13 BUFFER / TREE 7 TYPE 'A' UND TREE 0 EVERGREE 25 TYPE 'A' S 15 EVERGREE	S DERSTORY S N TREES SHRUBS	[3] [W]	123-143.
	PARKING AREA ALONG SOU	THEAST PROPERTY LINE: 364'	8 U 11 I	15 SHADE TR NDERSTORY EVERGREEN EVERGREEN S	TREES TREES	3 REPLACEME TREE 4 PERIME UNDERSTOR 4 UNDERSTOF 11 INTERNAL EV TREE 44 EVERGREE	S ETER Y TREES RY TREES VERGREEN S	[3] [W]	
	PARKING AREA ALONG NOR	THEAST PROPERTY LINE: 399'	8 U 12 I	16 SHADE TR NDERSTORY EVERGREEN S VERGREEN S	TREES TREES	8 SHADE 1 4 UNDERSTOF 6 EVERGREE 48 EVERGREE	RY TREES N TREES	[3] [W]	
	APING: THE PERIMETER BERMS AND EMBANKM RE MAINTENANCE REQUIREMENTS.	IENTS OF RETENTION / DETENT	FION E	BASIN SHALL	BE DESIGN	NATED TO CRE	ATE A NATUF	RAL APPEAR/	ANCE AND
MINIMUM PL	ANT MATERIAL PER 100 LINEAR FEET OF BASI WATER SURFACE ELEVATION): 3 EVERGREEN	TREES, 2 DECIDUOUS TREES, 5 SHRUBS.							
		BASIN PERIMETER: BASIN 1: 200'		EVERGREEN DECIDUOUS 1 10 SHRUB	TREES	6 EVERGREE 0 DECIDUOU 10 SHRU	S TREES	[4] [W]	123-19.H.(2
		BASIN 2: 250'		VERGREEN DECIDUOUS 1 13 SHRUB	TREES	9 EVERGREE 0 DECIDUOU 13 SHRU	S TREES	[4] [W]	
		RED I (EN) EXISTING NON-CON		MANCE I (W)	WAIVER R	EQUESTED) I			
	REQUIREMENT TO STREET TREES, WAIVER REC	QUESTED TO ALLOW FOR STRE	EET TI		EMENT TO	SATISFY PERIN			
DEFICIENCIES. [3] DEPTH OF BL	JFFER DOES NOT ALLOW FOR INSTALLATION C				-				
[4] PROXIMITY C	STED TO OFFSET DEFICIENCIES. OF BASIN AREAS TO OTHER REQUIRED LANDSO) ALLOW FOR LESSER QUANTITY OF PLANT MA		LANTI	NG OF ALL R	EQUIRED [DETENTION BAS	SIN LANDSCA	PE, WAIVER	
				_			_	_	_
		PLANT LI	S T			-			
KEY QTY.	KEY QTY. BOTANICAL NAME COMMON NAME MIN. MIN. MIN. MIN. PLANTING PLANTING PLANTING PLANTING REMARKS CO								IENTS

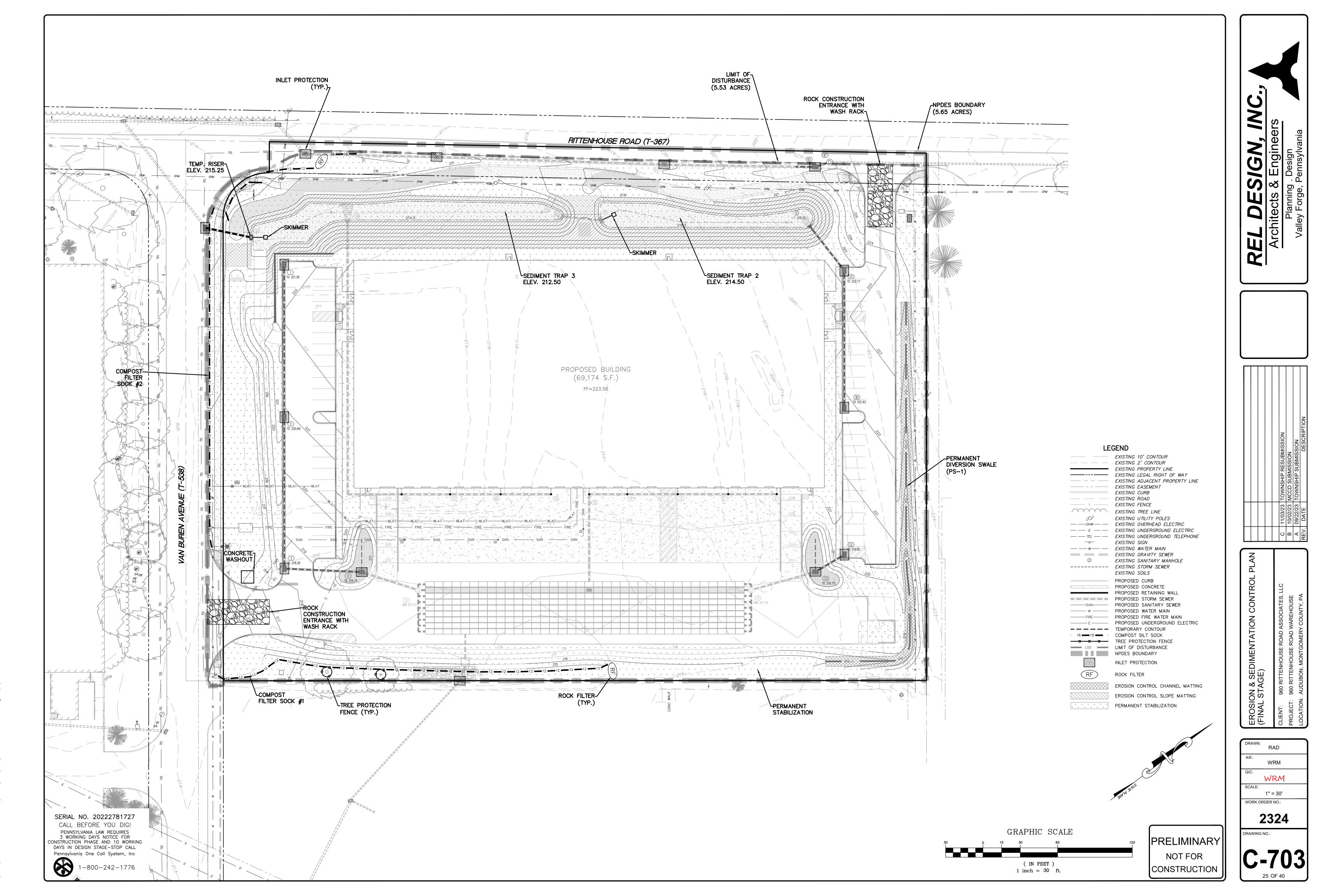












STANDARD E&S PLAN NOTES ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE

- AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. . AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER,
- APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON
- THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES. VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE, GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. . ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL
- CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. 2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL
- 13. ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED
- 4. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM ANYWHERE OTHER THAN THE APPROVED CONSTRUCTION ENTRANCE.
- 5. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK. INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESERVING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED
- 16. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE BY THE CONTRACTOR AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 7. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- 18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. 19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6
- TO 12 INCHES ON COMPACTED SOILS PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 6 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL. 20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT,
- SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. 21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY
- 23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE.
- CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN. IMMEDIATELY AFTER FARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT.
- THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 8. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON- VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS
- 29. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS. THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- 31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- 32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 33. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO 10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

SERIAL NO. 20222781727 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES **3 WORKING DAYS NOTICE FOR** CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL



-800-242-1776

GENERAL MAINTENANCE NOTES

A. COMPOST FILTER SOCK

- 1. SOCKS SHOULD BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURE'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF
- 2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP THE SOCK FUNCTIONAL. IN ALL CASES REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE
- 3. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS: PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURE'S RECOMMENDATIONS.
- B. CONSTRUCTION ENTRANCE WITH WASH RACK
- ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE. C. SEDIMENT BASIN/TRAP
- SEDIMENT WILL BE REMOVED FROM THE SEDIMENTATION BASIN/TRAP WHEN THE CAPACITY OF THE TRAP S REDUCED BY 2000 CUBIC FEET PER ACRE OF PROJECT AREA TRIBUTARY TO IT.
- A "CLEAN-OUT" ELEVATION WILL BE CLEARLY INDICATED ON THE PLAN DRAWINGS. THIS ELEVATION WILL BE IDENTIFIED BY APPROPRIATE STRUCTURE OR DEVICE WITHIN THE CONSTRUCTED BASIN TO INDICATE WHEN SEDIMENT SHOULD BE REMOVED. 3. SEDIMENT WILL NOT BE ALLOWED TO ENTER WATERS OF THE COMMONWEALTH DURING EITHER SEDIMENT
- REMOVAL OR DISPOSAL OPERATIONS. (a) THE LOCATION OF SEDIMENT DISPOSAL AREAS MUST BE SHOWN ON A MAP WHICH IS PART OF THE EROSION AND SEDIMENT CONTROL PLAN. 4. SEDIMENTATION BASIN/TRAP WILL BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES. 5. SEDIMENT BASIN/TRAP SHOULD NOT BE CONVERTED TO A PERMANENT DETENTION BASIN UNTIL CONTRIBUTING DRAINAGE AREA IS 70% STABILIZED
- D. BASIN OUTLETS IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR
- ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. ANY WETLAND PLANTINGS THAT APPEAR TO BE REMOVED OR DEAD WILL BE REPLACED BY HAND.
- ANY SEDIMENT BUILDUP WILL BE REMOVED BY HAND. 4. ALL MAINTENANCE WILL BE PERFORMED BY THE LOT OWNER OR HOMEOWNERS ASSOCIATION. AT ANYTIME THE TOWNSHIP HAS THE RIGHT TO MAINTAIN THIS FACILITY AT THE OWNERS EXPENSE. E. ROCK FILTER OUTLETS
- 1. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
- F. CONCRETE WASHOUT ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS
- SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. 2. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
- 3. LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT AREA.
- G. POST CONSTRUCTED STORMWATER MANAGEMENT BASIN (BMP)
- 1. ALL BASINS WILL BE CHECKED ON A REGULAR BASIS FOR DEBRIS BUILDUP (TRASH AND CONSTRUCTION DEBRIS) THAT MAY CAUSE CLOGGING OF ORIFICES WITHIN OUTLET STRUCTURES.

FILL MATERIALS

IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR.

CLEAN FILL: IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS ANALYTICAL TESTING ENVIRONMENTAL ASSESSMENTS OR AUDITS ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND /OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED T ETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL" FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR

PROJECT CONSTRUCTION WASTES

271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

1. TREES - CHIPPED AND REMOVED OFFSITE FOR MULCH.

2. BUILDING MATERIALS - SHALL BE REMOVED AND DISPOSED OF AT PROPER RECYCLING FACILITY AS PER NOTE #10 OF THE GENERAL EROSION & SEDIMENT CONTROL NOTES.

3. ROCK WASTE - ALL ROCKS THAT ARE SUITABLE FOR LANDSCAPING USES SHALL BE USED ON SITE OR AT ANOTHER FACILITY.

4. SOIL WASTE - ALL EXCAVATED SOIL SHALL BE USED ON SITE, AS FILL MATERIAL WHERE POSSIBLE. ANY EXCESS MATERIAL NOT USED ON SITE MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVED AND WERE ALL BMPS ARE PROPERLY NSTALLED. ALL SEDIMENT REMOVED DURING MAINTENANCE AND CLEANING OF EROSION AND SEDIMENTATION CONTROLS DEVICES WILL BE INCORPORATED INTO THE FINE GRADING UPSTREAM FROM A SEDIMENT CONTROL DEVICE. EXCESS MATERIAL THAT IS REMOVED FROM EROSION AND

SEDIMENTATION CONTROL MEASURES AND CANNOT BE INCORPORATED INTO THE FINE GRADING STABILIZATION SHALL BE REMOVED FROM THE SITE AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVAL AND WERE ALL BMPS ARE PROPERLY INSTALLED.

5. SEDIMENT REMOVAL FROM ALL SEDIMENT BASINS TO BE RETURNED TO SITE UPSTREAM OF ALL PROPOSED BMP'S.

6. ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.). AND/OR ANY ADDITIONAL LOCAL. STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

SEDIMENT DISPOSAL FOR PCSM BMP

1. SEDIMENT SHOULD BE DISPOSED OF PROPERLY AND ONCE SEDIMENT IS REMOVED, DISTURBED AREAS NEED TO BE IMMEDIATELY STABILIZED AND REVEGETATED. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE

F STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY

3. EXCESS SEDIMENT MATERIAL THAT CANNOT BE INCORPORATED INTO THE FINE GRADING STABILIZATION SHALL BE REMOVED FROM THE SITE AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVAL AND WHERE ALL BMPS ARE PROPERLY INSTALLED.

E&S PLAN PLANNING & DESIGN NOTES

1. THE CONTRACTOR SHALL MINIMIZE THE EXTENT AND DURATION OF THE EARTH DISTURBANCE BY LIMITING THE CLEARING, GRUBBING, AND TOPSOIL STRIPPING TO AREAS IN EACH PHASE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE F&S BMP'S SPECIFIED BY THE CONSTRUCTION SEQUENCE FOR THAT PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THE E&S PLAN. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE CONTRACTOR SHALL STABILIZE AND AREAS DISTURBED BY ANY ACTIVITIES.

2. TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO SEDIMENT BASINS/TRAPS AND DIVERSION BERM FOR GRADING. E&S BMP'S MUST BE CONSTRUCTED. STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS TO THOSE BMP'S. E&S BMP'S SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS IRIBUTARY TO THEM ARE PERMANENTLY STABILIZED. AT NO TIME WILL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARY. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAYS SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY. IN NO CASE SHALL THE SEDIMENT BE WASHED. SHOVELED. OR SWEPT INTO ANY ROADSIDE DITCH. STORM SEWER. OR SURFACE WATER. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY JPON REACHING FINISHED GRADE.

3. TO MINIMIZE SOIL COMPACTION, NO LAND CLEARING AND/OR GRADING SHALL BE PERFORMED OUTSIDE OF LIMIT OF DISTURBANCE FENCING. PROPER CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION.

4. THE FOLLOWING MEASURES OR CONTROLS UTILIZED TO MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF: INFILTRATION BASIN, INFILTRATION TRENCH AND MANUAL RELEASE CONCEPT.

DISPOSAL OF WASTE NOTE

ANY CONSTRUCTION WASTES ARE TO BE DISPOSED OF SAFELY PER LOCAL AND STATE REQUIREMENTS.

SEDIMENT BASIN/TRAP CONVERSION SEQUENCE

- NOTE: PRIOR TO BASIN/TRAP CONVERSION, ALL EARTH DISTURBANCE MUST BE COMPLETE AND ALL AREAS MUST BE 70% STABILIZED WITHIN THE TRIBUTARY AREAS OF THE BASIN TO BE REMOVED. ALSO, REFER TO INFILTRATION BASIN CONSTRUCTION SEQUENCE. 1. ALL STORM SEWER THAT CONVEYS SEDIMENT LADEN WATER TO THE SEDIMENT
- BASIN/TRAP MUST BE FLUSHED/CLEANED PRIOR TO CONVERSION.
- 2. DEWATER THE BASIN/TRAP PER TEMPORARY PUMPED WATER REMOVAL FACILITY (DOWNSTREAM OF THE SEDIMENT BASIN).
- 3. REMOVE ACCUMULATED SEDIMENT, MIX WITH TOPSOIL AND STABILIZE. 4. THE SKIMMER SHOULD STAY IN PLACE UNTIL THE CONVERTED BASIN HAS BEEN REVEGETATED.
- 5. COMPLETE ANY REMAINING OUTLET STRUCTURE AND/OR EMERGENCY SPILLWAY CONSTRUCTION, AS NECESSARY. REFER TO BASIN CONSTRUCTION DETAILS.
- 6. REGRADE AREA TO PROPOSED FINAL GRADE. 7. RESTABILIZE AREA WHEN FINAL GRADING IS COMPLETE.

UTILITY LINE TRENCH EXCAVATION

1. EXPOSED TRENCH EXCAVATIONS HAVE HIGH POTENTIAL FOR ACCELERATED EROSION AND SEDIMENT POLLUTION. SINCE THESE EXCAVATIONS ARE USUALLY LOCATED AT LOWER FLEVATIONS ALONG OR ACROSS EARTH DISTURBANCE SITES, OPEN TRENCHES SERVE TO CONCENTRATE SEDIMENT LADEN RUNOFF AND CONVEY IT TO SITE BOUNDARIES OR WATERWAYS. THE MOST IMPORTANT EROSION AND SEDIMENT POLLUTION CONTROL CONSIDERATION FOR TRENCH CONSTRUCTION IS THE LIMITING AND SPECIFIC SCHEDULING OF WORK ACTIVITIES.

- 2. CONSTRUCTION REQUIREMENTS: A) LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE
- B) WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- C) LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- D) WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO AN APPROVED FACILITY FOR REMOVAL OF SEDIMENT BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.
- E) ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.

TEMPORARY SEEDING SPECIFICATIONS

PROVIDE	IHE	FOLLOWING	SEED
SPECIES % PURE APPLICA FERTILIZI FERTILIZI LIMING F MULCH MULCHIN	TION ER T ER A RATE TYPE	RATE YPE PPLICATION	RATE

PROVIDE THE FOLLOWING	SEED	MIXTURE FOR	ALL	DISTURBED	AREAS:
SPECIES		ANNUAL RY	EGR/	ASS	
% PURE LIVE SEED		100.0%			
APPLICATION RATE		40.0 LB./A	CRE		
FERTILIZER TYPE		COMMERCIA	L 10	-10-10	
FERTILIZER APPLICATION	RATE	500 LB./AC	CRE		
LIMING RATE		1.0 T./ÁCR			
MULCH TYPE		HAY ÓR ST	RAW		
MULCHING RATE		3.0 T./ACR	E		

PERMANENT SEEDING SPECIFICATIONS

PROVIDE THE FOLLOWING SEED MIXTURE FOR ALL DISTURBED AREAS UNLESS SPECIFIED ON THE LANDSCAPE PLAN:

SPECIES	% BY MASS	PURITY	GERMINATION	MAX. % WEED SEED	SEEDING RATE LBS PER 1,000 S.Y.
PERENNIAL RYEGRASS MIXTURE (LOLIUM PERENNE). A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 50% OF THE TOTAL RYEGRASS COMPONENT.	18	98	90	0.15	4.0
CREEPING RED FESCUE OR CHEWINGS FESCUE	30	98	85	0.15	5.0
KENTUCKY BLUEGRASS MIXTURE (POA PRATENSIS). A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 25% OF THE TOTAL BLUEGRASS COMPONENT.	52	98	80	0.20	12.0

SEEDING APPLICATION: MARCH 15 THROUGH JUNE AUGUST 1 THROUGH OCTOBER 15

MANAGED RELEASE CONCEPT CONSTRUCTION SEQUENCE

- 1. IF THE CONTRACTOR RUNS INTO SHALLOW BEDROCK THE DESIGN ENGINEER OR THE ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY BEFORE ANY ADDITIONAL WORK IS COMPLETED.
- 2. INSTALL THE MRC BMP DURING FINAL PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY, AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY.
- 3. INSTALL AND MAINTAIN PROPER E&S BMPS DURING CONSTRUCTION.
- 4. THE MRC BMP BOTTOM SHOULD BE UN-COMPACTED, FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT THE SUBGRADE.
- 5. INSTALL OUTLET CONTROL STRUCTURES, REINFORCED SPILLWAY, PIPE BEDDING, JNDERDRAIN PIPING WITH AGGREGATE ENVELOPE, CLEANOUTS, ET(
- 6. PLACE SOIL MEDIA GENTLY. DO NOT COMPACT SOIL MEDIA OR THE BASIN BOTTOM. THE PLACEMENT OF SOIL MEDIA SHOULD BE DONE FROM OUTSIDE THE BMP FOOTPRINT TO AVOID COMPACTION BY CONSTRUCTION EQUIPMENT. EQUIPMENT SHOULD NEVER DRIVE OVER PLACED SOIL MEDIA WITHOUT CONSTRUCTION MATTING
- 7. SEED AND STABILIZE DISTURBED AREA. VEGETATE WITH NATIVE PLANTINGS. 8. MAINTAIN INLET PROTECTION AND OTHER E&S CONTROLS UNTIL THE SITE IS FULLY
- STABILIZED.

MANAGED RELEASE CONCEPT MAINTENANCE NOTES 1. UPGRADIENT CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED ANNUALLY, OR MORE OFTEN IF HISTORICAL MAINTENANCE RECORDS SUGGEST A MORE FREQUENT CLEANING.

- 2. THE VEGETATION (FOR THE MRC BMP AND CONTRIBUTING DRAINAGE AREA) SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED.
- 3. CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. MOW ONLY
- AS APPROPRIATE FOR VEGETATIVE SPECIES. 4. INSPECT AT LEAST TWO TIMES PER YEAR AFTER RUNOFF EVENTS GREATER THAN 0.8 INCH AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN THE DESIGN PARAMETERS (A LICENSED PROFESSIONAL ENGINEER SHOULD CLEARLY IDENTIFY WHAT THESE PARAMETERS ARE).
- 5. AT LEAST TWO TIMES PER YEAR, OR MORE IF HISTORICAL MAINTENANCE INDICATE IT IS NECESSARY, INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION, SIGNS OF WATER CONTAMINATION/SPILLS, AND INSTABILITY. LEAF LITTER NEEDS TO BE REMOVED ANNUALLY.
- 6. AS NEEDED, REMOVE ACCUMULATED SEDIMENT AS REQUIRED TO MAINTAIN INFILTRATION THROUGH THE MRCS SOIL MEDIA AND TO MAINTAIN WATER QUALITY FUNCTIONALITY. RESTORE ORIGINAL CROSS SECTION. PROPERLY DISPOSE OF SEDIMENT.
- 7. IF POROUS PAVEMENT IS INCLUDED IN THE DESIGN, VACUUM AT LEAST TWICE PER YEAR. VACUUM SHOULD HAVE SUFFICIENT SUCTION POWER AND BE DESIGNED FOR USE WITH POROUS PAVEMENTS.
- 8. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS-SECTION AND PROPERLY DISPOSE OF SEDIMENT.

SUBSURFACE DETENTION BASIN CONSTRUCTION SEQUENCE NOTE: PRIOR TO BASIN/TRAP REMOVAL, ALL EARTH DISTURBANCE MUST BE COMPLETE AND ALL AREAS MUST BE 70% STABILIZED WITHIN THE TRIBUTARY AREAS OF THE BASIN TO BE REMOVED.

- 1. DUE TO THE NATURE OF CONSTRUCTION SITES, SUBSURFACE DETENTION SHOULD BE INSTALLED TOWARDS THE END OF THE CONSTRUCTION PERIOD, IF POSSIBLE, TO MAXIMIZE ANY RESIDUAL INFILTRATION OPPORTUNITY.
- 2. INSTALL AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES (AS PER THE PA EROSION AND SEDIMENTATION CONTROL PROGRAM MANUAL) DURING CONSTRUCTION.
- 3. THE EXISTING SUBGRADE UNDER THE BED AREAS SHOULD NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE AND STONE BED PLACEMENT.
- 4. WHERE FROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING. THIS MATERIAL SHOULD BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM OF 6 INCHES WITH A YORK RATE (OR EQUIVALENT) AND LIGHT TRACTOR. ALL FINE GRADING SHOULD BE DONE BY HAND. ALL BED BOTTOMS SHOULD BE AT LEVEL GRADE
- 5. EARTHEN BERMS (IF USED) BETWEEN BEDS SHOULD BE LEFT IN PLACE DURING EXCAVATION. THESE BERMS DO NOT REQUIRE COMPACTION IF PROVEN STABLE DURING CONSTRUCTION.
- 6. INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.
- 7. GEOTEXTILE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECO ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 16 INCHES SHOULD ALSO BE SECURED AT LEAST 4 FEET OUTSIDE OF BED IN ORDER TO PREVENT ANY RUNOFF OF SEDIMENT FROM ENTERING THE STORAGE BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO EDGE OF THE BED.
- 8. CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE SHOULD BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.
- 9. APPROVED SOIL MEDIA SHOULD BE PLACE OVER INFILTRATION BED IN MAXIMUM 6 INCH LIFTS.
- 10. SEED AND STABILIZE TOPSOIL.
- 11. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

SUBSURFACE DETENTION BASIN MAINTENANCE PROCEDURES 1. AT LEAST ONCE EVERY 3 MONTHS, THE STORM INLETS AND JUNCTION BOXES SHALL BE INSPECTED FOR SEDIMENT, CINDERS OR OTHER DEBRIS DEPOSITION IN THE

- STRUCTURE SUMPS. ALL INLET GRATES SHALL ALSO BE INSPECTED AND CLEANED OF ANY DEBRIS. DAMAGED GRATES SHALL BE REPLACED IMMEDIATELY. 2. AT LEAST ONCE EVERY 12 MONTHS, ALL JUNCTION BOXES/INLETS AND 18" PIPES IN
- DETENTION FACILITY SHALL BE INSPECTED AND ALL SEDIMENT, CINDERS OR OTHER DEBRIS SHALL BE REMOVED FROM THE STRUCTURE SUMPS AND THE PIPE INVERTS. 3. ACCUMULATED DEPOSITS IN ANY STRUCTURE SHALL BE REMOVED IMMEDIATELY WHEN
- THE DEPTH OF THE DEPOSITS REACHES 8" OR MORE. 4. THE UNDERGROUND DETENTION FACILITY AND THE STORM SEWER STRUCTURES MAY BE
- INSPECTED AT ANY TIME BY THE TOWNSHIP OR ITS REPRESENTATIVE.

CONSTRUCTED FILTERS CONSTRUCTION SEQUENCE 1. PERMANENT FILTERS SHOULD NOT BE INSTALLED UNTIL THE SITE IS STABILIZED. EXCESSIVE SEDIMENT GENERATED DURING CONSTRUCTION CAN CLOG THE FILTER AND PREVENT OR REDUCE THE ANTICIPATED POST-CONSTRUCTION WATER QUALITY BENEFITS. STABILIZE ALL CONTRIBUTING AREAS BEFORE RUNOFF ENTERS FILTERS.

2. STRUCTURES SUCH AS INLET BOXES, REINFORCED CONCRETE BOXES, ETC. SHOULD BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S GUIDANCE.

3. EXCAVATED FILTERS THAT INFILTRATE OR STRUCTURAL FILTERS THAT INFILTRATE SHOULD BE EXCAVATED IN SUCH A MANNER AT TO AVOID COMPACTION OF THE SUBBASE. STRUCTURES MAY BE SET ON A LAYER OF CLEAN, LIGHTLY COMPACTED GRAVEL (SUCH AS AASHTO #57). 4. INFILTRATION FILTERS SHOULD BE UNDERLAIN BY A LAYER OF PERMEABLE NON-WOVEN-GEOTEXTILE.

5. PLACE UNDERLYING GRAVEL/STONE IN MINIMUM 6 INCH LIFTS AND LIGHTLY COMPACT. PLACE UNDERDRAIN PIPES IN GRAVEL DURING PLACEMENT. 6. WRAP AND SECURE NONWOVEN GEOTEXTILE TO PREVENT GRAVEL/STONE FROM CLOGGING WITH SEDIMENTS.

7. LAY FILTERING MATERIAL. DO NOT COMPACT. 8. SATURATE FILTER MEDIA AND ALLOW MEDIA TO DRAIN TO PROPERLY SETTLE AND DISTRIBUTE. 9. FOR VEGETATED FILTERS, A LAYER OF NONWOVEN GEOTEXTILE BETWEEN NON-ORGANIC FILTER

MEDIA AND PLANTING MEDIA IS RECOMMENDED. 10. THERE SHOULD BE SUFFICIENT SPACE (HEAD) BETWEEN THE TOP OF THE FILTERING BED AND THE OVERFLOW OF THE FILTER TO ALLOW FOR MAXIMUM HEAD DESIGNED TO BE STORED BEFORE FIL TRATION

CONSTRUCTION SEQUENCE ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES. A PRE-CONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER. SITE CONTRACTOR(S). TOWNSHIP ENGINEER(S). MONTGOMERY COUNTY CONSERVATION DISTRICT AND LICENSED PROFESSIONALS OR DESIGNEES RESPONSIBLE FOR THE FARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF E&S AND PCSM PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. • IT IS IMPERATIVE THAT THE E&S MEASURES ARE IMPLEMENTED BEFORE CONSTRUCTION BEGINS. • MULCHING, WITHOUT SEEDING, CAN BE USED AS AN INTERIM STABILIZATION CONTROL DURING NON-GROWING SEASONS OF THE YEAR. ANY DEVIATION FROM THIS SCHEDULE MUST BE DISCUSSED WITH THE ENGINEER, TOWNSHIP ENGINEER AND CONSERVATION DISTRICT • UNKNOWNS, SUCH AS WEATHER CONDITIONS, EXACT START DATE, CONTRACTOR, ETC.; DO NOT ALLOW FOR DELINEATION OF SPECIFIC TIME FRAMES. • NO CLEARING AND/OR GRUBBING OF THIS SITE MAY TAKE PLACE UNTIL ALL THE EROSION AND SEDIMENTATION CONTROLS, AS OUTLINED, HAVE BEEN INSTALLED AND ARE FUNCTIONAL. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS. • AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON BALTIMORE PIKE IS TO BE REMOVED, RETURNED TO THE SITE, STOCKPILED AND STABILIZED. ALL STRUCTURES ASSOCIATED WITH THE CONSTRUCTION OF SEDIMENT REMOVAL FACILITIES MUST BE AVAILABLE ON-SITE PRIOR TO ANY EARTHMOVING. • IF AT ANY TIME PRIOR TO STABILIZATION ANY E&S PROBLEMS WHICH OCCUR AND REQUIRE ADDITIONAL MEASURES, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEM. • ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE THE NEXT STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE. CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION. • ANY REGULATED ACTIVITY SHALL BE SUBJECT TO PERIODIC INSPECTIONS BY THE TOWNSHIP FOR COMPLIANCE WITH EROSION AND SEDIMENT CONTROL PLAN APPROVAL. DURING ANY STAGE OF THE WORK, IF THE TOWNSHIP ENGINEER DETERMINES THE BMPS ARE NOT BEING IMPLEMENTED IN ACCORDANCE WITH THIS CHAPTER, THE TOWNSHIP SHALL REVOKE ANY EXISTING PERMITS AND APPROVALS UNTIL WORK IS BROUGHT INTO COMPLIANCE WITH THE APPROVED PLANS.

• THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER A MINIMUM OF THREE WORKING DAYS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION OR INSTALLATION OF ANY FACILITY OR UTILITY REQUIRED BY THE ORDINANCE IN ORDER FOR PROVISIONS MAY BE MADE FOR INSPECTION BY THE TOWNSHIP. THE CONSTRUCTION OF INSTALLATION OF ALL IMPROVEMENTS SHALL AT ALL TIMES BE SUBJECT TO INSPECTION BY REPRESENTATIVES OF THE TOWNSHIP. A LICENSED PROFESSIONAL OR QUALIFIED REPRESENTATIVE SHALL BE RETAINED BY THE OWNER AND BE PRESENT DURING NOTED "CRITICAL STAGE" ITEMS.

INITIAL PHASE

- 1. PRIOR TO CONSTRUCTION, A SITE PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE WITH MCCD, ROUX ENVIRONMENTAL, PADEP, REL DESIGN INC., AND ALL SITE CONTRACTORS, INCLUDING THE ENVIRONMENTAL REMEDIATION CONTRACTOR, TO FULLY COORDINATE BUILDING DEMOLITION, CONTAMINATED SOIL REMOVAL AND SITE CONSTRUCTION.
- 2. THE LIMITS OF DISTURBANCE (LOD) SHALL BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (i.e. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.). CRITICAL STAGE 3. INSTALL ROCK CONSTRUCTION ENTRANCES, COMPOST FILTER SOCK, INLET PROTECTION, ROCK FILTERS, AND ANY
- DTHER E&S CONTROLS OR PROTECTIVE MEASURES AS SHOWN ON THE APPROVED PLANS. CRITICAL STAGE 4. BEGIN BUILDING DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, FEDERAL AND PADEP REQUIREMENTS.
- 5. REMOVE SOIL IN AREA OF LOADING DOCK, IN ACCORDANCE WITH THE APPROVED EPA WORK PLAN. 6. ONCE SOIL REMOVAL HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED EPA WORK PLAN, SITE DEVELOPMENT EARTHWORK MAY COMMENCE.
- 7. CONSTRUCT SEDIMENT TRAP 1 CRITICAL STAGE
- A. EXCAVATE TRAP. INSTALL IMPERMEABLE LINER. B. EARTHWORK FOR THE SEDIMENT TRAP EMBANKMENT SHALL BE OBSERVED AND INSPECTED BY THE TOWNSHIP. CRITICAL STAGE C. CONSTRUCT ROCK EMERGENCY SPILLWAY AND INSTALL THE SKIMMER FOR DEWATERING.
- D. SPREAD TOPSOIL OVER TRAP AREA. SEED AND MULCH WITH TEMPORARY SEED MIXTURE. 8. CONSTRUCT SEDIMENT TRAP 3 CRITICAL STAGE
- A. EXCAVATE TRAP. INSTALL IMPERMEABLE LINER.
- B. EARTHWORK FOR THE SEDIMENT TRAP EMBANKMENT SHALL BE OBSERVED AND INSPECTED BY THE TOWNSHIP. CRITICAL STAGE C. INSTALL TEMPORARY RISER, TRASH RACK AND OUTLET PIPE. INSTALL THE SKIMMER FOR DEWATERING.
- D. SPREAD TOPSOIL OVER BASIN AREA. SEED AND MULCH WITH TEMPORARY SEED MIXTURE. 9. INSTALL DIVERSION SWALE PS-1 WITH PERMANENT EROSION CONTROL BLANKET PER THE PLANS. CRITICAL STAGE 10. BEGIN SITE DEMOLITION AS SHOWN ON THE PLANS.
- 11. CLEAR AND GRUB THE SITE.
- 12. STRIP TOPSOIL FROM THE SITE, STOCKPILE AND STABILIZE IMMEDIATELY. PLACE COMPOST FILTER SOCK DOWN SLOPE OF STOCKPILES.

INTERMEDIATE PHASE

- 13. MODIFY/INSTALL E&S CONTROLS AS CONSTRUCTION PROGRESSES TO RESPECT ON GOING WORK AS SHOWN ON THE PLANS FOR THIS PHASE. CRITICAL STAGE
- 14. ROUGH GRADE DISTURBED AREAS INCLUDING PARKING AREA.
- 15. ONCE GRADE HAS BEEN FILLED CONSTRUCT SEDIMENT TRAP 3 CRITICAL STAGE
- A. EXCAVATE TRAP. INSTALL IMPERMEABLE LINER. B. EARTHWORK FOR THE SEDIMENT TRAP EMBANKMENT SHALL BE OBSERVED AND INSPECTED BY THE TOWNSHIP. CRITICAL STAGE C. INSTALL PERMANENT OUTLET STRUCTURE, TRASH RACK, ROCK EMERGENCY SPILLWAY AND OUTLET PIPE.
- INSTALL THE SKIMMER FOR DEWATERING. D. SPREAD TOPSOIL OVER BASIN AREA. SEED AND MULCH WITH TEMPORARY SEED MIXTURE.
- 16. BEGIN BUILDING PAD CONSTRUCTION PER STRUCTURAL PLAN FLOOR SLAB ELEVATIONS.
- 17. BEGIN BUILDING CONSTRUCTION 18. INSTALL RETAINING WALL AS SHOWN ON PLANS.
- 19. INSTALL UTILITIES AS SHOWN ON PLANS.
- 20. INSTALL STORM SEWER (INLET #1 TO #4) AND PIPE TO SEDIMENT TRAP 1.
- 21. INSTALL STORM SEWER (INLET #12 TO #13) AND PIPE TO SEDIMENT TRAP 1.
- 22. INSTALL STORM SEWER (INLET #20 TO #22) TO SEDIMENT TRAP 2
- 23. INSTALL CURB AND SIDEWALK AS SHOWN ON THE PLANS.
- 24. INSTALL STONE SUBBASE AND BASE COURSE TO PARKING AREAS SHOWN ON PLAN.

FINAL PHASE

- 25. MODIFY/INSTALL E&S CONTROLS AS CONSTRUCTION PROGRESSES TO RESPECT ON GOING WORK AS SHOWN ON THE PLANS FOR THIS PHASE. CRITICAL STAGE
- 26. COMPLETE UTILITY INSTALLATION.
- 27. CONVERT SEDIMENT TRAP 2 INTO MRC BASIN 2B. REPLACE RIPRAP WITH PERMANENT MATTING IN EMERGENCY SPILLWAY.
- 28. CONVERT SEDIMENT TRAP 3 TO MRC BASIN 2A. INSTALL PERMANENT OUTLET STRUCTURE AND TRASH RACK.
- 29. CONVERT SEDIMENT TRAP 1 INTO UNDERGROUND BASIN 1. INSTALL OUTLET STRUCTURE AND RIRAP.
- 30. INSTALL CONSTRUCTED FILTERS WITH IMPERMEABLE LINER.
- 31. ROUGH GRADE REMAINING DISTURBED AREAS 32. INSTALL ROOF LEADER HEADER PIPES.
- 33. INSTALL REMAINING CURBING
- 34. INSTALL STONE SUBBASE AND BASE COURSE TO REMAINING PARKING AREAS SHOWN ON PLAN.
- 35. INSTALL REMAINING SIDEWALK
- 36. INSTALL LANDSCAPING.
- 37. STABILIZE ANY OPEN AREAS NOT ALREADY STABILIZED.
- 38. INSTALL PAVING WEARING COURSE.
- 39. ONCE A PERMANENT STABILIZATION OF A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, OTHER PERENNIAL VEGETATIVE COVER, OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT T RESIST ACCELERATED EROSION, BEGIN REMOVAL OF ALL TEMPORARY BMPS: SUCH AS THE CONCRETE WASHOUT STONE AT THE OUTLET RISER, INLET PROTECTION, ROCK CONSTRUCTION ENTRANCE, ROCK FILTERS, SILT SOCK, ORANGE CONSTRUCTION FENCE, AND SILT FENCING. PERMANENTLY SEED ANY AREAS DISTURBED BY THESE ACTIVITIES
- 40. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE NOTICE OF TERMINATION (NOT) AT THE COMPLETION OF CONSTRUCTION AND AFTER FINAL INSPECTION BY THE TOWNSHIP ENGINEER.

CONSTRUCTED FILTERS MAINTENANCE NOTES

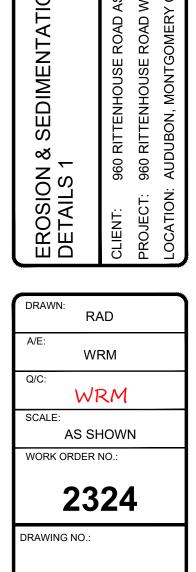
FILTERS REQUIRE A REGULAR INSPECTION AND MAINTENANCE PROGRAM IN ORDER TO MAINTAIN THE INTEGRITY OF THE FILTERING SYSTEM AND POLLUTANT REMOVAL MECHANISMS. ODOR IS A CONCERN FOR FILTERS THAT ARE NOT MAINTAINED. INSPECTION OF FILTER IS RECOMMENDED AT LEAST FOUR (4) TIMES A YEAR.

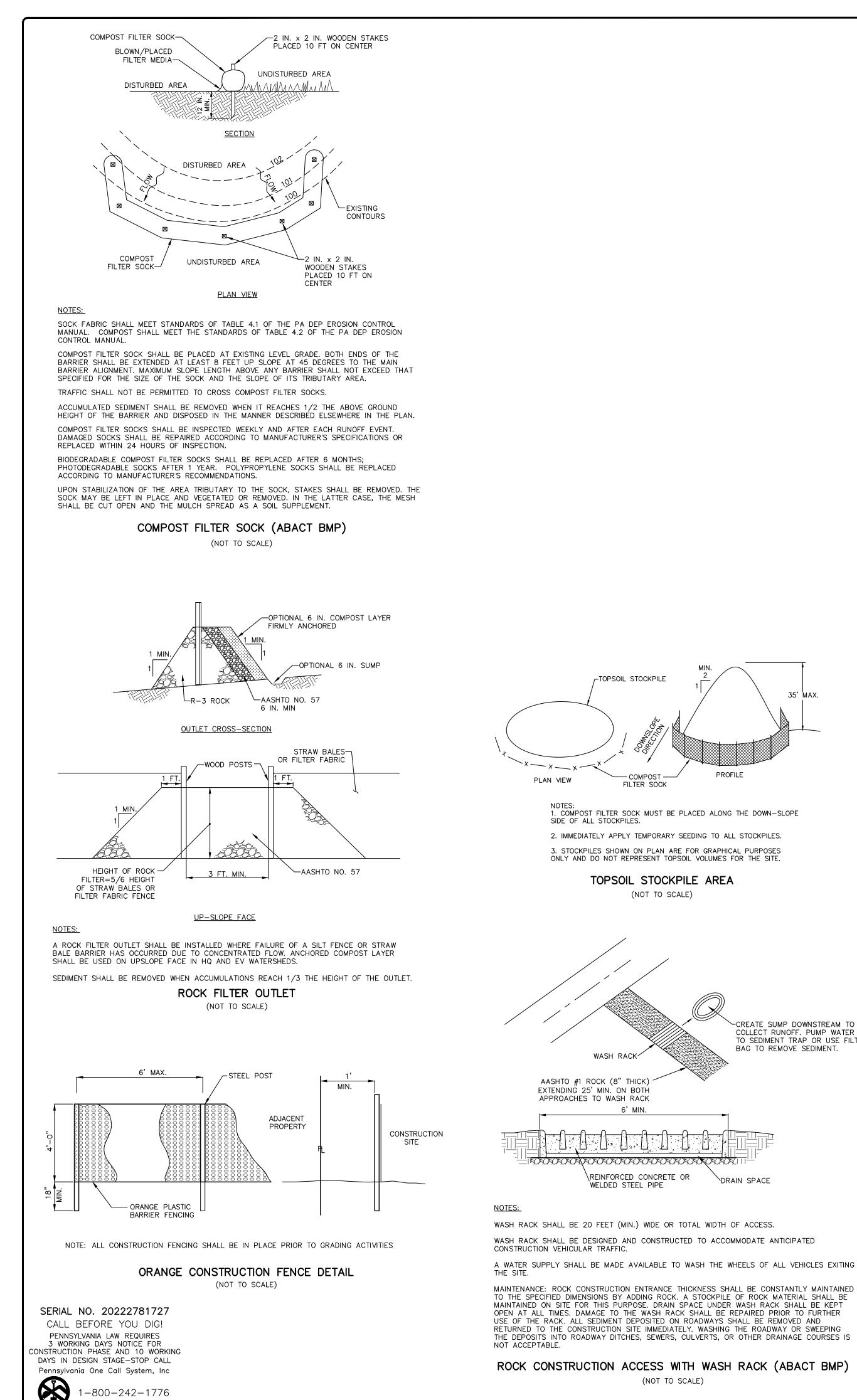
- 1. DURING INSPECTION THE FOLLOWING CONDITIONS SHOULD BE CONSIDERED: A. STANDING WATER - ANY STANDING WATER LEFT IN A SURFACE FILTER AFTER THE DESIGN
- DRAIN DOWN TIME INDICATES THE FILTER IS NOT OPTIMALLY FUNCTIONING B. FILM OR DISCOLORATION OF ANY SURFACE FILTER MATERIAL INDICATES ORGANICS OR DEBRIS HAVE CLOGGED THE FILTER SURFACE.
- 2. FILTER MAINTENANCE
- REMOVE TRASH AND DEBRIS AS NECESSARY. . SCRAPE SILT WITH RAKE
- TILL AND AERATE FILTER AREA.
- . REPLACE FILTERING MEDIUM IF SCRAPING/REMOVAL HAS REDUCED DEPTH OF FILTERING

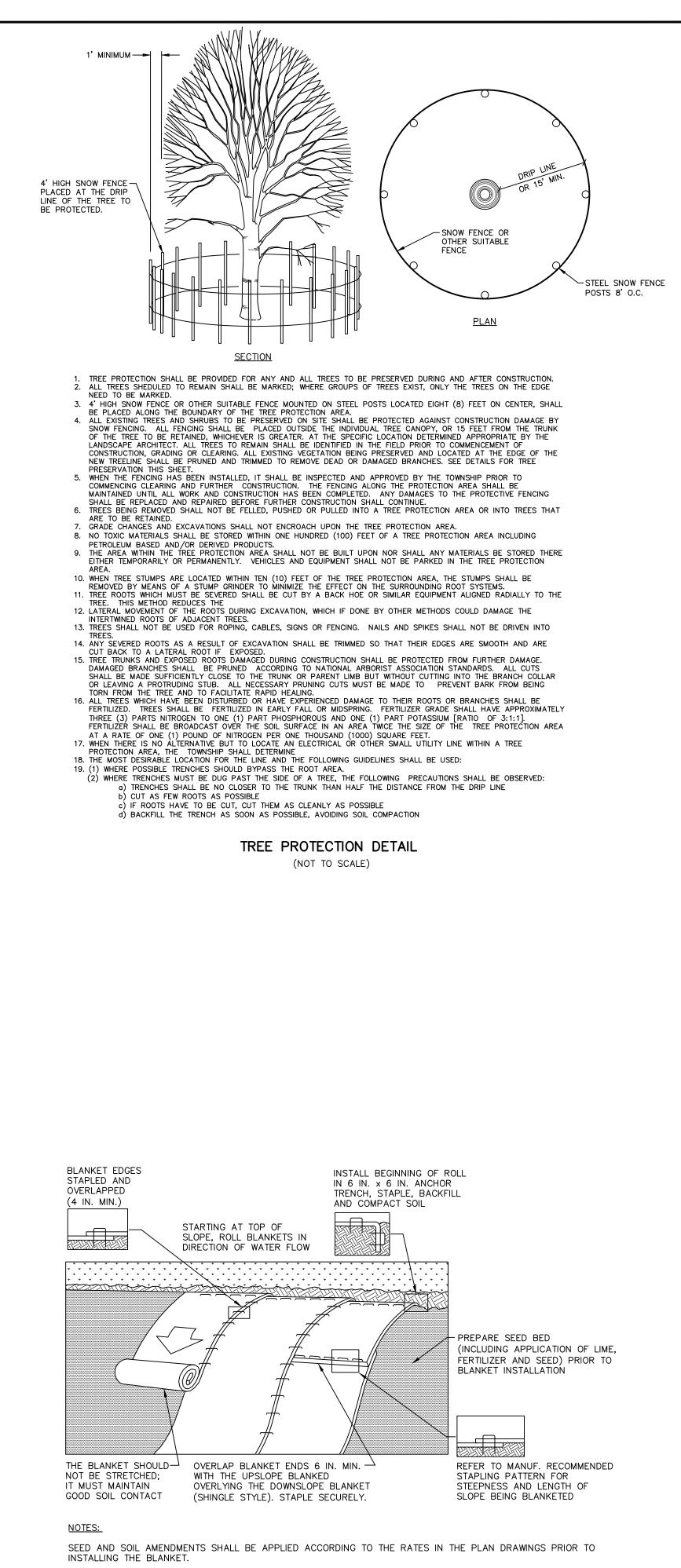
NOTE: IN AREAS WHERE THE POTENTIAL EXISTS FOR THE DISCHARGE AND ACCUMULATION OF TOXIC POLLUTANTS (SUCH AS METALS), FILTER MEDIA REMOVAL FROM FILTERS MUST BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS.

PRELIMINARY NOT FOR CONSTRUCTION

		Architects & Engineers		Planning . Design	Vallav Forda Dannevilvanja	
			11/03/23 TOWNSHIP RESUBMISSION	10/02/23 MCCD SUBMISSION	09/22/23 TOWNSHIP SUBMISSION	DESCRIPTION
			C 11/03/23 T	B 10/02/23 M	A 09/22/23 T	REV. DATE
			SOCIATES, LLC	REHOUSE		







PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

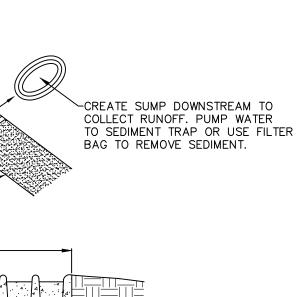
THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA.

DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

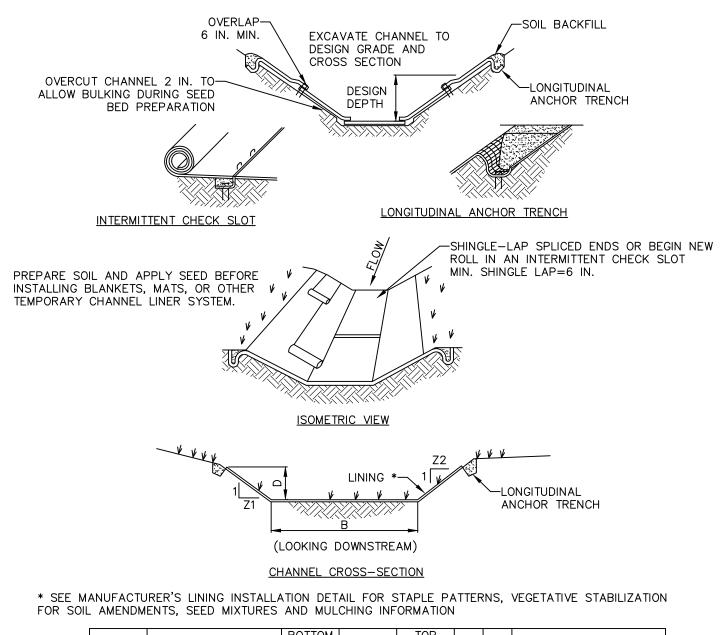
EROSION CONTROL SLOPE STABILIZATION DETAIL

(NOT TO SCALE)

35' MAX. PROFILE



DRAIN SPACE



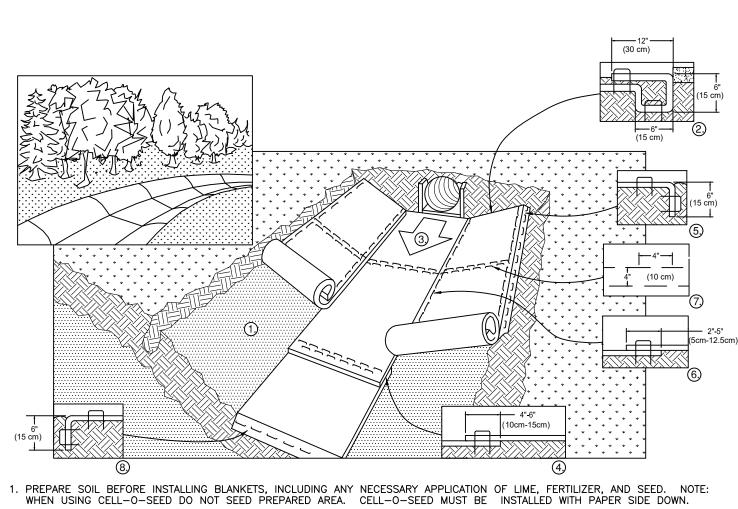
CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING*
PS-1	NORTHEASTERN PROPERTY LINE	2	1.00	6.0	3	3	NAG SC250

<u>NOTES:</u>

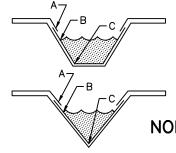
1. ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.

- CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
- 3. NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

VEGETATED CHANNEL (NOT TO SCALE)



- 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WITH OF THE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
- 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SUFFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SUFFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN. 4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" (10cm-15cm) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10cm) APART AND 4" (10cm) ON CENTER TO SECURE BLANKETS.
- 5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. 6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (5cm-12.5cm) (DEPENDING ON BLANKET TYPE) AND STAPLED. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH[™]ON THE BLANKET BEING OVERLAPPED.
- 7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9m-12m) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10cm) APART AND 4" (10cm) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL. 8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

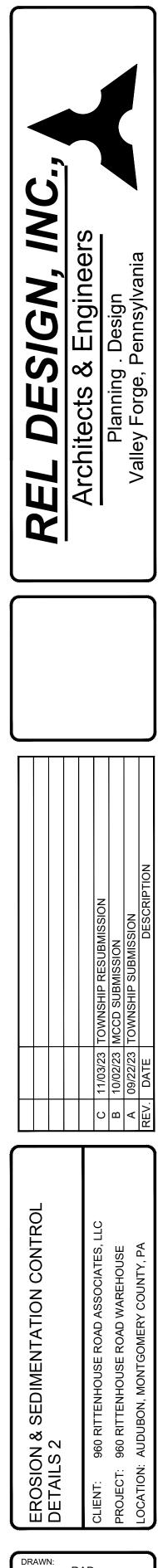


CRITICAL POINTS A. OVERLAPS AND SEAMS B. PROJECTED WATER LINE CHANNEL BOTTOM/SIDE SLOPE VERTICES

* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE. ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

AMERICAN GREEN CHANNEL STABILIZATION (NOT TO SCALE)

> PRELIMINARY NOT FOR CONSTRUCTION



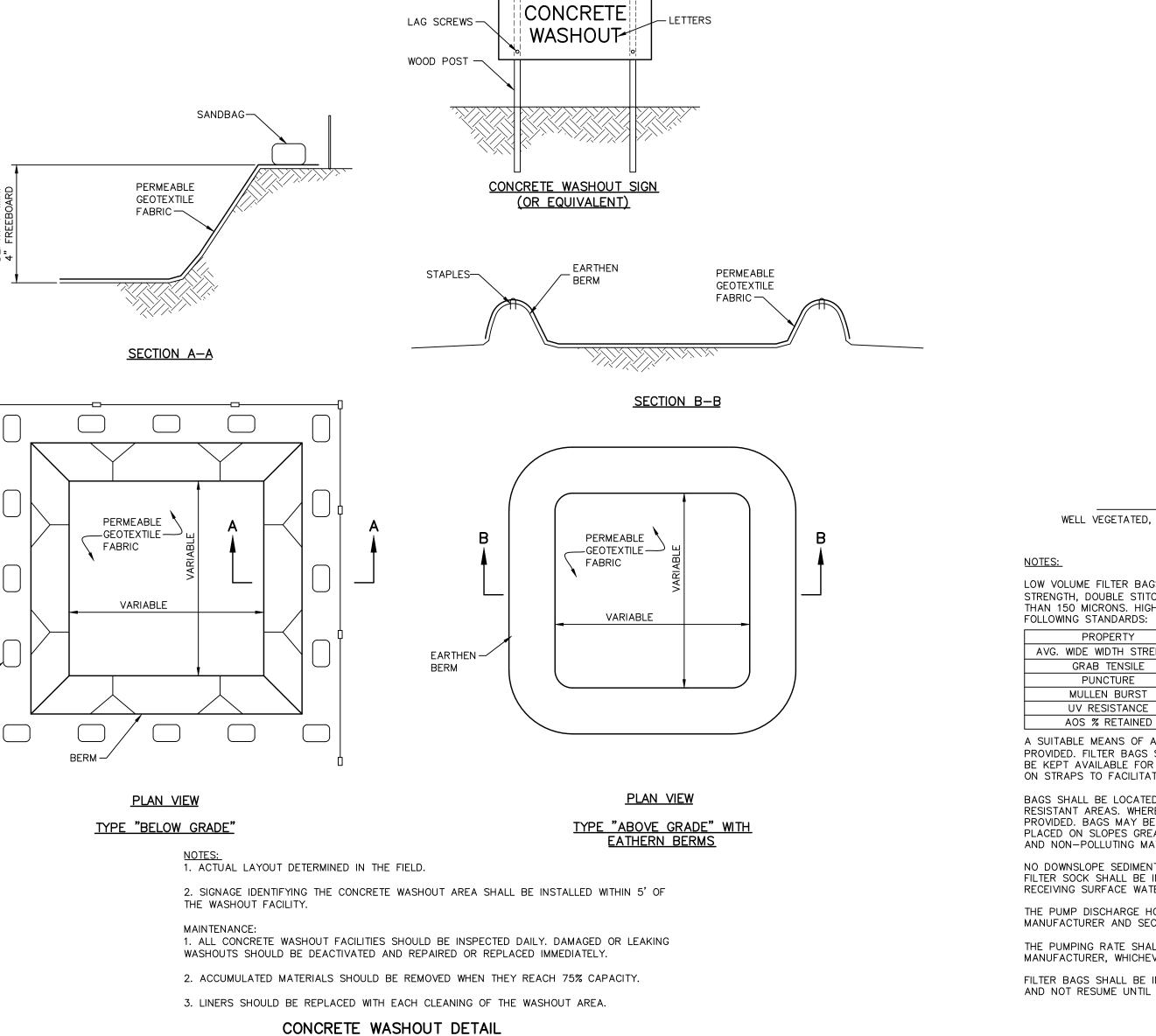


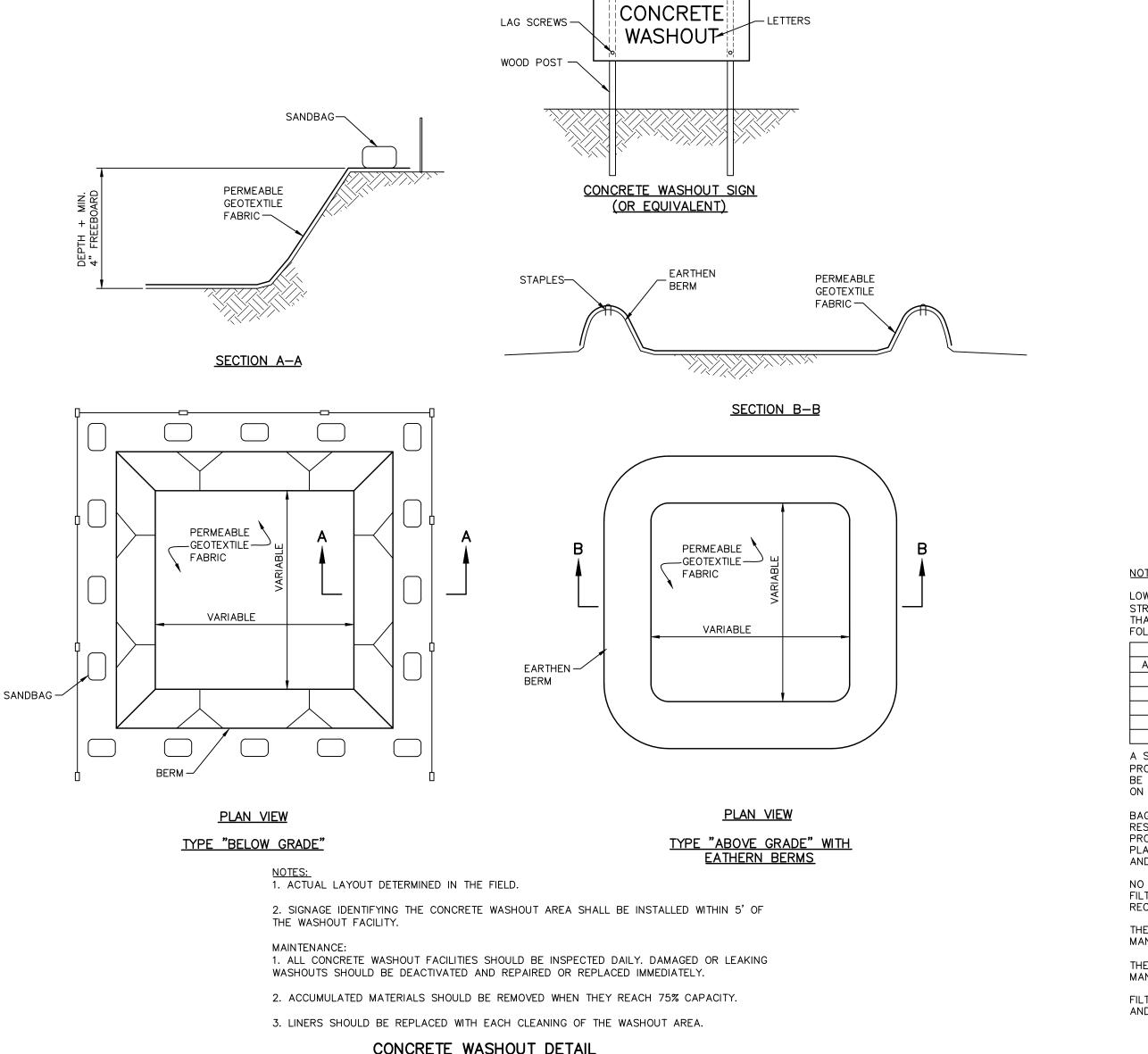
<u>FLOW</u>

NOTES:

SIEVE.

TO THE PLAN NOTES.

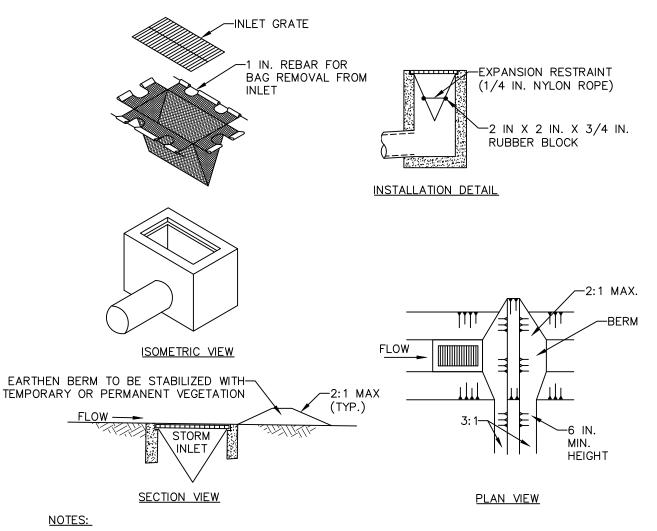




SERIAL NO. 20222781727 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc

-800-242-1776

83



MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

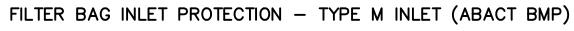
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

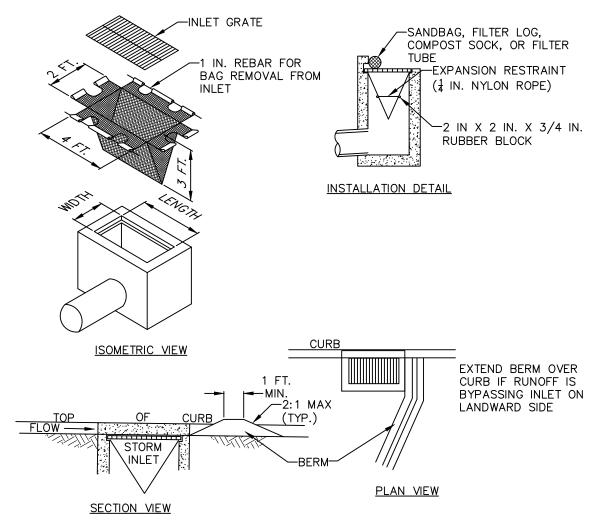
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

(NOT TO SCALE)





NOTES:

PLYWOOD

PAINTED WHITE

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

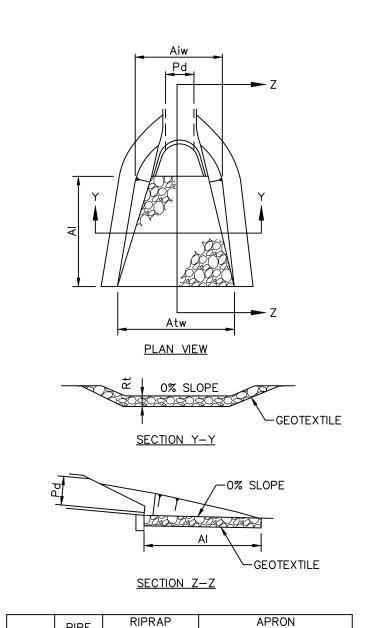
ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. FILTER BAG INLET PROTECTION - TYPE C INLET (ABACT BMP) (NOT TO SCALE)

(NOT TO SCALE)

EXTEND BERM OVER CURB IF RUNOFF IS BYPASSING INLET ON

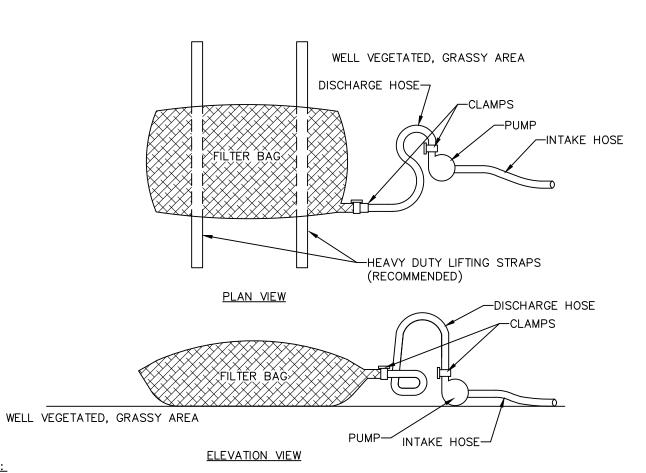


OUTLET NO.	DIA Pd (IN)	SIZE R	THICK. Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
4A	18	3	12	7	4.50	7.3
13A	15	3	12	6	3.75	6.15
22	15	3	12	6	3.75	6.15
24	15	3	12	6	3.75	6.15
29	18	3	12	13	4.50	9.7

NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.





LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE

PROPERTY	TEST METHOD	MINIMUM STANDARD
G. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST

FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

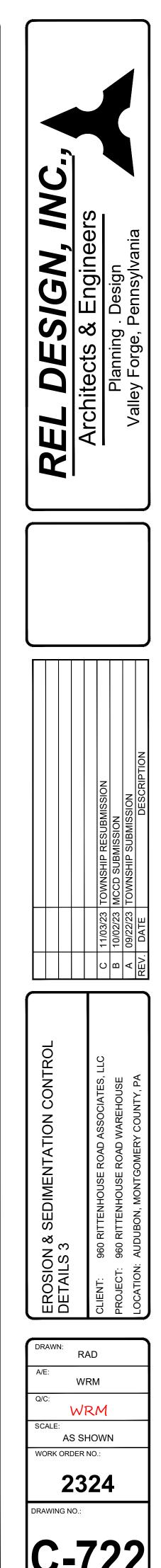
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

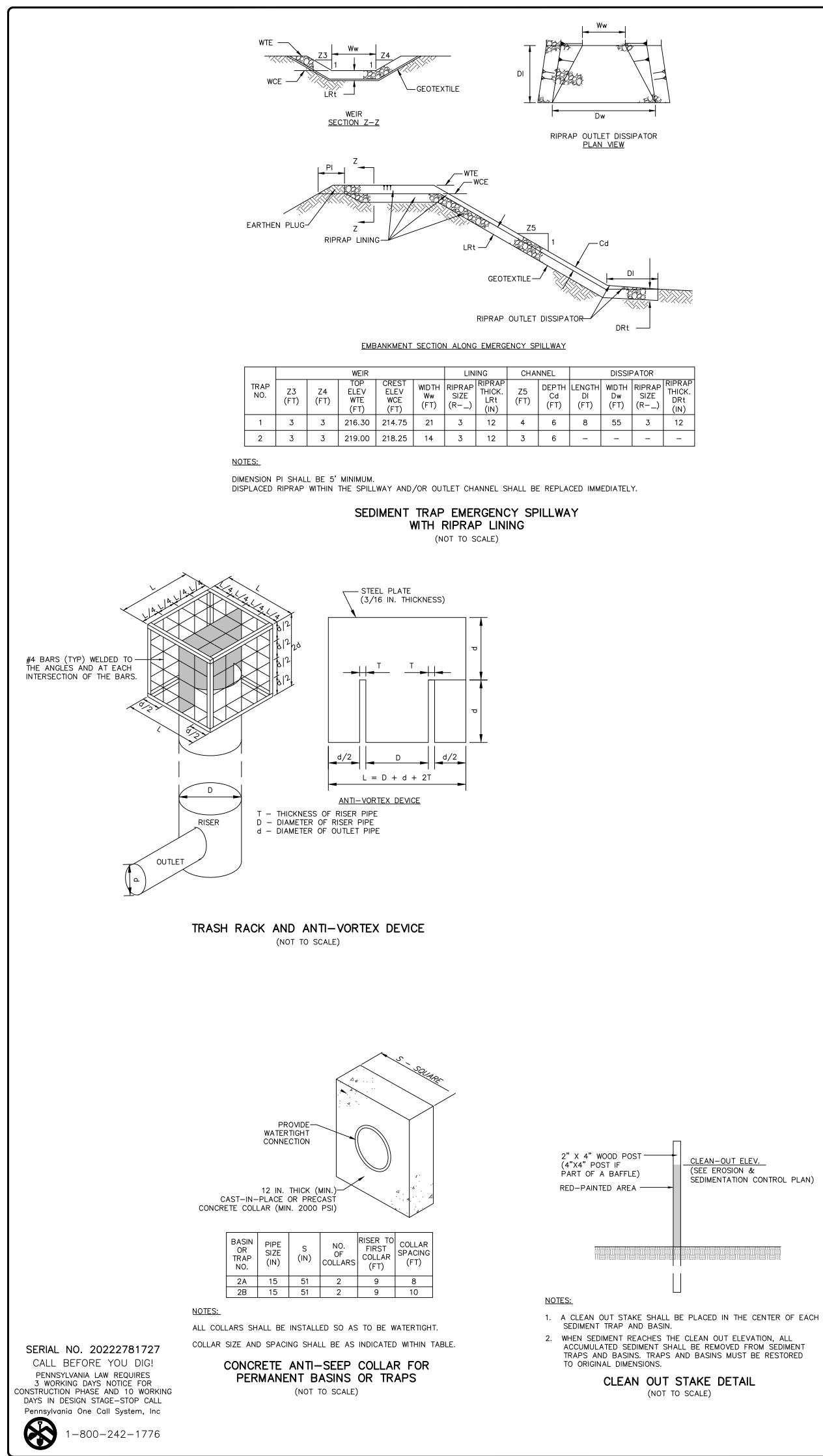
THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

> PUMPED WATER FILTER BAG (NOT TO SCALE)

PRELIMINARY NOT FOR CONSTRUCTION





SKIMMER (ABACT BMP) (NOT TO SCALE)

A SEMI-CIRCULAR LANDING ZONE MAY BE SUBSTITUTED FOR THE GUIDE RAILS.

THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS. SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE LANDING DEVICE.

SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION. ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW

ORIFICE DIAMETER MUST BE EQUAL TO OR LESS THAN ARM DIAMETER A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.

SEDIMENT TRAP 1 OUTLET PIPE WILL BE A 4" PVC SCH 40 THROUGH THE BERM TO THE EXISTING

DEVICE

ELEVATION

(FT)

ELEVATION

(FT)

212.20

214.50

SURFACE LENGTH DIA. DIA.

ELEVATION | (FT) | (IN) | (IN)

NO.

(FT)

INLET

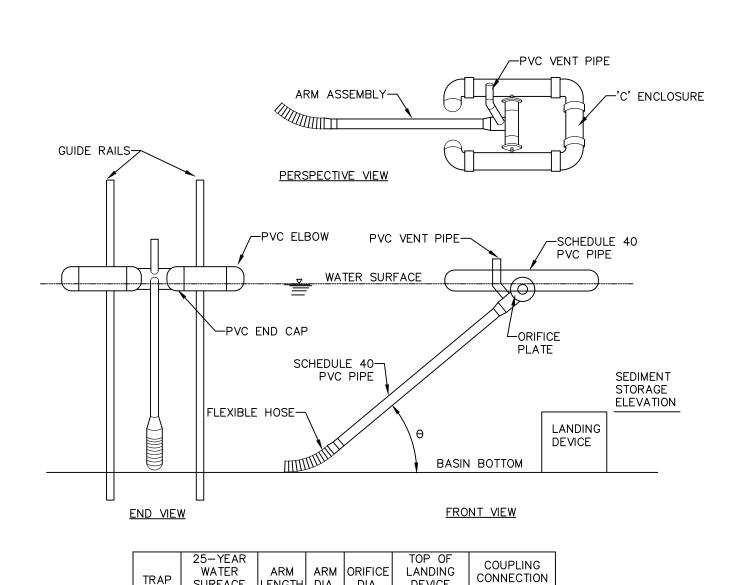
215.05 8 3 3.2 213.50

2 218.22 8 1.5 1.9 215.50

NOTES:

3 215.72 8 1.5 2.0 213.50 212.50

CLEAN-OUT ELEV. (SEE EROSION & SEDIMENTATION CONTROL PLAN)



SPILLWAYS AND/OR EMBANKMENTS SHALL BE IMMEDIATELY RESTORED TO THE DESIGN SPECIFICATIONS. DISPLACED RIPRAP WITHIN THE SPILLWAY OR OUTLET PROTECTION SHALL BE REPLACED IMMEDIATELY.

ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE TRAP IN THE MANNER DESCRIBED IN THE E&S CHECK EMBANKMENTS, SPILLWAYS, AND OUTLETS FOR EROSION, PIPING AND SETTLEMENT. CLOGGED OR DAMAGED

REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE TRAP RESTORED TO ITS

A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH TRAP. ACCUMULATED SEDIMENT SHALL BE

PLAN.

ALL SEDIMENT TRAPS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT.

ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES SHALL BE PROVIDED.

ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS INSIDE THE TRAP SHALL BE STABILIZED BEFORE

CONVERSION TO A STORMWATER MANAGEMENT FACILITY. TO ASSIST IN REMOVING SEDIMENT, WHICH MAY BE

SATURATED, A DEVICE SUCH AS IS SHOWN IN STANDARD CONSTRUCTION DETAIL #7-18 MAY BE USED TO DEWATER

SEDIMENT TRAP - EMBANKMENT SPILLWAY (ABACT BMP)

(NOT TO SCALE)

OR LARGER R-4 TO BE USED FOR DRAINAGE AREAS GREATER THAN 3.0 ACRES, INSIDE FACE AASHTO #57 STONE OR SMALLER. A 6 IN. THICK LAYER OF COMPOST, COMPOST SOCK, OR CLEAN SAND SHALL BE INSTALLED ON TOP OF THE AASHTO #57 STONE AND SECURELY ANCHORED IN HQ WATERSHEDS. 24 IN. DIAMETER COMPOST SOCK(S) SHALL BE USED IN PLACE OF FILTER FABRIC AND AASHTO #57 STONE IN EV WATERSHEDS. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 6 IN. UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE

-FILTER FABRIC

| (FT) | (FT)

2.3 | 216.30 | 214.75 | 213.50 | 212.50 |

OUT ELEV.

COE

BOTTOM SPILLWAY

ELEV. WIDTH

SW

21

14

(FT)

BE

(FT)

MBANK. SPILLWAY CLEAN

CREST

ELEV.

SCE

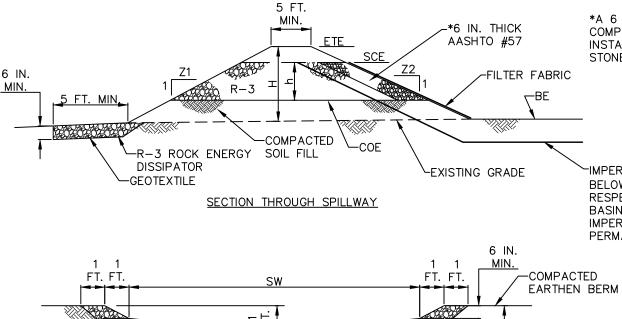
IMPERMEABLE LINER TO BE INSTALLED 12" BELOW GRADE (CONTRACTOR TO INSTALL TO RESPECT INFILL OF SOIL MEDIA DURING BASIN CONVERSION TO MRC BASIN. IMPERMEABLE LINER TO REMAIN IN THE PERMANENT CONDITION.

*A 6 IN. THICK LAYER OF COMPOST,

STONE AND SECURELY ANCHORED.

COMPOST SOCK, OR CLEAN SAND SHALL BE

INSTALLED ON TOP OF THE AASHTO #57



🔨 AASHTO NO. 57—

INSIDE FACE

TOP

ELEV.

ETE

(FT)

EMBANKMENT OUTLET SHALL BE COMPOSED ENTIRELY OF ROCK ABOVE CLEAN OUT ELEVATION (COE); MAIN BODY R-3

3** 4.5 3.8 219.00 218.25 215.50 214.50

STAKES-

Z2

** 2:1 SLOPE FROM ELEVATION 216.50 TO TRAP BOTTOM.

(FT) | (FT) | (FT) | (FT)

3.8

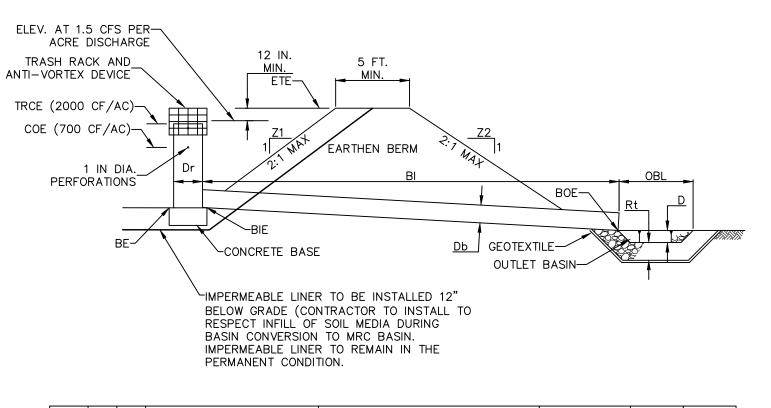
TRAP

NO.

NOTES:

E&S PLAN DRAWINGS.

THE SEDIMENT PRIOR TO ITS REMOVAL.



						RISER				BARR	EL		EMBANK	MENT	CLEAN	воттом
	TRAP NO.	Z1 (FT)	Z2 (FT)	MAT'L	DIA Dr (IN)	CREST ELEV RCE (FT)	BOT PERF ELEV (FT)	MAT'L	DIA Bd (IN)	INLET ELEV BIE (FT)	LENGTH BI (FT)	OUTLET ELEV BOE (FT)	TOP ELEV ETE (FT)	TOP WIDTH Etw (FT)	OUT ELEV COE (FT)	ELEV BE (FT)
	3	3*	3	CMP	18	215.00	213.50	RCP	15	212.50	38	212.30	217.35	10	213.50	212.50
-						CONC								7		

		CREIE E	ASE		00	ILE I BA	SIN	
TRAP NO.	LENGTH CBI (IN)	WIDTH CBw (IN)	THICK. CBt (IN)	RIPRAP SIZE (R)	ROCK THICK Rt (IN)	DEPTH D (IN)	WIDTH OBW (FT)	LENGTH OBL (FT)
3	48	48	18	NA	NA	NA	NA	NA

* 2:1 SLOPE FROM ELEVATION 214.50 TO TRAP BOTTOM.

<u>NOTES:</u>

SEE DETAIL #8-3 TEMPORARY RISER FOR DETAILS OF THE TEMPORARY RISER CONSTRUCTION.

FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS.

UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS.

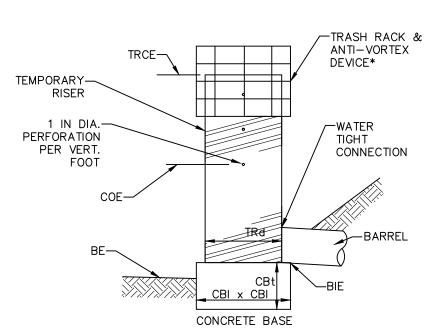
ALL SEDIMENT TRAPS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES SHALL BE PROVIDED.

A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH TRAP. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE TRAP IN THE MANNER DESCRIBED IN THE E&S PLAN.

CHECK EMBANKMENTS, SPILLWAYS, AND OUTLETS FOR EROSION, PIPING AND SETTLEMENT. CLOGGED OR DAMAGED SPILLWAYS AND/OR EMBANKMENTS SHALL BE IMMEDIATELY RESTORED TO THE DESIGN SPECIFICATIONS. DISPLACED RIPRAP WITHIN THE OUTLET PROTECTION SHALL BE REPLACED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS INSIDE THE TRAP SHALL BE STABILIZED BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. TO ASSIST IN REMOVING SEDIMENT, WHICH MAY BE SATURATED, A DEVICE SUCH AS IS SHOWN IN STANDARD CONSTRUCTION DETAIL #7-18 MAY BE USED TO DEWATER THE SEDIMENT PRIOR TO ITS REMOVAL.

BARREL/RISER SEDIMENT TRAP (ABACT BMP) (NOT TO SCALE)



* SEE STANDARD CONSTRUCTION DETAIL #7-5, TRASH RACK AND ANTI-VORTEX DEVICE ** LOWEST HOLE AT SEDIMENT CLEAN-OUT ELEVATION

		TEMPORA	RY RISE	R	CO	NCRETE	BASE	BARREL
 RAP NO.	DIA TRd (IN)	CREST ELEV TRCE (FT)	MATL	CLEAN OUT ELEV. COE (FT)	LENGTH CBI (IN)	WIDTH CBw (IN)	THICK. CBt (IN)	INLET ELEV BIE (FT)
3	18	215.00	CMP	213.50	48	48	18	212.50

NOTES:

A MINIMUM OF 2-#8 REBAR SHALL BE PLACED AT RIGHT ANGLES AND PROJECTING THROUGH SIDES OF RISER TÖ ANCHOR IT TO CONCRETE BASE. REBAR SHALL PROJECT A MINIMUM OF 1/4 RISER DIAMETER BEYOND OUTSIDE OF RISER.

CONCRETE BASE SHALL BE POURED IN SUCH A MANNER SO AS TO INSURE THAT CONCRETE FILLS BOTTOM OF RISER TO INVERT OF THE OUTLET PIPE TO PREVENT RISER FROM BREAKING AWAY FROM THE BASE. MINIMUM BASE WIDTH EQUALS 2 TIMES RISER DIAMETER.

EMBEDDED SECTION OF ALUMINUM OR ALUMINIZED PIPE SHALL BE PAINTED WITH ZINC CHROMATE OR EQUIVALENT.

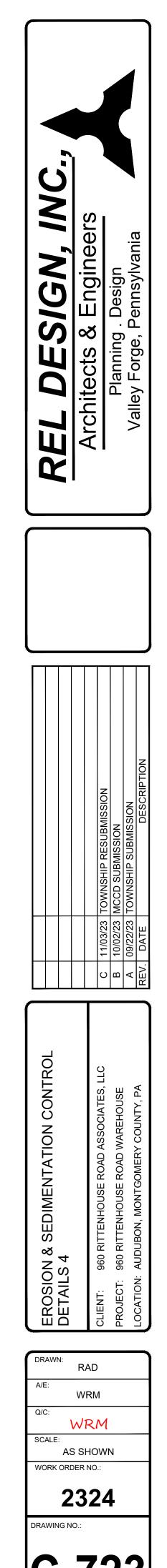
CLOGGED OR DAMAGED SPILLWAYS SHALL BE REPAIRED IMMEDIATELY. TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM THE BASIN AND RISER.

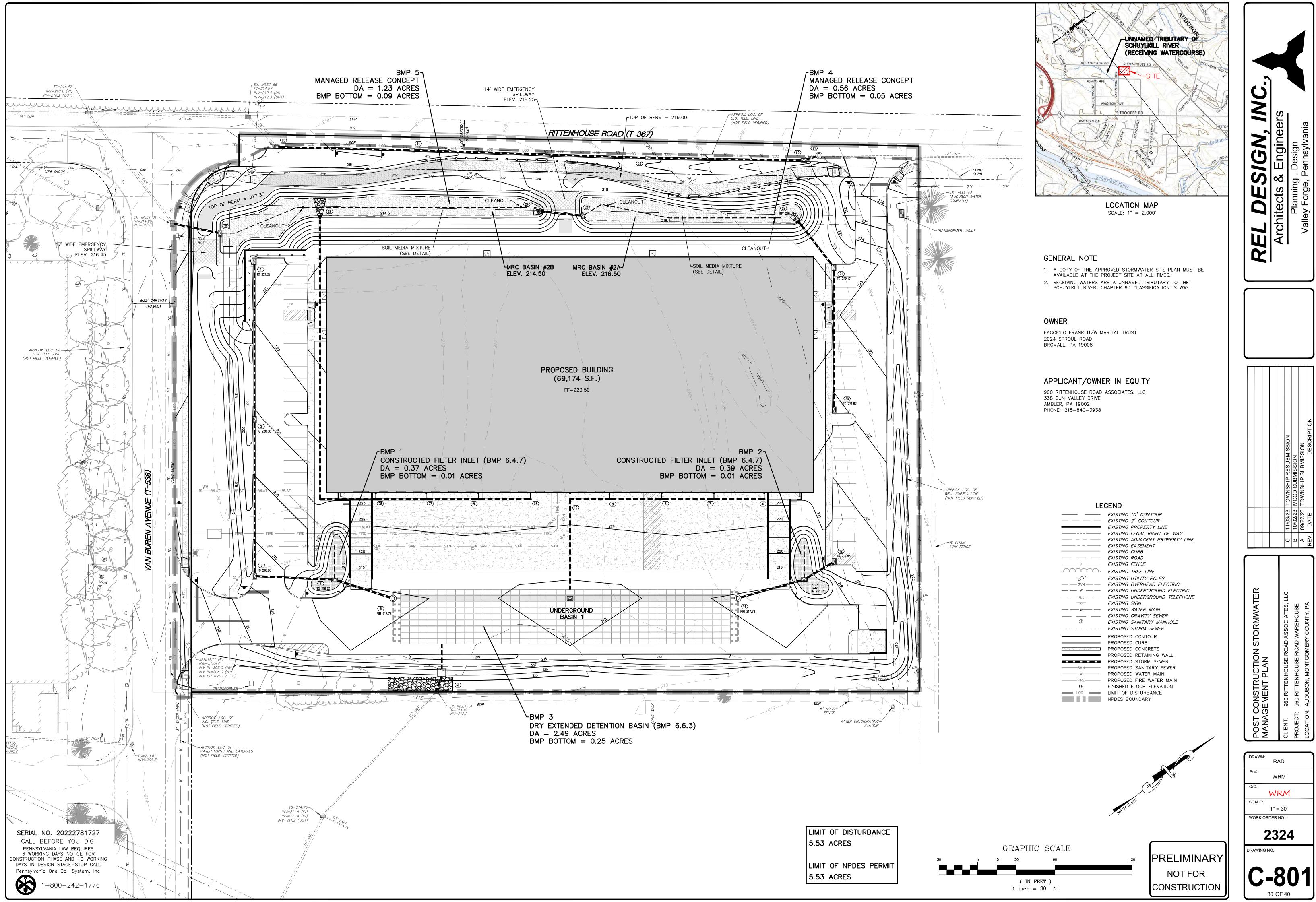
> SEDIMENT TRAP TEMPORARY RISER (NOT TO SCALE)

> > PRELIMINARY

NOT FOR

CONSTRUCTION





EXISTING CONDITIONS - USES:

THIS SITE HAS PREVIOUSLY BEEN USED, IS CURRENTLY USED AND IS PROPOSED TO BE USED AS AN INDUSTRIAL LOT.

OWNERSHIP. OPERATIONS AND MAINTENANCE PROCEDURES: MAINTENANCE PROCEDURES/RESPONSIBILITIES

THE OWNERS, THEIR HEIRS, ASSIGNEES, AND/OR GRANTEES OF THE PROPERTY SHOWN ON THIS PLAN SHALL BE RESPONSIBLE FOR THE OPERATION, MAINTENANCE, REPAIR, RECONSTRUCTION, AND/OR REPLACEMENT OF THE STORMWATER MANAGEMENT FACILITIES, INCLUDING BUT NOT LIMITED TO INLETS, OUTLETS, DRAINAGE PIPE(S), ENERGY DISSIPATION FACILITIES, FENCING, DRAINAGE SWALE(S), INFILTRATION PRACTICE FACILITIES, BEST MANAGEMENT PRACTICE (BMP) FACILITIES, DETENTION FACILITIES, NATURAL WATERCOURSES AND POND(S), WHICH ARE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTY. SAID MAINTENANCÉ SHALL INCLUDE, BUT NOT BE LIMITED TO CLEANING, REMOVAL OF POLLUTANTS AND DEBRIS. REPAIR OF EROSION CONDITIONS. CLOSURE OF SINKHOLES. AND MAINTENANCE OF VEGETATION. NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED WITHIN THE DRAINAGE EASEMENTS SHOWN ON THE PLANS. NOR SHALL THE STORMWATER MANAGEMENT FACILITIES PLANNED FOR THE DRAINAGE EASEMENTS BE ALTERED FROM DESIGN CONDITIONS SHOWN ON PLANS AS APPROVED BY THE GOVERNING MUNICIPALITY

MAINTENANCE OWNERSHIP

UPON COMPLETION OF THE PROPOSED BMP'S, OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR SAID BMP'S SHALL BE 960 RITTENHOUSE ROAD ASSOCIATES,

WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY.

RESPONSIBLE PARTY/PERMITTEE

(CONSTRUCTION & STABILIZATION OF POST CONSTRUCTION BMP'S) 960 RITTENHOUSE ROAD ASSOCIATES, LLC

RESPONSIBLE PARTY

(ON-GOING OPERATION & MAINTENANCE OF POST CONSTRUCTION BMP'S) 960 RITTENHOUSE ROAD ASSOCIATES, LLC

WATERSHED CLASSIFICATION: THE RECEIVING WATERSHED OF THIS PROJECT IS THE SCHUYLKILL RIVER, ACCORDING TO PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION. THE CHAPTER 93 CLASSIFICATION OF THIS WATERSHED IS WWF (WARM WATER FISH).

RECEIVING SURFACE WATERS: AN UNNAMED TRIBUTARY TO THE SCHUYLKILL RIVER.

DISPOSAL OF WASTE NOTE: ANY CONSTRUCTION WASTES ARE TO BE DISPOSED OF SAFELY PER LOCAL AND STATE REQUIREMENTS.

GEOLOGIC FORMATIONS/SOIL CONDITIONS:

AS PER THE ROUX, INC. LETTER DATED 9/11/23, THE STORMWATER MANAGEMENT BMP'S HAVE BEEN SELECTED THAT DO NOT INCLUDE INFILTRATION. THERE ARE NO NATURALLY OCCURRING GEOLOGIC FORMATIONS ONSITE.

RIPARIAN BUFFERS: THERE ARE NO DEFINED RIPARIAN BUFFERS OR RIPARIAN FOREST BUFFERS ONSITE.

EXISTING CONDITIONS NOTE: THE SITE WAS PREVIOUSLY DEVELOPED AND CURRENTLY CONSISTS OF A SINGLE-STORY INDUSTRIAL BUILDING WITH AN APPROXIMATE FOOTPRINT OF 25,157+/- S.F. AND ASSOCIATED PARKING. ADDITIONALLY, EXISTING SUPPORT INFRASTRUCTURE SUCH AS ELECTRIC, FIBER, STORM SEWER, SANITARY SEWER AND WATER SERVICE FXIST ON SITE AS PART OF THE PREVIOUS DEVELOPMENT

MAINTENANCE INSPECTIONS NOTE: INSPECTIONS MUST BE LOGGED AND MUST BE KEPT ON SITE AT ALL TIMES.

ENVIRONMENTAL DUE DILIGENCE:

INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS, OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IT THE FILL MAY HAVE BEEN AFFECTED BY THE SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEP'S POLICY "MANAGEMENT OF FILL." FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE

ANTICIPATED CONSTRUCTION WASTES:

1. TREES - CHIPPED AND REMOVED OFFSITE FOR MULCH.

2. BUILDING MATERIALS - SHALL BE REMOVED AND DISPOSED OF AT PROPER RECYCLING FACILITY AS PER NOTE #10 OF THE GENERAL EROSION & SEDIMENT CONTROL NOTES.

3. ROCK WASTE - ALL ROCKS THAT ARE SUITABLE FOR LANDSCAPING USES SHALL BE USED ON SITE OR AT ANOTHER FACILITY. 4 SOIL WASTE - ALL EXCAVATED SOIL SHALL BE USED ON SITE AS FILL MATERIAL WHERE POSSIBLE ANY EXCESS MATERIAL NOT USED ON SITE MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH

DISTURBANCE AND NPDES PERMIT APPROVED AND WERE ALL BMPS ARE PROPERLY INSTALLED. ALL SEDIMENT REMOVED DURING MAINTENANCE AND CLEANING OF EROSION AND SEDIMENTATION CONTROLS DEVICES WILL BE INCORPORATED INTO THE FINE GRADING UPSTREAM FROM A SEDIMENT CONTROL DEVICE. EXCESS MATERIAL THAT IS REMOVED FROM EROSION AND SEDIMENTATION CONTROL MEASURES AND CANNOT BE INCORPORATED INTO THE FINE GRADING STABILIZATION SHALL BE REMOVED FROM THE SITE AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVAL AND WERE ALL BMPS ARE PROPERLY INSTALLED.

5. SEDIMENT REMOVAL FROM ALL SEDIMENT BASINS TO BE RETURNED TO SITE UPSTREAM OF ALL PROPOSED BMP'S.

MINIMIZE IMPERVIOUS AREAS:

THE PROPOSED SITE IMPERVIOUS IS WITHIN THE ALLOWABLE PERMITTED BY THE LOWER PROVIDENCE TOWNSHIP ZONING ORDINANCE.

THERMAL IMPACTS: THERMAL IMPACTS CONSIST OF WATER BEING STAGNANT WITHIN THE BASINS FOR AN EXTENDED PERIOD OF

TIME AND WATER RUNNING OVER ASPHALT FOR AN EXTENDED PERIOD OF TIME. BOTH ARE PREVENTED DUE THE PROPOSED FILTRATION WITHIN MRC BASINS #2A & #2B, AS WELL AS CONVEYANCE FACILITIES WITHIN THE ASPHALT

RECYCLING NOTE: THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND

WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ. 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL WASTES AT THE SITE. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

FILL MATERIALS:

WHEN FILL IS TO BE IMPORTED FROM OFF-SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THAT THE FILL IS CLEAN FILL AND TO PERFORM THE ENVIRONMENTAL DUE DILIGENCE. MATERIAL THAT IS BEING USED FROM ON-SITE IS NOT REQUIRED TO BE DETERMINED AS CLEAN FILL BY THE CONTRACTOR UNLESS THERE IS A BELIEF THAT A SPILL OR RELEASE OF A REGULATED SUBSTANCE OCCURRED ON SITE. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT. SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATER OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

CLEAN FILL REQUIREMENTS:

- CLEAN FILL IS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED.
- 2. CLEAN FILL FORM FP-001 MUST BE COMPLETED AND GIVEN TO REGULATORY AGENCY TO CERTIFY THE ORIGIN OF THE FILL MATERIAL.

SERIAL NO. 20222781727 CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR

CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc



PROJECT WASTES AND RECYCLING OR DISPOSAL OF MATERIAL:

NEEDED FOR SITE GRADING OR NOT SUITABLE FOR USE AT THE SITE AS FILL OR TOPSOIL. CLEARED TREES WILL BE LOGGED AND SOLD COMMERCIALLY, IF POSSIBLE, AND REMAINING MATERIALS WILL BE DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S REQUIREMENTS. EXCESS MATERIAL NOT UTILIZED FOR SITE CONSTRUCTION WILL BE STOCKPILED ON-SITE AND, IF REQUIRED, DISPOSED OF AT A PERMITTED SITE AND IN ACCORDANCE WITH DEPARTMENT REGULATIONS. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS MATERIAL.

CHAPTER 102 REQUIREMENTS:

MINIMIZE SOIL COMPACTION:

102.4(8) - THE EROSION AND SEDIMENT CONTROL PLAN HAS BEEN DESIGNED TO PREVENT ACCELERATED EROSION AND SEDIMENTATION. THE FOLLOWING IS A DESCRIPTION OF THE FACTORS CONSIDERED.

- MINIMIZE THE EXTENT AND DURATION OF THE EARTH DISTURBANCE EROSION AND SEDIMENT POLLUTION CONTROL PLAN HAS BEEN DESIGNED SO THE TIME PERIOD BETWEEN INITIAL DISTURBANCE AND FINAL STABILIZATION IS MINIMIZED. THE DISTURBED AREA HAS BEEN DETERMINED AND DELINEATED ON THE PLANS, ALSO A SEQUENCE OF EARTH MOVING HAS BEEN PROVIDED ON THE PLANS AND IN THE NARRATIVE TO DESCRIBE THE VARIOUS CONSTRUCTION STEPS IN ORDER TO COMPLETE THE PROJECT IN AN ORDERLY AND IN A PRACTICAL OMPRESSED PLANNED TIME FRAME AND TO ENSURE THE TEMPORARY AND FINAL STABILIZATION THROUGH ALL CONSTRUCTION ACTIVITIES.

- MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION: THE SITE WAS DESIGNED AND PLANNED TO PRESERVE NATURAL DRAINAGE PATHS AND VEGETATION MAXIMUM PROTECTION OF THE EXISTING CHANNELS WILL BE ACHIEVED BY USING: UPSTREAM VOLUME AND RATE CONTROL BMP'S, EROSION CONTROL MATTING, AND ROCK FILTERS AS REQUIRED. IN ADDITION, EXISTING VEGETATION, ESPECIALLY EXISTING TREES SHALL BE PRESERVED WHEREVER POSSIBLE. THE FENCING WAS PLANNED TO AVOID DISTURBANCE OF TREES.

DURING THE CONSTRUCTION PROCESS, MINIMUM SOIL COMPACTION SHALL BE APPLIED WHEREVER POSSIBLE TO PROTECT NATIVE VEGETATION. TREES AND SOIL. -TOPSOIL STOCKPILING AND STORAGE AREAS SHALL BE PROTECTED AND MAINTAINED.

-E&S PLANS UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF: EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN DESIGNED TO PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF. THROUGH THE USE OF EFFECTIVE, EFFICIENT, AND PRACTICAL E&S BMP'S, THE DISTURBED AREAS HAVE BEEN PROVIDED ON THE PLANS. THE SEQUENCE OF EARTH MOVING HAS BEEN PROVIDED ON THE PLANS AND IN THE NARRATIVE TO DESCRIBE THE VARIOUS CONSTRUCTION STEPS IN ORDER TO COMPLETE THE PROJECT AND TO ENSURE THE FINAL STABILIZATION AND TO PREVENT GENERATION OF INCREASED STORMWATER RUNOFF.

-TEMPORARY AND PERMANENT STABILIZATION SHALL BE PROVIDED DURING THE EARTH DISTURBANCE, AND FINAL PERMANENT STABILIZATION SHALL BE PROVIDED FOR ALL DISTURBED AREAS.

-LOCATIONS AND DETAILS OF STABILIZED STOCKPILES HAVE BEEN SHOWN ON THE PLANS. -ALL RUNOFF FROM DISTURBED AREAS SHALL BE COLLECTED AND CONVEYED TO BMP'S FOR SEDIMENT

PCSM GENERAL NOTES:

REMOVAL

FOLLOWS:

PERMIT TERMINATION UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPS IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS). THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OF CONSERVATION DISTRICT.

THE NOTICE OF TERMINATION MUST INCLUDE: (1) THE FACILITY NAME, ADDRESS AND LOCATION.

2) THE OPERATOR NAME AND ADDRESS. (3)THE PERMIT NUMBER.

4) THE REASON FOR PERMIT TERMINATION. (5) IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS IN ACCORDANCE WITH § 102.8(M) AND PROOF OF COMPLIANCE WITH § 102.8(M)(2).

PCSM REQUIREMENTS: PCSM REPORTING AND RECORD KEEPING. THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS

LICENSED PROFESSIONAL OVERSIGHT OF CRITICAL STAGES. A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPS, STRUCTURALLY ENGINEERED BMPS OR OTHER BMPS AS DEEMED APPROPRIATE BY THE DEPARTMENT OF THE CONSERVATION DISTRICT

FINAL CERTIFICATION. THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION 'RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS

DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA.C.S.A. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

(2)THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS: UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPS ON THE

PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE. THE DEPARTMENT OR CONSERVATION DISTRICT WILL CONDUCT A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION WITHIN 30 DAYS.

THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS.

FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO ONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMPS AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROOF OF FILING

WITH THE NOTICE OF TERMINATION UNDER \$102.7(8)(5) (RELATING TO PERMIT TERMINATION). THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPS OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE WITH PROVIDE NOTICE

THEREOF TO THE DEPARTMENT A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE

PCSM BMPS LOCATED ON THE PROPERTY. THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE SHALL PROVIDE INSPECTION OF PCSM BMPS, INCLUDING THE REPAIR, REPLACEMENT, OR OTHER ROUTINE MAINTENANCE OF PCSM BMPS TO ENSURE PROPER FUNCTION AND OPERATION. THEY MUST ALSO PROVIDE FOR COMPLETION OF A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR AND

NPDES PERMIT DESIGN / CONSTRUCTION PROJECT CONSIDERATIONS

- MINIMIZES THE EXTENT AND THE DURATION OF EARTH DISTURBANCE: THROUGH USE OF THE SEQUENCE OF CONSTRUCTION, THE EXTENT AND DURATION OF EARTH DISTURBANCE WILL BE MINIMIZED.
- PRESERVE THE INTEGRITY AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICA QUALITIES OF THE RECEIVING STREAM. THE WATERSHED DISCHARGE POINTS WERE PRESERVED SO THAT THERE WAS POSITIVE IMPACT TO THE PHYSICAL BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM. BY USING THE PROPOSED BMPS. POST CONSTRUCTION RUNOFF VOLUME WILL BE LESS THAN THE PRECONSTRUCTION RUNOFF VOLUME. ADDITIONALLY, WATER QUALITY TREATMENT WILL TAKE PLACE TO MAINTAIN THE PROPERTIES OF THE RECEIVING STREAM.
- PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF. WITH THE PROPOSED STORMWATER MANAGEMENT IMPROVEMENTS, THE STORMWATER RUNOFF RATE WILL NOT INCREASE FOR EACH STORM EVENT AND WILL MEET LOCAL LOWER PROVIDENCE TOWNSHIP REQUIREMENTS.
- MINIMIZE ANY INCREASE IN STORMWATER RUNOFE VOLUME. WITH THE PROPOSED BMP'S STORMWATER
- RUNOFF VOLUME DECREASES IN THE POST CONSTRUCTION SCENARIO VERSUS THE PRE CONSTRUCTION. • MINIMIZE IMPERVIOUS AREAS. THE PROPOSED SITE IMPERVIOUS IS WITHIN THE ALLOWABLE PERMITTED BY THE LOWER PROVIDENCE TOWNSHIP ZONING ORDINANCE.
- MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION. THE DISCHARGE POINT LOCATIONS WERE KEPT CONSISTENT IN THE POST CONSTRUCTION DESIGN. WITH THE
- PROPOSED EROSION BMPS, ALL SILT WILL REMAIN WITHIN THE LIMIT OF DISTURBANCE. • MINIMIZE LAND CLEARING AND GRADING. THE CLEARING AND GRADING IS BEING MINIMIZED FOR THE
- PROJECT BY ONLY CLEARING AND GRADING AREAS REQUIRED TO BE DISTURBED. • MINIMIZED SOIL COMPACTION. NO HEAVY CONSTRUCTION VEHICLES SHALL BE PARKED IN THESE AREAS.
- STABILIZATION METHODS SHALL TAKE PLACE IMMEDIATELY UPON COMPLETION OF THE GRADING. · GEOLOGIC FORMATION/SOIL CONDITIONS WHICH HAVE POTENTIAL TO CAUSE POLLUTION CONSIST OF EARTH MOVING ACTIVITIES, AS WELL AS THE TIME PERIOD BETWEEN STABILIZATION OF SOIL. THESE MEASURES CAN BE PREVENTED BY ACTING ON STABILIZATION METHODS AS SOON AS POSSIBLE. ANY

CONFIRM THAT STABILIZATION HAS NOT BEEN AFFECTED.

PROJECT WASTES ARE ANTICIPATED TO INCLUDE CLEARED VEGETATION, AND EXCESS FILL MATERIAL NOT

SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OF THE CONSERVATION DISTRICT.

(1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM

MAINTENANCE ACTIVITIES AND HOW ACCESS TO THE PCSM BMPS WILL BE PROVIDED.

EARTH MOVING ACTIVITY MUST BE STABILIZED, AND THEN CHECKED AFTER EVERY RAIN EVENT TO

PCSM BMP FAILURES AND RESOLUTIONS:

PRIMARY CAUSES OF REDUCED PERFORMANCE AND RESOLUTIONS: POOR CONSTRUCTION TECHNIQUES, ESPECIALLY SOIL COMPACTION/SMEARING, WHICH RESULTS IN SIGNIFICANTLY REDUCED INFILTRATION RATES SCARIFY THE BASIN BOTTOM AND ADD A LAYER OF SAND. GRAVEL OR AMENDED SOILS.

A LACK OF SITE SOIL STABILIZATION PRIOR TO THE BMP RECEIVING RUNOFF, WHICH GREATLY INCREASES THE POTENTIAL FOR SEDIMENT CLOGGING FROM CONTIGUOUS LAND SURFACES. SCARIFY THE BASIN BOTTOM AND ADD A LAYER OF SAND, GRAVEL OR AMENDED SOILS. 3. INADEQUATE PRETREATMENT, ESPECIALLY OF SEDIMENT-LADEN RUNOFF, WHICH CAN CAUSE A

GRADUAL REDUCTION OF INFILTRATION RATES. SCARIFY THE BASIN BOTTOM AND ADD A LAYER OF SAND, GRAVEL OR AMENDED SOILS. 4. LACK OF PROPER MAINTENANCE (EROSION REPAIR, RE-VEGETATION, REMOVAL OF DETRITUS,

CATCH BASIN CLEANING, VACUUMING OF PERVIOUS PAVEMENT, ETC.), WHICH CAN REDUCE THE LONGEVITY OF INFILTRATION BMP'S. REPAIR FACILITY AS NECESSARY AND MAINTAIN FACILITY PER MAINTENANCE

5. INADEQUATE DESIGN. RE-EVALUATE THE DESIGN TO MAXIMIZE INFILTRATION.

MANAGED RELEASE CONCEPT CONSTRUCTION SEQU 1. IF THE CONTRACTOR RUNS INTO SHALLOW BEDROCK THE DESIGN ENGINEER OR TH ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY BEFORE AN ADDITIONAL WORK IS COMPLETED.

- 2. INSTALL THE MRC BMP DURING FINAL PHASES OF SITE CONSTRUCTION TO PREVEN SEDIMENTATION AND /OR DAMAGE FROM CONSTRUCTION ACTIVITY, AFTER INSTALLAT PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE FACILITY.
- 3. INSTALL AND MAINTAIN PROPER E&S BMPS DURING CONSTRUCTION. 4. THE MRC BMP BOTTOM SHOULD BE UN-COMPACTED, FREE FROM ROCKS AND DEBI
- DO NOT COMPACT THE SUBGRADE. 5. INSTALL OUTLET CONTROL STRUCTURES, REINFORCED SPILLWAY, PIPE BEDDING,
- UNDERDRAIN PIPING WITH AGGREGATE ENVELOPE, CLEANOUTS, ETC 6. PLACE SOIL MEDIA GENTLY. DO NOT COMPACT SOIL MEDIA OR THE BASIN BOTTOM. PLACEMENT OF SOIL MEDIA SHOULD BE DONE FROM OUTSIDE THE BMP FOOTPRINT AVOID COMPACTION BY CONSTRUCTION EQUIPMENT. EQUIPMENT SHOULD NEVER DRI OVER PLACED SOIL MEDIA WITHOUT CONSTRUCTION MATTING
- 7. SEED AND STABILIZE DISTURBED AREA. VEGETATE WITH NATIVE PLANTINGS. 8. MAINTAIN INLET PROTECTION AND OTHER E&S CONTROLS UNTIL THE SITE IS FULL STABILIZED.

MANAGED RELEASE CONCEPT MAINTENANCE NOTES 1. UPGRADIENT CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED

- ANNUALLY, OR MORE OFTEN IF HISTORICAL MAINTENANCE RECORDS SUGGEST A MC FREQUENT CLEANING. 2. THE VEGETATION (FOR THE MRC BMP AND CONTRIBUTING DRAINAGE AREA) SHOULD
- MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED. 3. CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. MOW ONL
- AS APPROPRIATE FOR VEGETATIVE SPECIES. 4. INSPECT AT LEAST TWO TIMES PER YEAR AFTER RUNOFF EVENTS GREATER THAN INCH AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN THE DESIGN PARAMET
- (A LICENSED PROFESSIONAL ENGINEER SHOULD CLEARLY IDENTIFY WHAT THESE PARAMETERS ARE). 5. AT LEAST TWO TIMES PER YEAR, OR MORE IF HISTORICAL MAINTENANCE INDICATE
- NECESSARY, INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CON STRUCTURES, EROSION, SIGNS OF WATER CONTAMINATION/SPILLS, AND INSTABILITY LEAF LITTER NEEDS TO BE REMOVED ANNUALLY.
- 6. AS NEEDED, REMOVE ACCUMULATED SEDIMENT AS REQUIRED TO MAINTAIN INFILTR. THROUGH THE MRCS SOIL MEDIA AND TO MAINTAIN WATER QUALITY FUNCTIONALIT RESTORE ORIGINAL CROSS SECTION. PROPERLY DISPOSE OF SEDIMENT. 7. IF POROUS PAVEMENT IS INCLUDED IN THE DESIGN, VACUUM AT LEAST TWICE PER
- YEAR. VACUUM SHOULD HAVE SUFFICIENT SUCTION POWER AND BE DESIGNED FOR WITH POROUS PAVEMENTS.
- 8. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS-SECTION AND PROPERLY DISPOSE OF SEDIMENT

SUBSURFACE DETENTION BASIN CONSTRUCTION SEQUENCE NOTE: PRIOR TO BASIN/TRAP REMOVAL, ALL EARTH DISTURBANCE MUST BE COMPLET AND ALL AREAS MUST BE 70% STABILIZED WITHIN THE TRIBUTARY AREAS OF THE BAS TO BE REMOVED.

- 1. DUE TO THE NATURE OF CONSTRUCTION SITES, SUBSURFACE DETENTION SHOULD BE INSTALLED TOWARDS THE END OF THE CONSTRUCTION PERIOD, IF POSSIBLE, TO MAXIMIZE ANY RESIDUAL INFILTRATION OPPORTUNITY.
- 2. INSTALL AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES (AS THE PA EROSION AND SEDIMENTATION CONTROL PROGRAM MANUAL) DURING CONSTRUCTION.
- 3. THE EXISTING SUBGRADE UNDER THE BED AREAS SHOULD NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE STONE BED PLACEMENT
- 4. WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AN SURFACE PONDING, THIS MATERIAL SHOULD BE REMOVED WITH LIGHT EQUIPMENT AN THE UNDERLYING SOILS SCARIFIED TO A MINIMUM OF 6 INCHES WITH A YORK RATE EQUIVALENT) AND LIGHT TRACTOR. ALL FINE GRADING SHOULD BE DONE BY HAND. ALL BED BOTTOMS SHOULD BE AT LEVEL GRADE.
- 5. EARTHEN BERMS (IF USED) BETWEEN BEDS SHOULD BE LEFT IN PLACE DURING EXCAVATION. THESE BERMS DO NOT REQUIRE COMPACTION IF PROVEN STABLE DURI CONSTRUCTION.
- 6. INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORA PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.
- 7. GEOTEXTILE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVA SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 16 INCHES. I SHOULD ALSO BE SECURED AT LEAST 4 FEET OUTSIDE OF BED IN ORDER TO PREV ANY RUNOFF OF SEDIMENT FROM ENTERING THE STORAGE BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STAB AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BI EDGES CAN BE CUT BACK TO EDGE OF THE BED.
- 8. CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE SHOULD BE PLACED IN THE BED MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.
- 9. APPROVED SOIL MEDIA SHOULD BE PLACE OVER INFILTRATION BED IN MAXIMUM 6
- 10. SEED AND STABILIZE TOPSOIL.
- 11. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

SUBSURFACE DETENTION BASIN MAINTENANCE PROCEDUR

- 1. AT LEAST ONCE EVERY 3 MONTHS, THE STORM INLETS AND JUNCTION BOXES SHA INSPECTED FOR SEDIMENT, CINDERS OR OTHER DEBRIS DEPOSITION IN STRUCTURE SUMPS. ALL INLET GRATES SHALL ALSO BE INSPECTED AND CLEANED ANY DEBRIS. DAMAGED GRATES SHALL BE REPLACED IMMEDIATELY.
- 2. AT LEAST ONCE EVERY 12 MONTHS, ALL JUNCTION BOXES/INLETS AND 18" PIPES HE DETENTION FACILITY SHALL BE INSPECTED AND ALL SEDIMENT, CINDERS OR DEBRIS SHALL BE REMOVED FROM THE STRUCTURE SUMPS AND THE PIPE INVERT
- 3. ACCUMULATED DEPOSITS IN ANY STRUCTURE SHALL BE REMOVED IMMEDIATELY WH THE DEPTH OF THE DEPOSITS REACHES 8" OR MORE.
- 4. THE UNDERGROUND DETENTION FACILITY AND THE STORM SEWER STRUCTURES MAY INSPECTED AT ANY TIME BY THE TOWNSHIP OR ITS REPRESENTATIVE.

CONSTRUCTED FILTERS CONSTRUCTION SEQUENCE

1. PERMANENT FILTERS SHOULD NOT BE INSTALLED UNTIL THE SITE IS STABILIZED. SEDIMENT GENERATED DURING CONSTRUCTION CAN CLOG THE FILTER AND PREVENT (ANTICIPATED POST-CONSTRUCTION WATER QUALITY BENEFITS. STABILIZE ALL CONTRIBU BEFORE RUNOFF ENTERS FILTERS.

- 2. STRUCTURES SUCH AS INLET BOXES, REINFORCED CONCRETE BOXES, ETC. SHOULD IN ACCORDANCE WITH THE MANUFACTURER'S GUIDANCE.
- 3. EXCAVATED FILTERS THAT INFILTRATE OR STRUCTURAL FILTERS THAT INFILTRATE S EXCAVATED IN SUCH A MANNER AT TO AVOID COMPACTION OF THE SUBBASE. STRUC SET ON A LAYER OF CLEAN, LIGHTLY COMPACTED GRAVEL (SUCH AS AASHTO #57).
- 4. INFILTRATION FILTERS SHOULD BE UNDERLAIN BY A LAYER OF PERMEABLE NON-WOVEN-GEOTEXTILE.
- 5. PLACE UNDERLYING GRAVEL/STONE IN MINIMUM 6 INCH LIFTS AND LIGHTLY COMPAC UNDERDRAIN PIPES IN GRAVEL DURING PLACEMENT. 6. WRAP AND SECURE NONWOVEN GEOTEXTILE TO PREVENT GRAVEL/STONE FROM CLOG
- 7. LAY FILTERING MATERIAL. DO NOT COMPACT.
- 8. SATURATE FILTER MEDIA AND ALLOW MEDIA TO DRAIN TO PROPERLY SETTLE AND 9. FOR VEGETATED FILTERS, A LAYER OF NONWOVEN GEOTEXTILE BETWEEN NON-ORGANIC FILTER MEDIA AND PLANTING MEDIA IS RECOMMENDED.
- 10. THERE SHOULD BE SUFFICIENT SPACE (HEAD) BETWEEN THE TOP OF THE FILTERING BED AND THE OVERFLOW OF THE FILTER TO ALLOW FOR MAXIMUM HEAD DESIGNED TO BE STORED BEFORE FILTRATION.

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UENCE THE NY	CONSTRUCTION SEQUENCE ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND			
ENT LATION,	 GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRE-CONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR(S), TOWNSHIP ENGINEER(S), MONTGOMERY COUNTY CONSERVATION DISTRICT, AND LICENSED PROFESSIONALS OR DESIGNEES RESPONSIBLE FOR THE EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF E&S AND PCSM PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. 			
EBRIS.	 IT IS IMPERATIVE THAT THE E&S MEASURES ARE IMPLEMENTED BEFORE CONSTRUCTION BEGINS. MULCHING, WITHOUT SEEDING, CAN BE USED AS AN INTERIM STABILIZATION CONTROL DURING NON-GROWING SEASONS OF THE YEAR. 			
DM. THE NT TO DRIVE	 ANY DEVIATION FROM THIS SCHEDULE MUST BE DISCUSSED WITH THE ENGINEER, TOWNSHIP ENGINEER AND CONSERVATION DISTRICT. UNKNOWNS, SUCH AS WEATHER CONDITIONS, EXACT START DATE, CONTRACTOR, ETC.; DO NOT ALLOW FOR DELINEATION OF SPECIFIC TIME FRAMES. NO CLEARING AND/OR GRUBBING OF THIS SITE MAY TAKE PLACE UNTIL ALL THE EROSION AND SEDIMENTATION 			
LY	 CONTROLS, AS OUTLINED, HAVE BEEN INSTALLED AND ARE FUNCTIONAL. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS. 			
	 AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON BALTIMORE PIKE IS TO BE REMOVED, RETURNED TO THE SITE, STOCKPILED AND STABILIZED. ALL STRUCTURES ASSOCIATED WITH THE CONSTRUCTION OF SEDIMENT REMOVAL FACILITIES MUST BE AVAILABLE ON-SITE PRIOR TO ANY EARTHMOVING. 		<mark>igina</mark> sign nsylva	
S	 IF AT ANY TIME PRIOR TO STABILIZATION ANY E&S PROBLEMS WHICH OCCUR AND REQUIRE ADDITIONAL MEASURES, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEM. 		Desi	
JLD BE	 ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE THE NEXT STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE. CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION. 	S ∝	୪ ^ଘ ୍	
DNLY	 ANY REGULATED ACTIVITY FOR 4 DATS OR LONGER REGUINES TEMPORART STABILIZATION. ANY REGULATED ACTIVITY SHALL BE SUBJECT TO PERIODIC INSPECTIONS BY THE TOWNSHIP FOR COMPLIANCE WITH EROSION AND SEDIMENT CONTROL PLAN APPROVAL. DURING ANY STAGE OF THE WORK, IF THE TOWNSHIP ENGINEER DETERMINES THE BMPS ARE NOT BEING IMPLEMENTED IN ACCORDANCE WITH THIS CHAPTER, THE TOWNSHIP SHALL REVOKE ANY EXISTING PERMITS AND APPROVALS UNTIL WORK IS BROUGHT INTO COMPLIANCE 		Forg	
N 0.8 TERS	 WITH THE APPROVED PLANS. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER A MINIMUM OF THREE WORKING DAYS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION OR INSTALLATION OF ANY FACILITY OR UTILITY REQUIRED BY THE ORDINANCE IN ORDER FOR PROVISIONS MAY BE MADE FOR INSPECTION BY THE TOWNSHIP. THE CONSTRUCTION OR INSTALLATION OF ALL INPROVISIONS MAY BE MADE FOR INSPECTION BY THE TOWNSHIP. THE CONSTRUCTION OR 		Valley F	
TE IT IS DNTROL TY.	 INSTALLATION OF ALL IMPROVEMENTS SHALL AT ALL TIMES BE SUBJECT TO INSPECTION BY REPRESENTATIVES OF THE TOWNSHIP. A LICENSED PROFESSIONAL OR QUALIFIED REPRESENTATIVE SHALL BE RETAINED BY THE OWNER AND BE PRESENT DURING NOTED "CRITICAL STAGE" ITEMS. 		2	
RATION ITY.	INITIAL PHASE 1. PRIOR TO CONSTRUCTION, A SITE PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE WITH MCCD, ROUX			
er Dr Use	 ENVIRONMENTAL, PADEP, REL DESIGN INC., AND ALL SITE CONTRACTORS, INCLUDING THE ENVIRONMENTAL REMEDIATION CONTRACTOR, TO FULLY COORDINATE BUILDING DEMOLITION, CONTAMINATED SOIL REMOVAL AND SITE CONSTRUCTION. THE LIMITS OF DISTURBANCE (LOD) SHALL BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (i.e. SURVEY STAKES, 			
	POSTS & ROPE, CONSTRUCTION FÉNCE, ETC.). CRITICAL STAGE 3. INSTALL ROCK CONSTRUCTION ENTRANCES, COMPOST FILTER SOCK, INLET PROTECTION, ROCK FILTERS, AND ANY OTHER E&S CONTROLS OR PROTECTIVE MEASURES AS SHOWN ON THE APPROVED PLANS. CRITICAL STAGE 4. BEGIN BUILDING DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, FEDERAL AND PADEP			
ICE	REQUIREMENTS. 5. REMOVE SOIL IN AREA OF LOADING DOCK, IN ACCORDANCE WITH THE APPROVED EPA WORK PLAN.			
ETE BASIN	 ONCE SOIL REMOVAL HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED EPA WORK PLAN, SITE DEVELOPMENT EARTHWORK MAY COMMENCE. CONSTRUCT SEDIMENT TRAP 1 CRITICAL STAGE 			
BE	A. EXCAVATE TRAP. INSTALL IMPERMEABLE LINER. B. EARTHWORK FOR THE SEDIMENT TRAP EMBANKMENT SHALL BE OBSERVED AND INSPECTED BY THE TOWNSHIP. CRITICAL STAGE			
S PER	 C. CONSTRUCT ROCK EMERGENCY SPILLWAY AND INSTALL THE SKIMMER FOR DEWATERING. D. SPREAD TOPSOIL OVER TRAP AREA. SEED AND MULCH WITH TEMPORARY SEED MIXTURE. 8. CONSTRUCT SEDIMENT TRAP 3 CRITICAL STAGE 			
R AND	 A. EXCAVATE TRAP. INSTALL IMPERMEABLE LINER. B. EARTHWORK FOR THE SEDIMENT TRAP EMBANKMENT SHALL BE OBSERVED AND INSPECTED BY THE TOWNSHIP. CRITICAL STAGE C. INSTALL TEMPORARY RISER, TRASH RACK AND OUTLET PIPE. INSTALL THE SKIMMER FOR DEWATERING. 			
AND/OR AND TE (OR	D. SPREAD TOPSOIL OVER BASIN AREA. SEED AND MULCH WITH TEMPORARY SEED MIXTURE. 9. INSTALL DIVERSION SWALE PS-1 WITH PERMANENT EROSION CONTROL BLANKET PER THE PLANS. CRITICAL STAGE			
D.	 BEGIN SITE DEMOLITION AS SHOWN ON THE PLANS. CLEAR AND GRUB THE SITE. STRIP TOPSOIL FROM THE SITE, STOCKPILE AND STABILIZE IMMEDIATELY. PLACE COMPOST FILTER SOCK DOWN SLOPE OF STOCKPILES. 			
	INTERMEDIATE PHASE		SSION ION	
RATED VAL OF	 MODIFY/INSTALL E&S CONTROLS AS CONSTRUCTION PROGRESSES TO RESPECT ON GOING WORK AS SHOWN ON THE PLANS FOR THIS PHASE. CRITICAL STAGE ROUGH GRADE DISTURBED AREAS INCLUDING PARKING AREA. 		PESUBMIS MISSION SUBMISSI	
D BE NS. IT EVENT	15. ONCE GRADE HAS BEEN FILLED CONSTRUCT SEDIMENT TRAP 3 CRITICAL STAGE A. EXCAVATE TRAP. INSTALL IMPERMEABLE LINER. B. EARTHWORK FOR THE SEDIMENT TRAP EMBANKMENT SHALL BE OBSERVED AND INSPECTED BY THE TOWNSHIP.			
ABILIZED BED	 CRITICAL STAGE C. INSTALL PERMANENT OUTLET STRUCTURE, TRASH RACK, ROCK EMERGENCY SPILLWAY AND OUTLET PIPE. INSTALL THE SKIMMER FOR DEWATERING. D. SPREAD TOPSOIL OVER BASIN AREA. SEED AND MULCH WITH TEMPORARY SEED MIXTURE. 16 DECIN, DAN CONSTRUCTION OF STRUCTURAL READ, ELOOP, SLAD, ELOVATIONS 		23 TOWNSHIP 23 MCCD SUBN 23 TOWNSHIP	
	 BEGIN BUILDING PAD CONSTRUCTION PER STRUCTURAL PLAN FLOOR SLAB ELEVATIONS. BEGIN BUILDING CONSTRUCTION. INSTALL RETAINING WALL AS SHOWN ON PLANS. 		11/03/23 10/02/23 09/22/23	
INCH	19. INSTALL UTILITIES AS SHOWN ON PLANS. 20. INSTALL STORM SEWER (INLET #1 TO #4) AND PIPE TO SEDIMENT TRAP 1.			
OL	21. INSTALL STORM SEWER (INLET #12 TO #13) AND PIPE TO SEDIMENT TRAP 1. 22. INSTALL STORM SEWER (INLET #20 TO #22) TO SEDIMENT TRAP 2.			
	23. INSTALL CURB AND SIDEWALK AS SHOWN ON THE PLANS. 24. INSTALL STONE SUBBASE AND BASE COURSE TO PARKING AREAS SHOWN ON PLAN.			
JRES	FINAL PHASE	Ľ		
ED OF	 MODIFY/INSTALL E&S CONTROLS AS CONSTRUCTION PROGRESSES TO RESPECT ON GOING WORK AS SHOWN ON THE PLANS FOR THIS PHASE. CRITICAL STAGE COMPLETE UTILITY INSTALLATION. 	TEF	es, LLC SE PA	
ES IN OTHER	27. CONVERT SEDIMENT TRAP 2 INTO MRC BASIN 2B. REPLACE RIPRAP WITH PERMANENT MATTING IN EMERGENCY SPILLWAY.	ORMWATE	ASSOCIATES, WAREHOUSE Y COUNTY, PA	
RTS. WHEN	28. CONVERT SEDIMENT TRAP 3 TO MRC BASIN 2A. INSTALL PERMANENT OUTLET STRUCTURE AND TRASH RACK. 29. CONVERT SEDIMENT TRAP 1 INTO UNDERGROUND BASIN 1. INSTALL OUTLET STRUCTURE AND RIRAP.	L R R	ASSOCIATES WAREHOUSI Y COUNTY, F	
IAY BE	30. INSTALL CONSTRUCTED FILTERS WITH IMPERMEABLE LINER. 31. ROUGH GRADE REMAINING DISTURBED AREAS.	S 1 ST(ROAD A: ROAD W OMERY (
	32. INSTALL ROOF LEADER HEADER PIPES. 33. INSTALL REMAINING CURBING. 34. INSTALL STONE SUBBASE AND BASE COURSE TO REMAINING PARKING AREAS SHOWN ON PLAN.	TAIL	r r ö	
	35. INSTALL REMAINING SIDEWALK. 36. INSTALL LANDSCAPING. 37. STABILIZE ANY OPEN AREAS NOT ALREADY STABILIZED.	RUC ⁻		
EXCESSIVE	38. INSTALL PAVING WEARING COURSE. 39. ONCE A PERMANENT STABILIZATION OF A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, OTHER			
OR REDUCE THE RIBUTING AREAS	PERENNIAL VEGETATIVE COVER, OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION, BEGIN REMOVAL OF ALL TEMPORARY BMPS; SUCH AS THE CONCRETE WASHOUT, STONE AT THE OUTLET RISER, INLET PROTECTION, ROCK CONSTRUCTION ENTRANCE, ROCK FILTERS, SILT SOCK,	GEM		
D BE INSTALLED	ORANGE CONSTRUCTION FENCE, AND SILT FENCING. PERMANENTLY SEED ANY AREAS DISTURBED BY THESE ACTIVITIES. 40. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE NOTICE OF TERMINATION (NOT) AT THE	NA NA	ENT: JECT: ATION:	
SHOULD BE CTURES MAY BE	COMPLETION OF CONSTRUCTION AND AFTER FINAL INSPECTION BY THE TOWNSHIP ENGINEER.	PO	CLIENT: PROJEC LOCATIO	
ACT. PLACE	CONSTRUCTED FILTERS MAINTENANCE NOTES	DRAWN:	AD	
LOGGING WITH	FILTERS REQUIRE A REGULAR INSPECTION AND MAINTENANCE PROGRAM IN ORDER TO MAINTAIN THE INTEGRITY OF THE FILTERING SYSTEM AND POLLUTANT REMOVAL MECHANISMS. ODOR IS A CONCERN FOR FILTERS THAT ARE NOT MAINTAINED. INSPECTION OF FILTER IS RECOMMENDED AT LEAST FOUR (4) TIMES A YEAR.	A/E: Q/C:	WRM	
	 DURING INSPECTION THE FOLLOWING CONDITIONS SHOULD BE CONSIDERED: A. STANDING WATER – ANY STANDING WATER LEFT IN A SURFACE FILTER AFTER THE DESIGN DRAIN DOWN TIME INDICATES THE FILTER IS NOT OPTIMALLY FUNCTIONING. B. FILM OR DISCOLORATION OF ANY SURFACE FILTER MATERIAL INDICATES ORGANICS OR DEBRIS HAVE CLOGGED THE FILTER SURFACE. 	SCALE:	RM HOWN	
GANIC FILTER	2. FILTER MAINTENANCE	WORK ORDER		

2. FILTER MAINTENANCF

A. REMOVE TRASH AND DEBRIS AS NECESSARY.

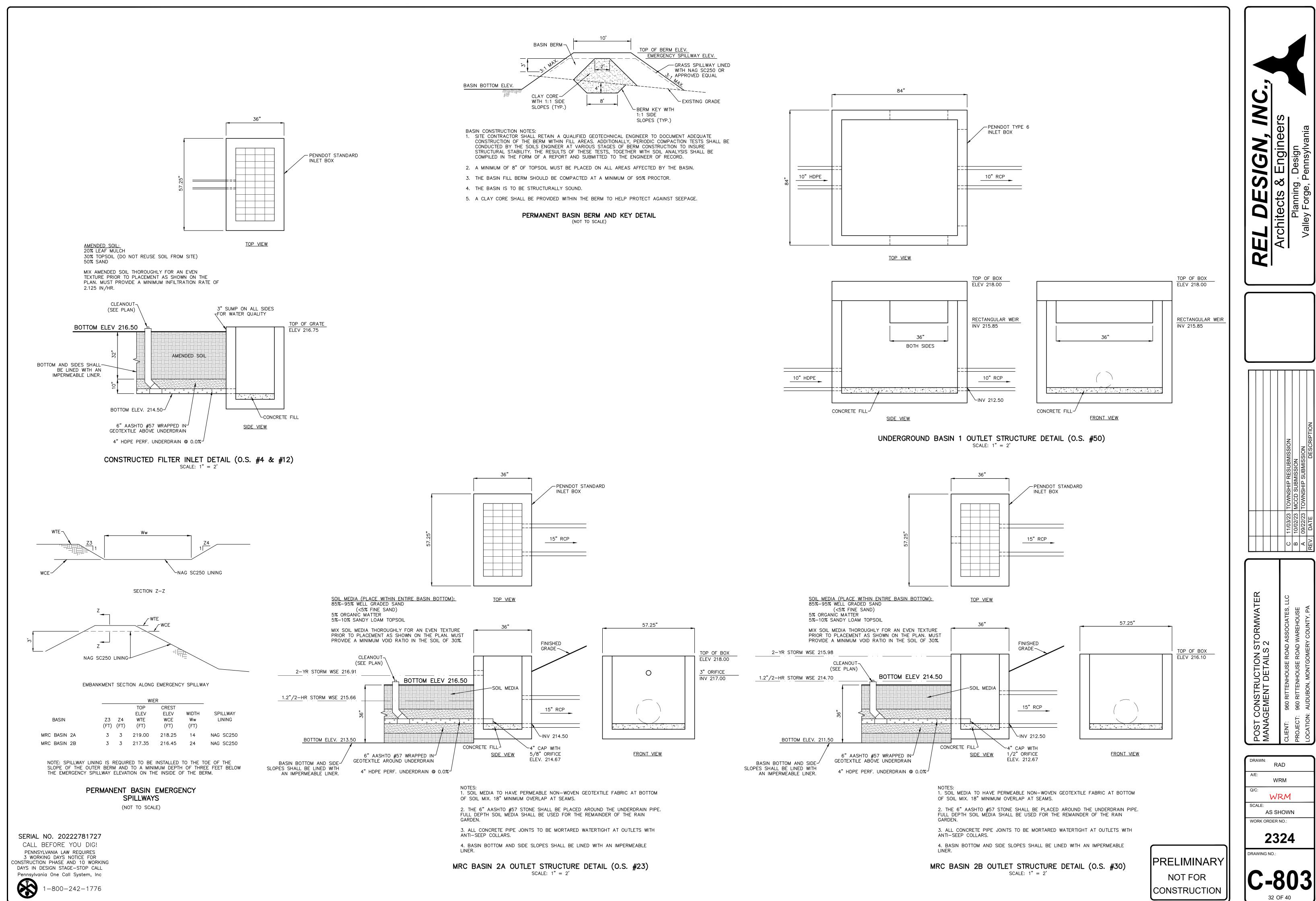
B. SCRAPE SILT WITH RAKE. . TILL AND AERATE FILTER AREA. D. REPLACE FILTERING MEDIUM IF SCRAPING/REMOVAL HAS REDUCED DEPTH OF FILTERING

NOTE: IN AREAS WHERE THE POTENTIAL EXISTS FOR THE DISCHARGE AND ACCUMULATION OF TOXIC POLLUTANTS (SUCH AS METALS), FILTER MEDIA REMOVAL FROM FILTERS MUST BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS.

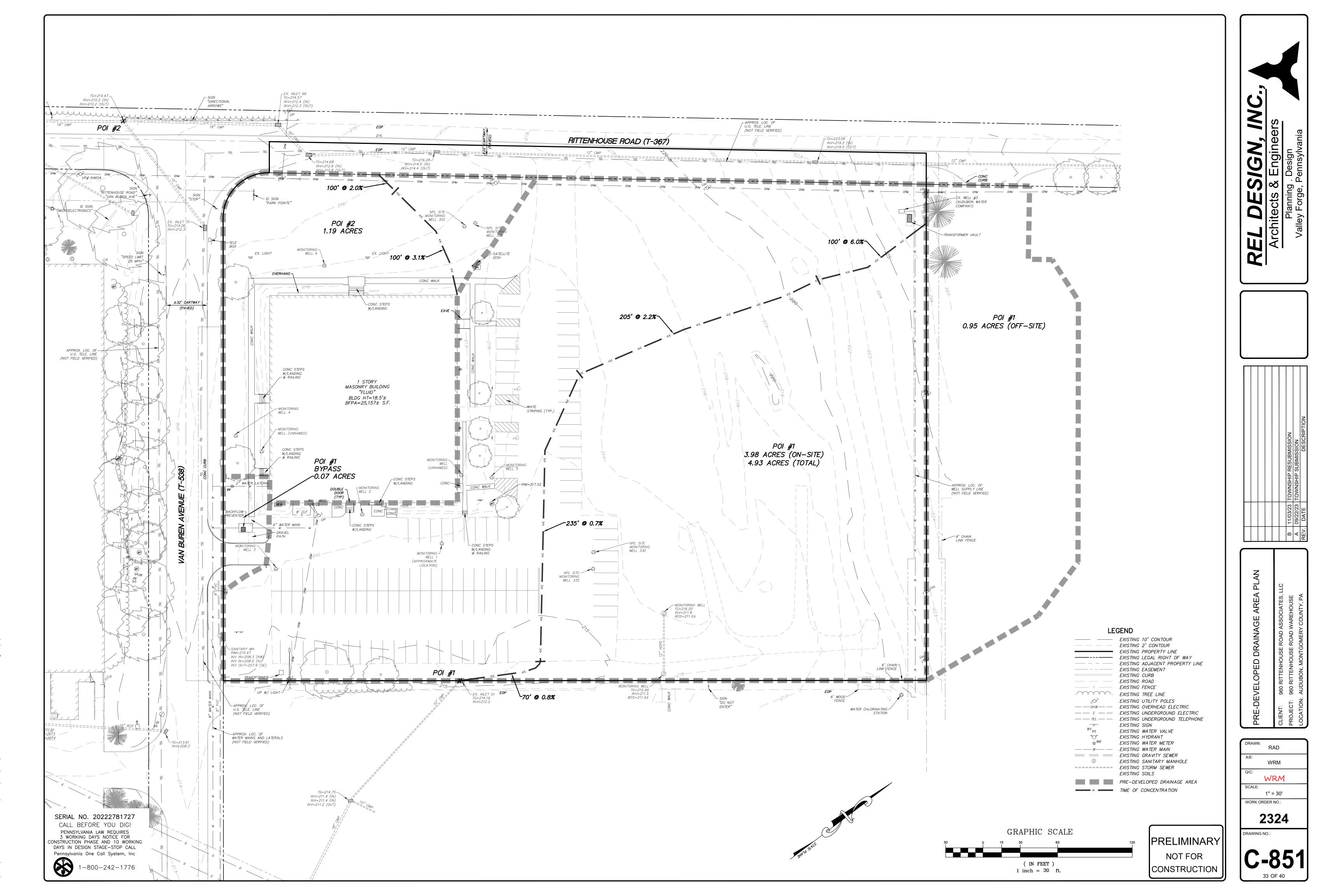
PRELIMINARY NOT FOR CONSTRUCTION

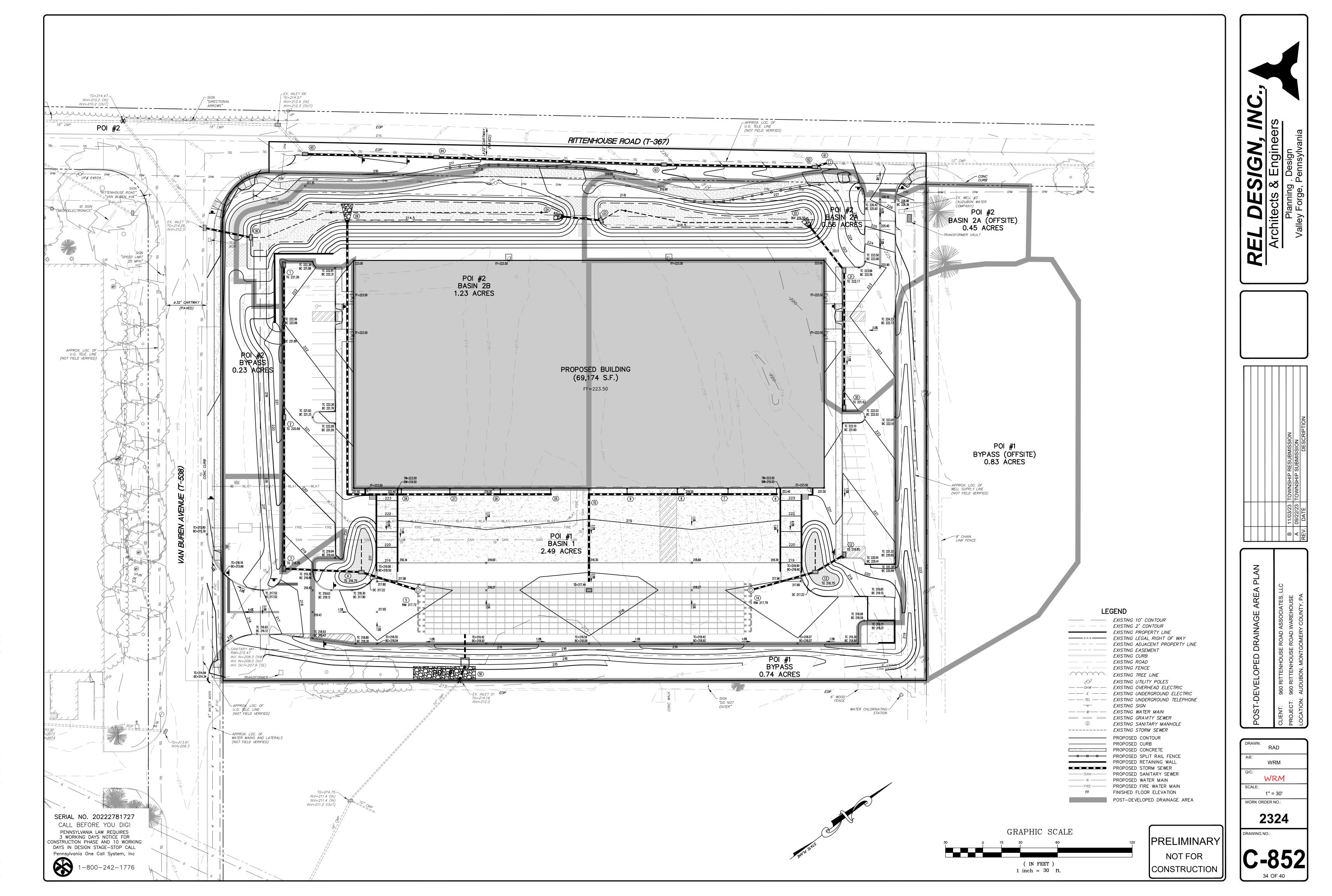
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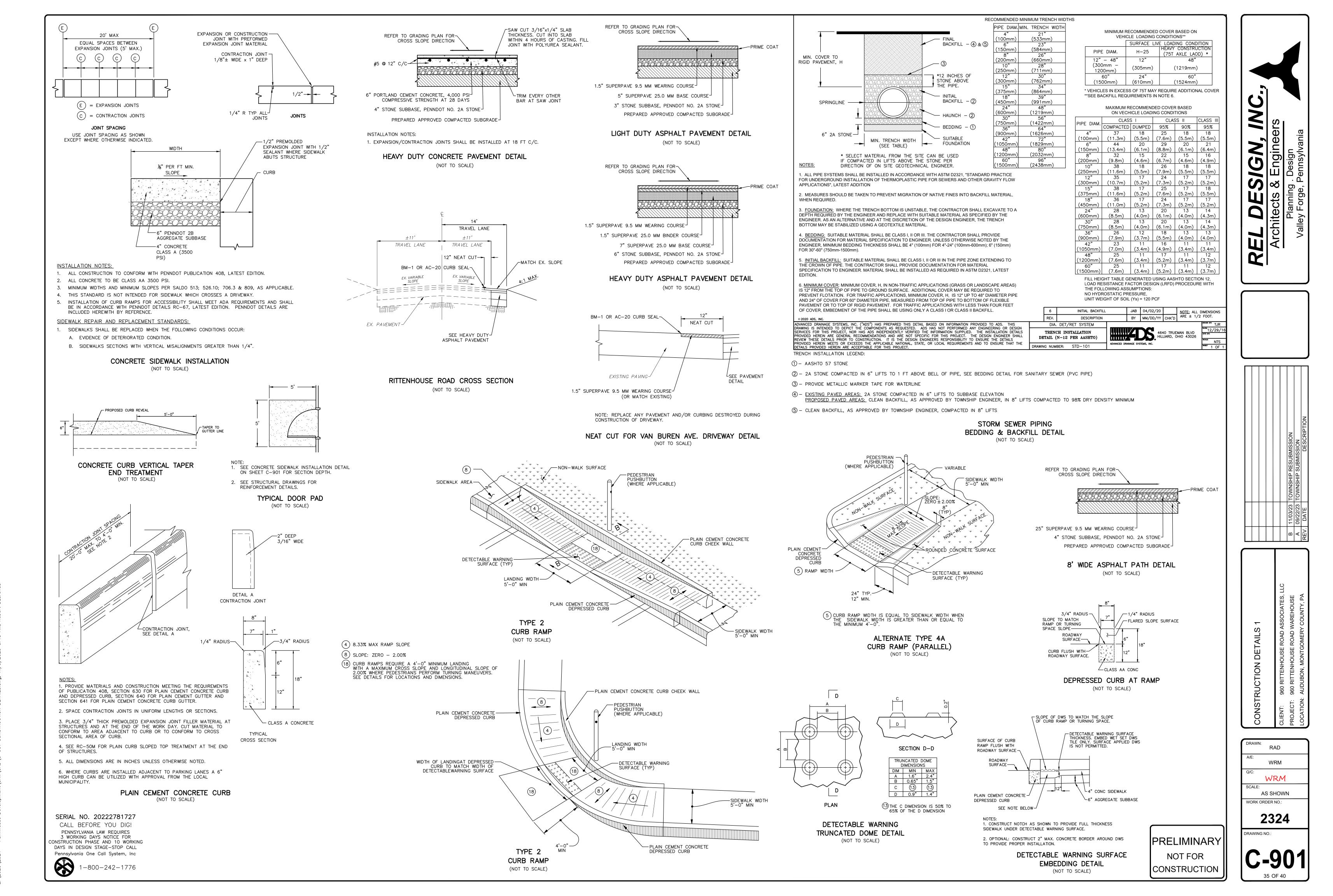
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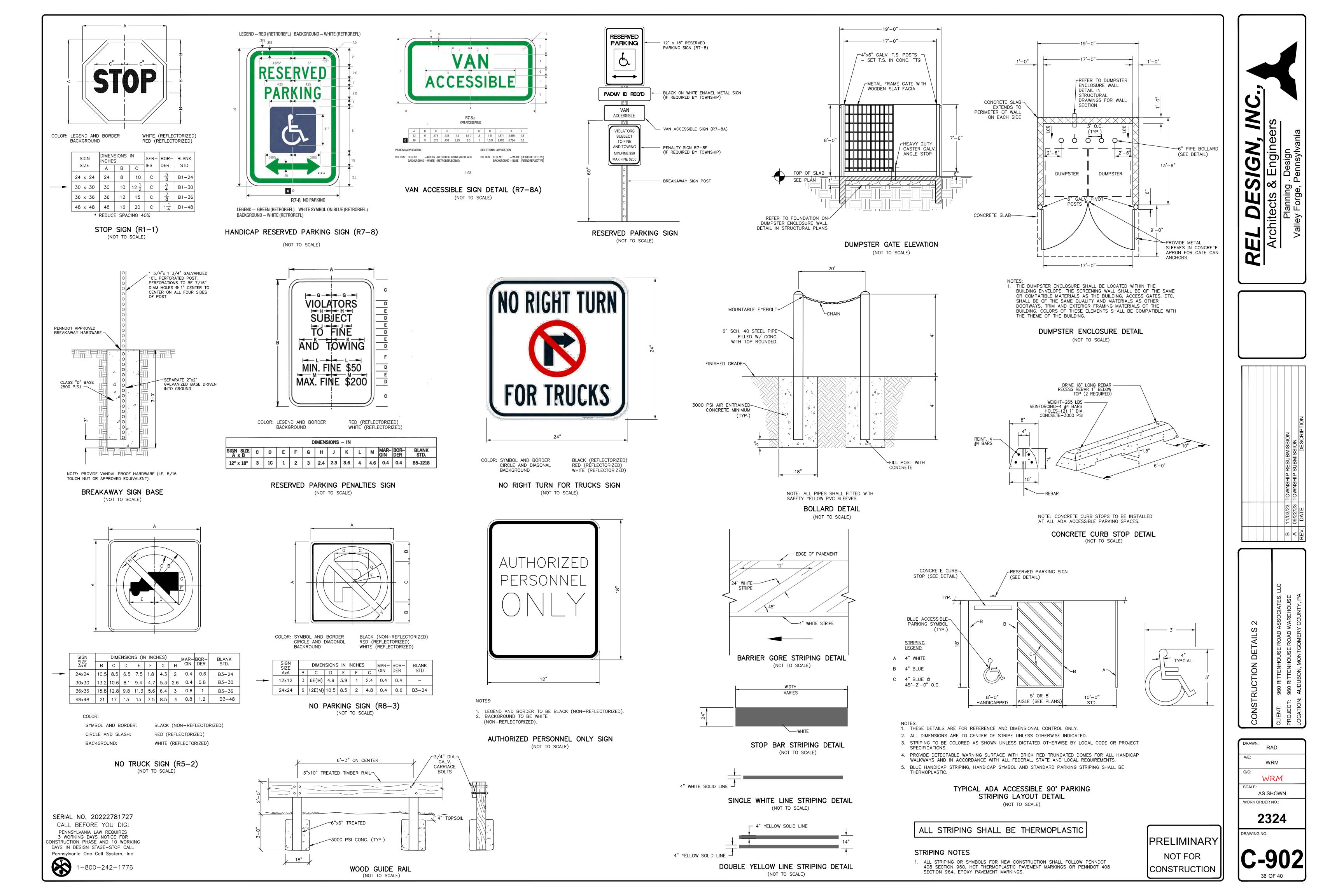


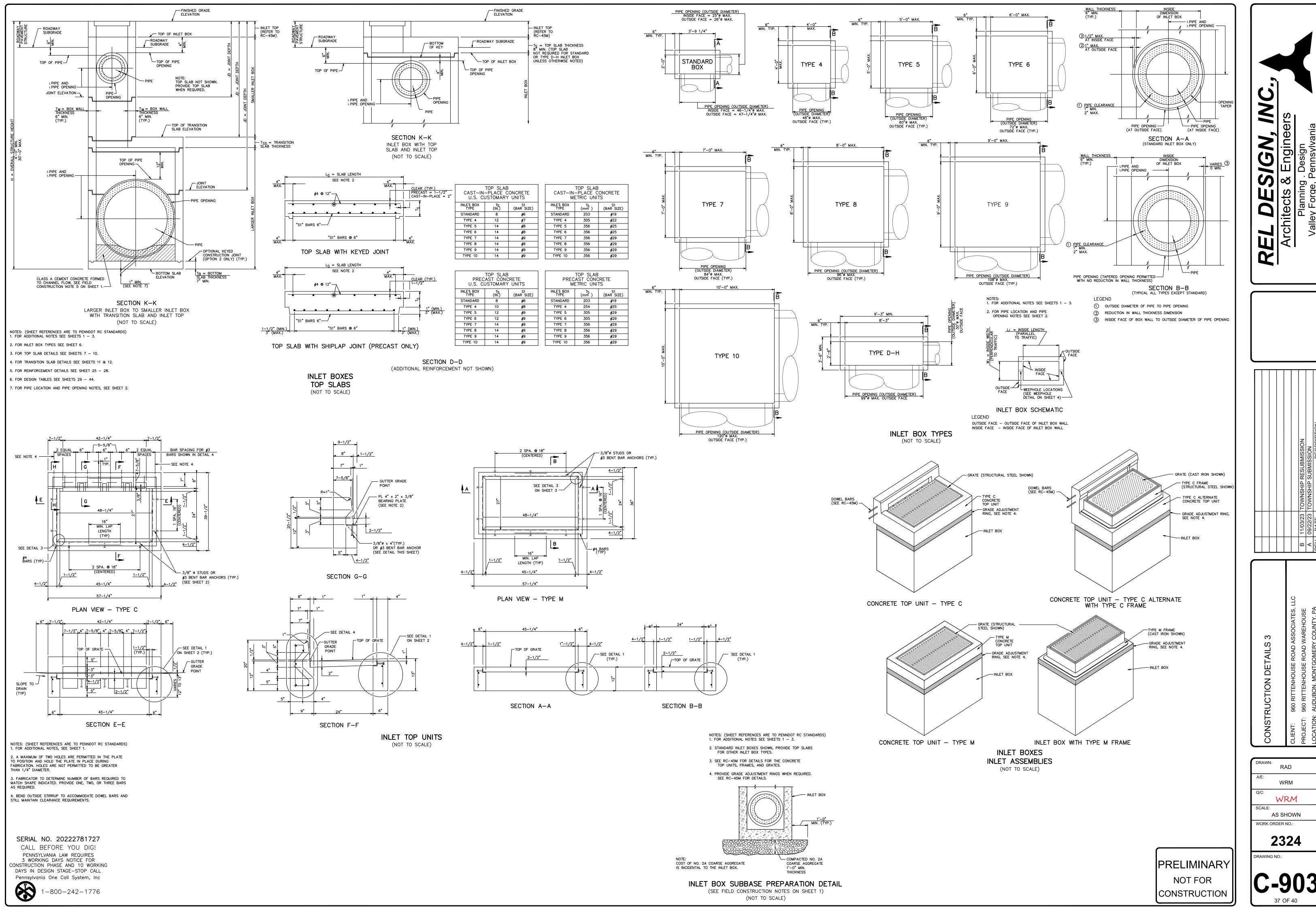


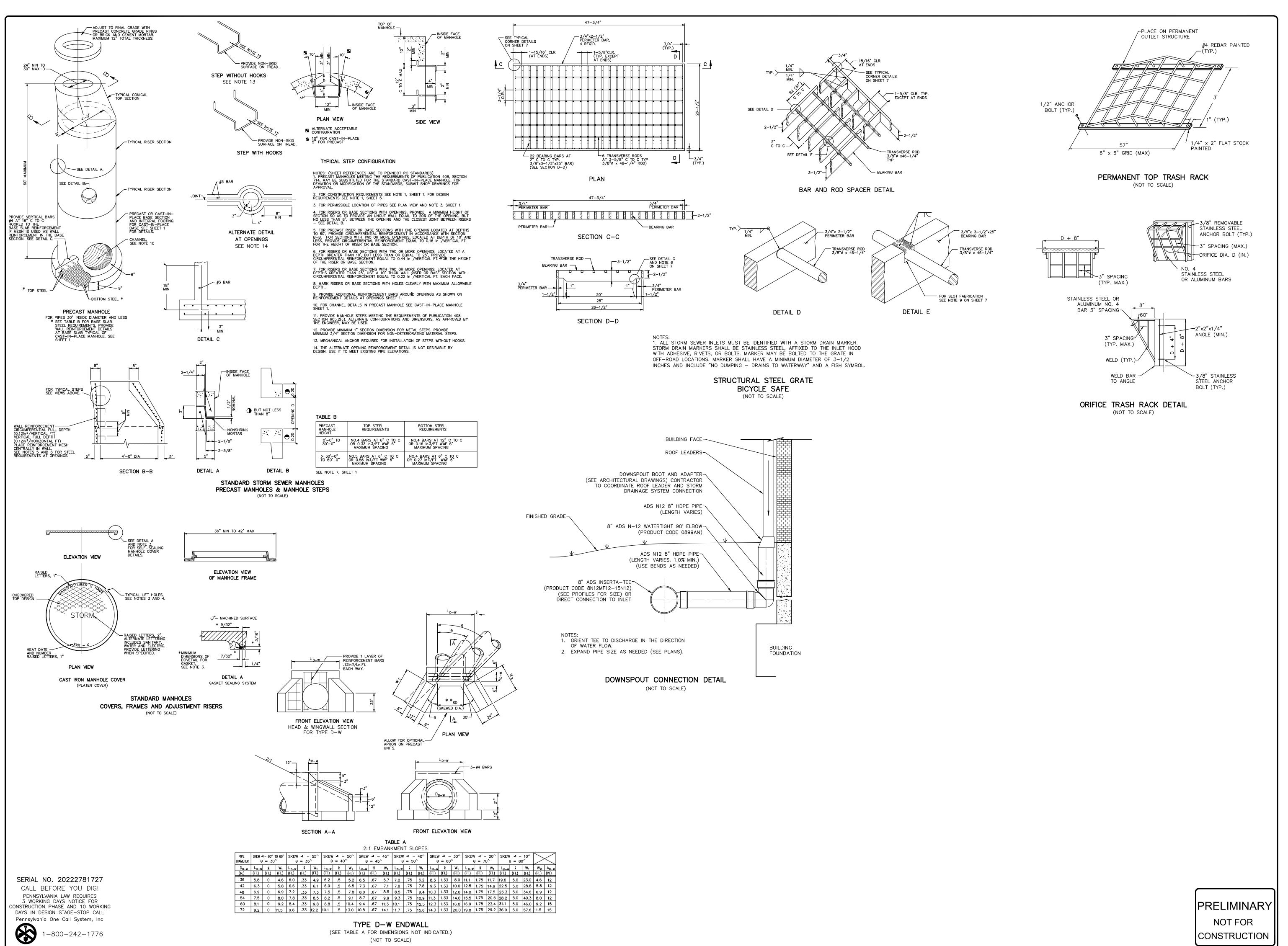




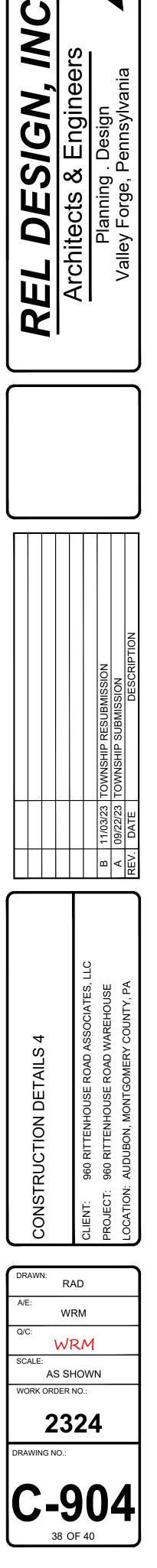


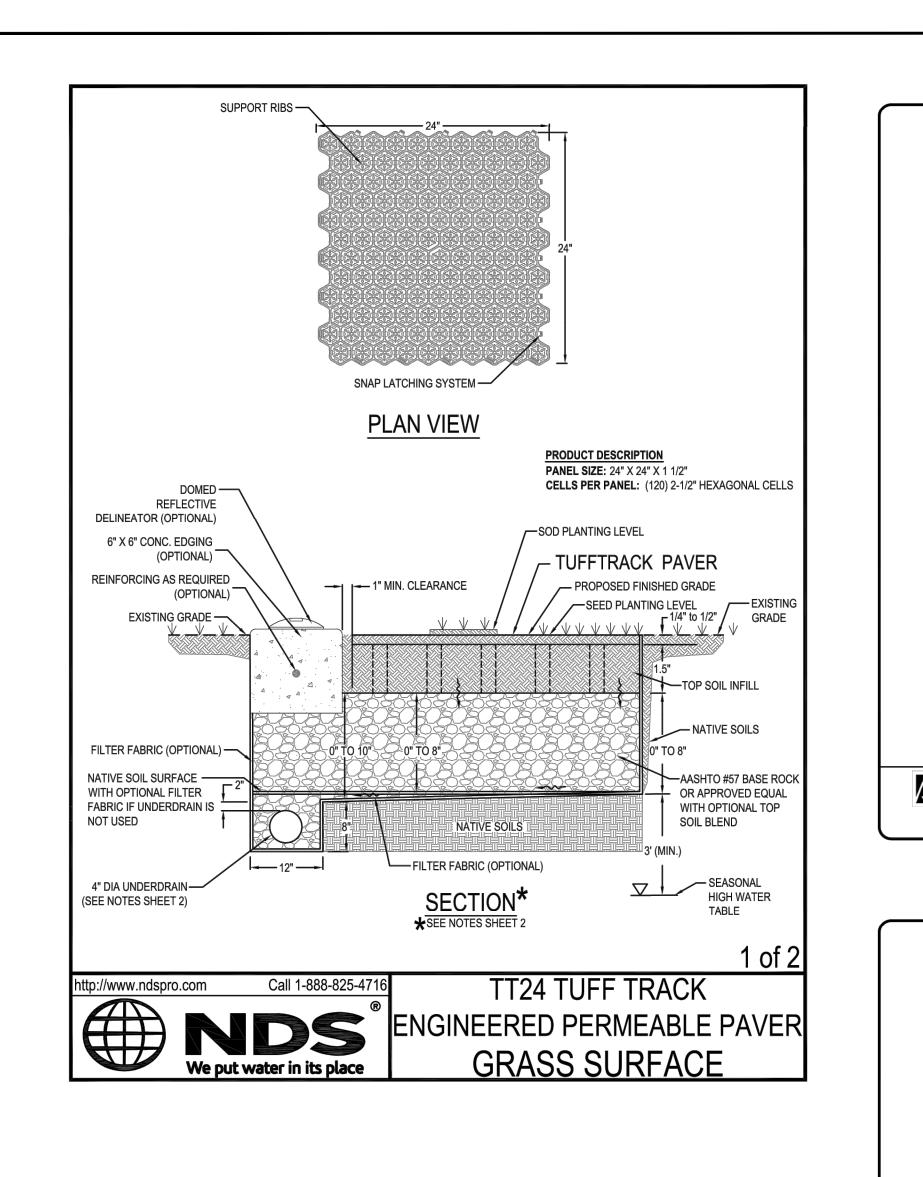






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!	W ₁	L _{D-W}	Q	W1	L _{D-w}	Q	W1	W2	A _{D-W}
.)	(FT.)	(FT.)	(FT.)	(FT.)	(FT.)	(FT.)	(FT.)	(FT.)	(IN.)
3	8.0	11.1	1.75	11.7	19.6	5.0	23.0	4.6	12
3	10.0	12.5	1.75	14.6	22.5	5.0	28.8	5.8	12
53	12.0	14.0	1.75	17.5	25.3	5.0	34.6	6.9	12
3	14.0	15.5	1.75	20.5	28.2	5.0	40.3	8.0	12
3	16.0	16.9	1.75	23.4	31.1	5.0	46.0	9.2	15
3	20.0	19.8	1.75	29.2	36.9	5.0	57.6	11.5	15

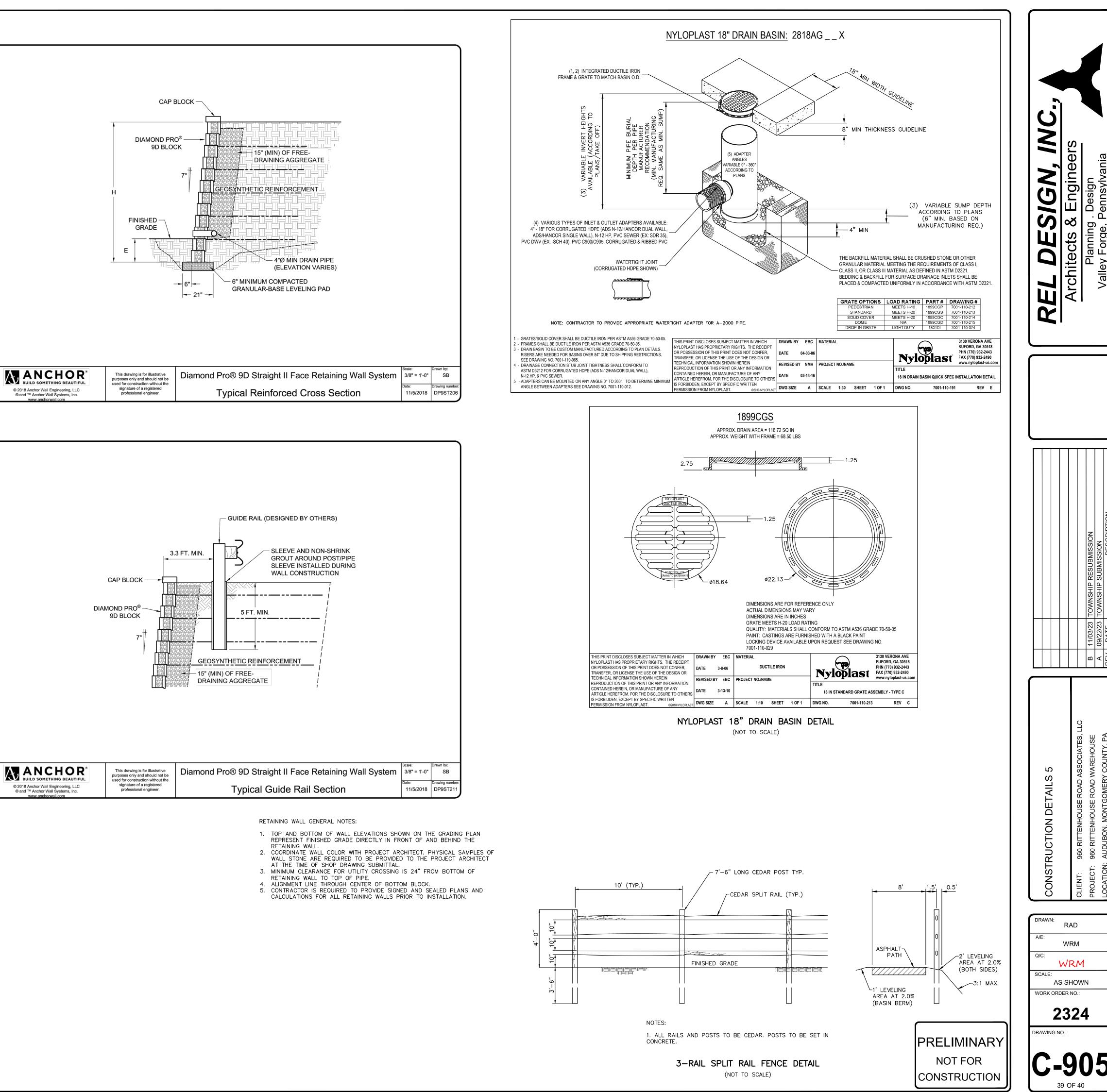


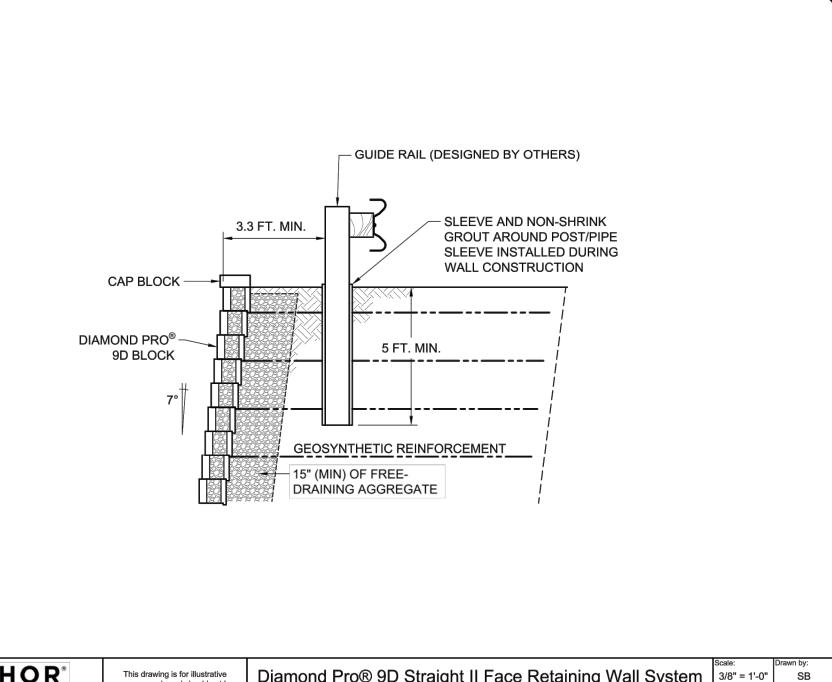




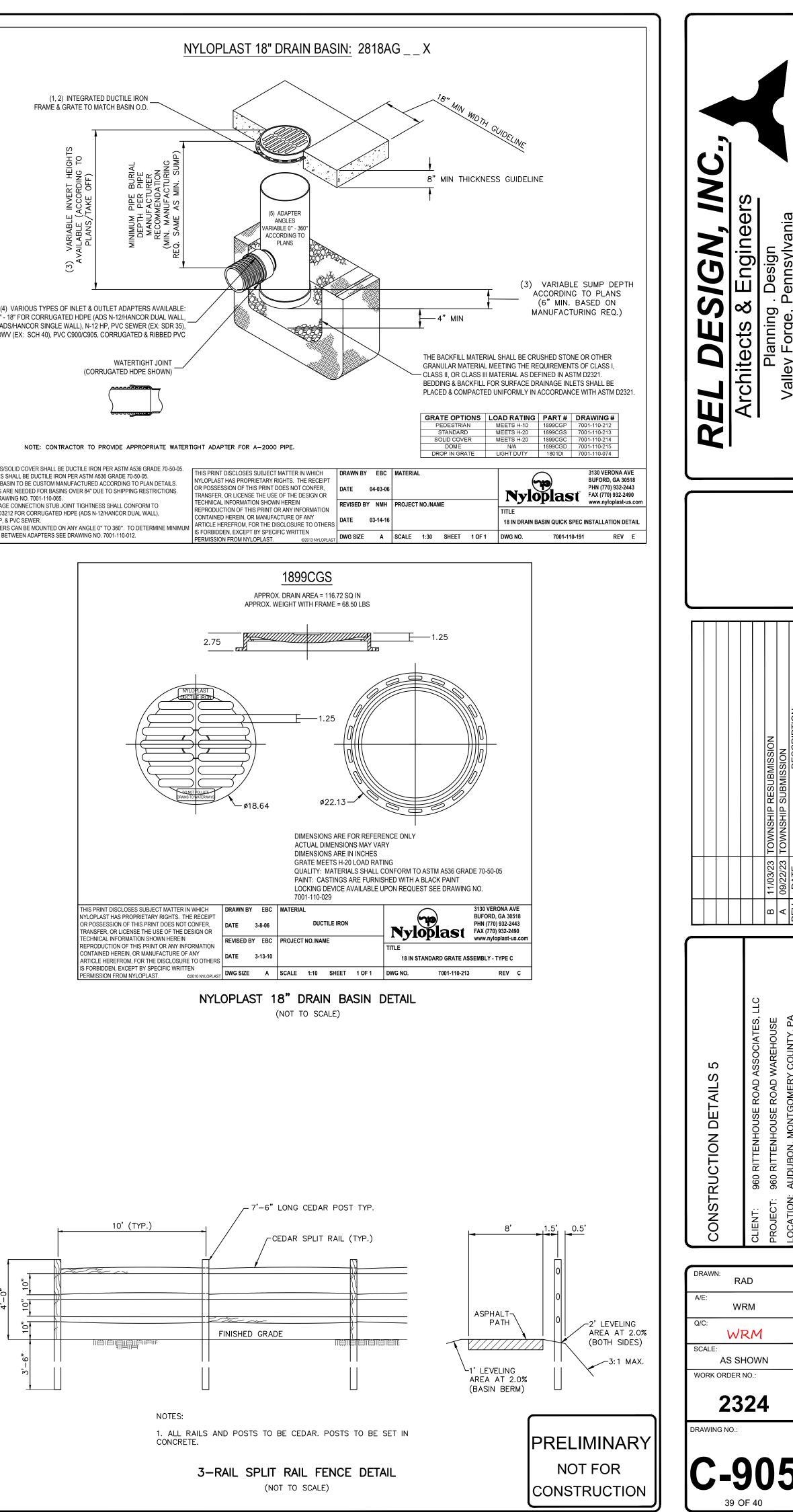
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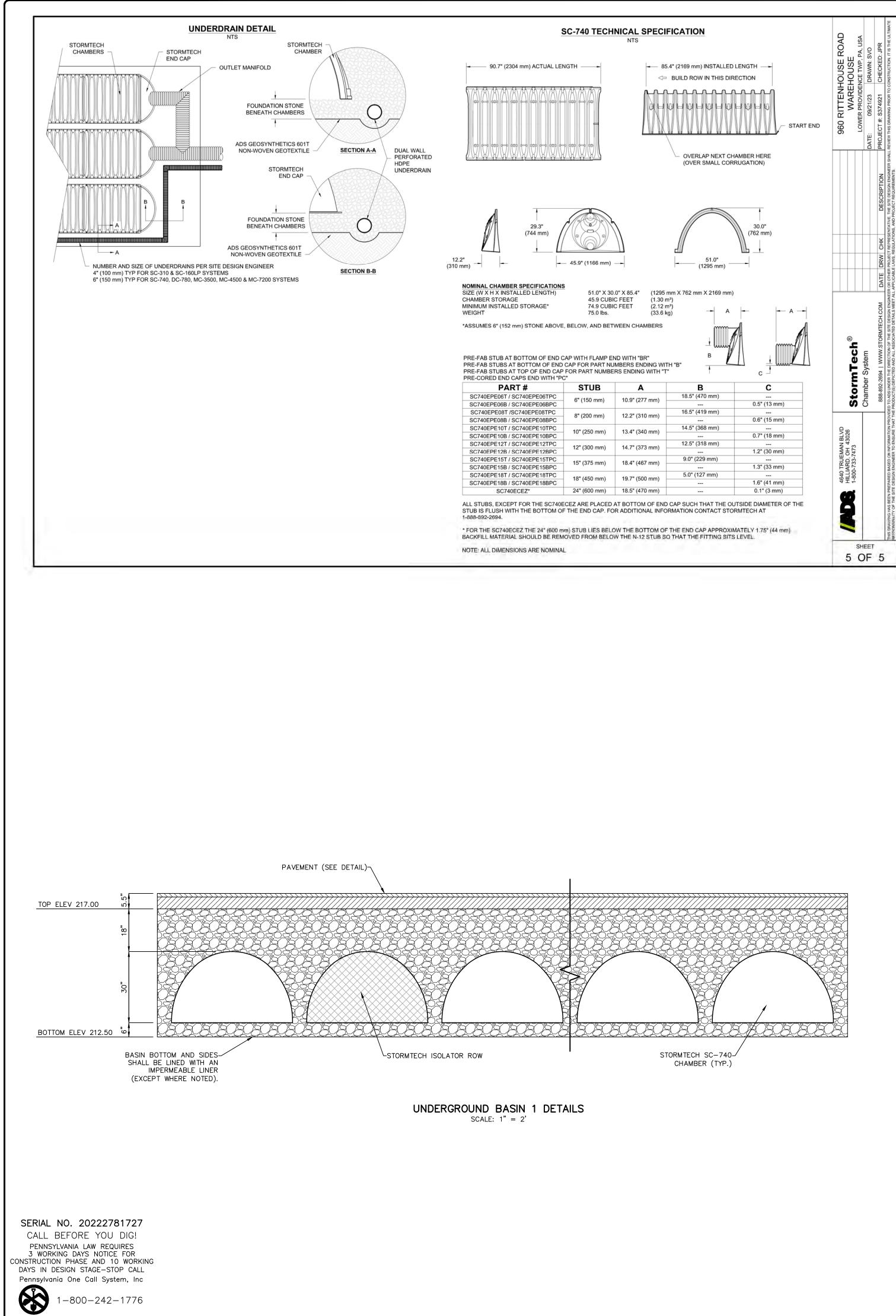
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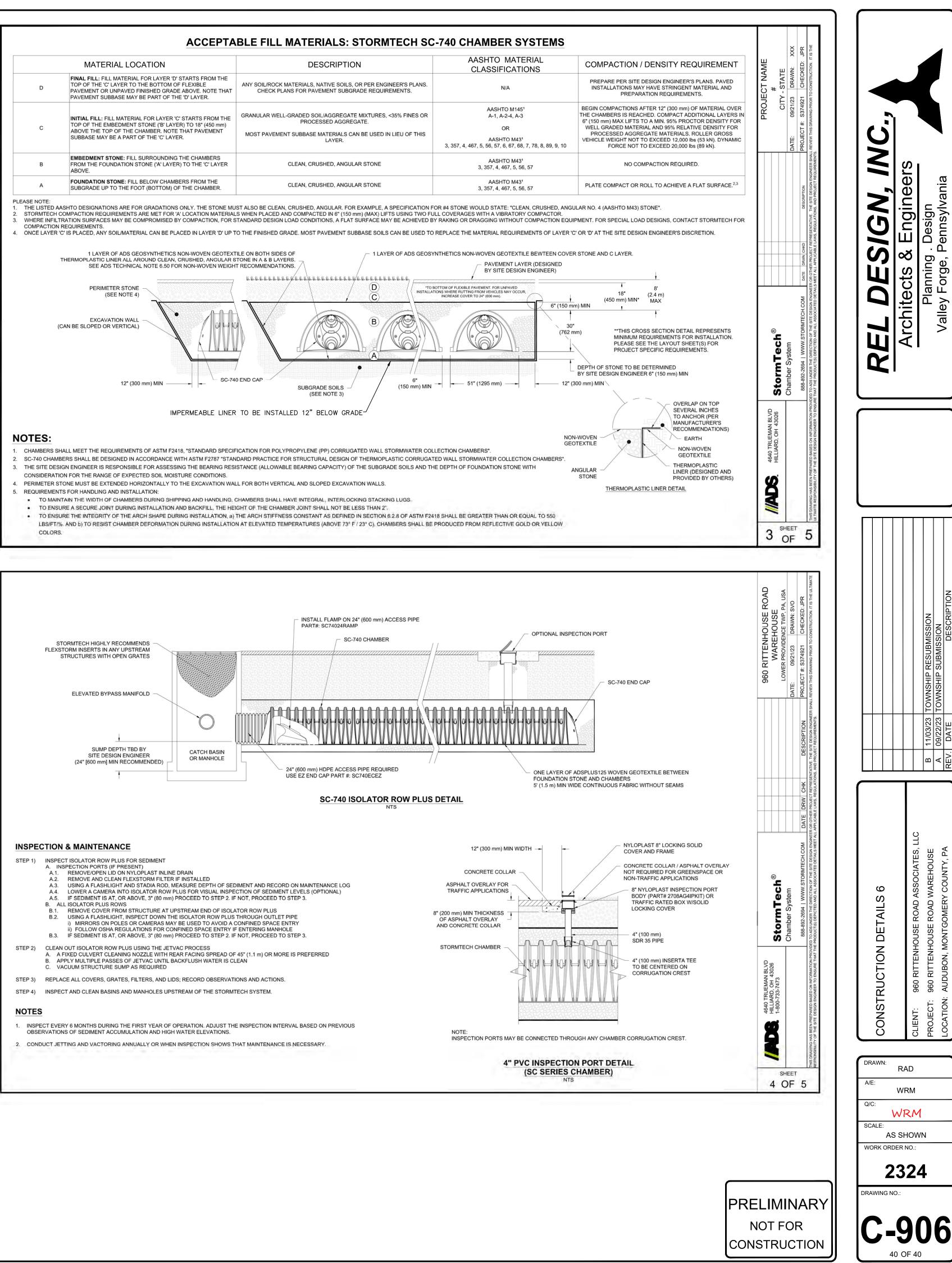


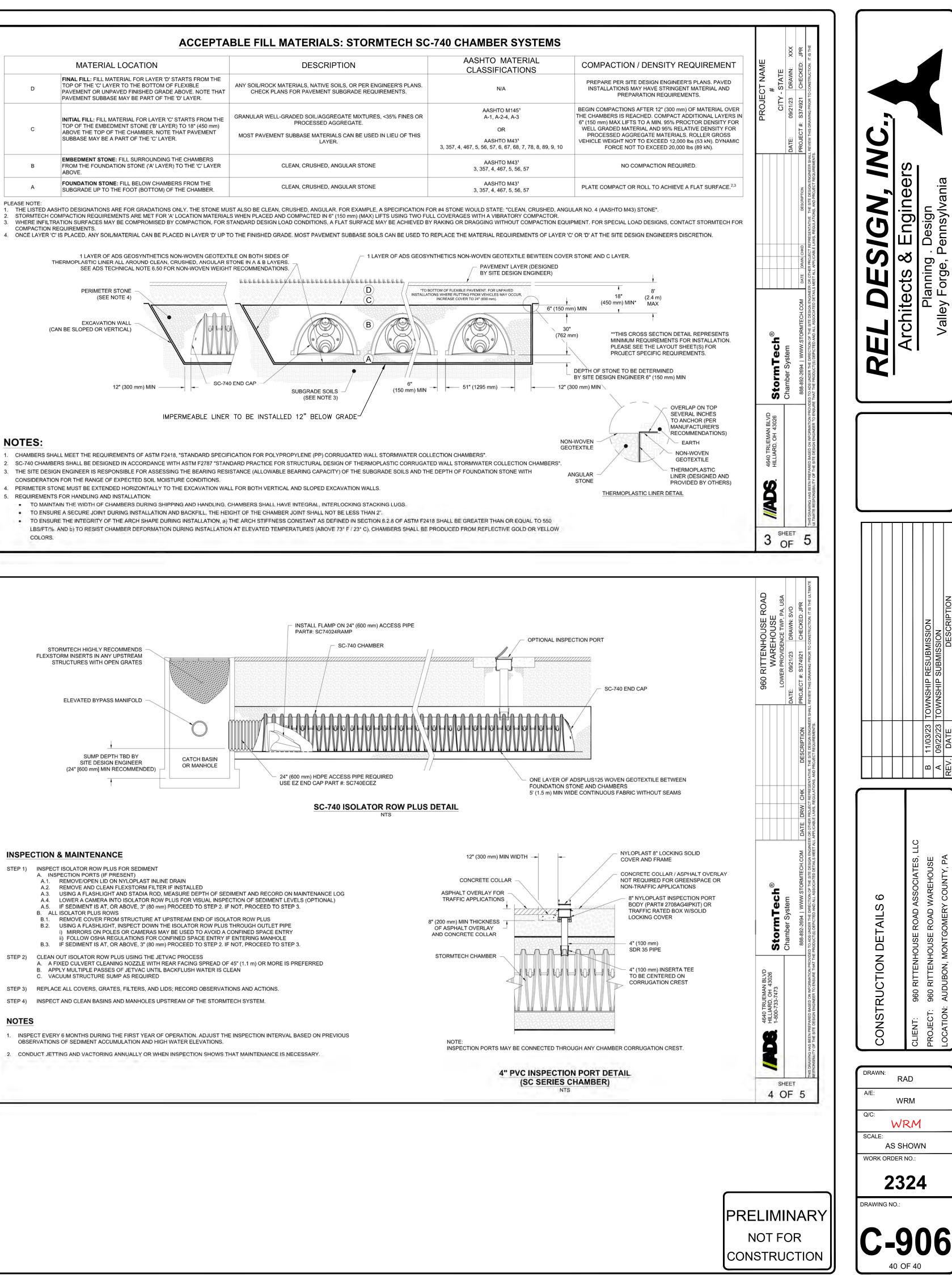


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LOWER PROVIDENCE TOWNSHIP

 100 Parklane Drive
 Eagleville, PA 19403
 • www.lowerprovidence.org

 Administration:
 610 539-8020
 • Fax: 610 539-6347

 Police:
 610-539-5900
 • Fax: 610-630-2219



LOWER PROVIDENCE TOWNSHIP CONDITIONAL USE APPEAL <u>APPLICATION</u>

960 Rittenhouse Road Associates, LLC Applicant's(s) Name

> 338 Sun Valley Drive Street Address

Ambler, PA 19002 City, State & Zip Code

> 215-840-3938 Phone Number

Appeal Number

Advertised Dates

Application Fee/Ck#

MAR 42024 PM 1:35

Date Received (For Official Use Only)

The following is a list of questions designed to assist you and the Board of Supervisors in the efficient and timely review of your Conditional Use Appeal. Please thoroughly answer all questions that are applicable to your appeal. If you believe the question does not pertain to your appeal, please indicate as such on this form by answering "Not Applicable". <u>All questions must be answered to consider this appeal form complete.</u>

A complete site plan and construction documents must be attached to this application. Please refer to the Lower Providence Township Conditional Use Appeal Procedures and Policy for this requirement. Please return this form to the Planning & Development Department when you file your application. Please type or print clearly.

Please complete the following questions:

1. What is the applicant's interest in the premises affected? (i.e. owner, equitable owner, tenant.)

Equitable owner

2. If applicant is represented by an attorney or counsel please provide their full name, address, phone and fax number.

Gregg I. Adelman, Esquire - Kaplin Stewart, 910 Harvest Drive, Blue Bell, PA 19422

Phone #610-941-2552

3. If the property owner is not the applicant, list the full name, address and phone number of the property owner. If the applicant is not the property owner, the applicant must provide a signed and notarized letter from the property owner stating his/her permission to allow the applicant to represent the property owner at the Board of Supervisors with this Conditional Use appeal.

Marital Trust Under the Will of Frank Facciolo, 2024 Sproul Road, Broomall, PA 19008

4. Please provide the requested information about the property involved in this Conditional Use Hearing appeal as described below:

Location:

(Street Address)

Tax Map ID#: 43-00-12256-00-4

960 Rittenhouse Road

Lot Size: 5.86 acres

Zoning District: IP-Industrial Park- Mixed Use Overlay Sector

Present Use:

Manufacturing/Warehousing

Date of when Present Use began: <u>~1960's</u>

Date of acquisition of this property by the owner: 3/29/2013

Please list each structure and it's use currently located on this property:

One-story 25,000 s.f. manufacturing building

5. What type of sewage and water facilities are available on the property and what type of sewage and water facilities are currently in use on the property?

Public water and public sewer

6. Are there any outstanding state or federal violations cited on this property at the time of this application?

N/A If yes, please explain these violations:

7. Has any previous zoning appeal been filed in connection with this property?

Yes If yes, please explain: 960 Rittenhouse Road Associates, LLC submitted a Conditional Use Application which was approved per Resolution 2023-23 dated 6/1/2023.

(List applicant's name, date & nature of appeal)

8. List all sections of the Lower Providence Township Subdivision and Development of Land Ordinance in which you are seeking relief from (waivers): (Please note that if this section is not complete, the appeal will not be heard)

N/A - Amendment to modify Condition 2.v of Resolution 2023-23.

9. State in narrative form the nature of your appeal including the primary relevant facts intended to be presented to the Board of Supervisors. Please include a description of all explosive or toxic materials to be stored on this site. Please reference to your attachment if additional space is needed.

Applicant proposes to amend/modify Condition 2.v of Resolution 2023-23 which states:

"Applicant shall re-stripe the intersection of Trooper Rd & Van Buren Ave and make sure that

there is a clear right turn lane on Van Buren Avenue onto Trooper Rd."

10. What is the exact use proposed for the property? List hours of operation, number and type of employees, business equipment to be used or stored at the site, nature of normal business operations. (Please reference to your attachment if additional space is needed.)

Warehouse use pursuant to Section 143-136.A

11. Are any additional state, federal or other permits required to operate the proposed use or construct the structure? <u>Yes</u> If yes, please provide the list of permits (and their status) required to operate the proposed use or structure.

NPDES Permit, DEP sewage planning and/or DEP/EPA environmental clearance (Act 2)

12. Describe the landscaping proposed for this property is planned, if any. Please indicate the type of landscape buffering proposed, if any.

N/A

13. What is the character of the buildings and uses on abutting properties and what is the general character of the surrounding neighborhood? (Please reference to your attachment if additional space is needed.)

Manufacturing/Industrial

14. What will the impact of this use be on existing traffic patterns and volumes for this Conditional Use Appeal? Also, please specify the amount of parking spaces and unloading areas as specified in the Lower Providence Township Zoning Ordinance. (Please reference to your attachment if additional space is needed.)

N/A - only seeking to modify condition 2.v

15. What will the impact of this use be on the existing stormwater infrastructure? Has a copy of the stormwater grading plan been reviewed by the Montgomery County Conservation District, if applicable?

N/A - stormwater management per pending preliminary/final land development application

16. What type of new and or existing improvements are being proposed for this use?

N/A - improvements per pending preliminary/final land development application

17. What degree will the proposed use emit smoke, dust, odor or other air pollutants, noise, vibration, light, electrical disturbances, water pollutants, or chemical pollutants? Such evidence may include the proposed use of proven special structural or technological innovations. Please provide specific and detailed information on all of the aforementioned topics. Please reference to your attachment if additional space is needed.

N/A - evidence was discussed/provided/approved at 4/20/23 Conditional Use hearing

18. Will any waivers granted by the Board of Supervisors, alter the essential character of the neighborhood or district in which the property is located, or substantially or permanently impair the appropriate use of development of adjacent property, or be detrimental to the public welfare? Please give reasons for your answers to the aforementioned questions by explaining below: (Please reference to your attachment if additional space is needed.)

N/A - any waivers are detailed as part of pending/preliminary final land development application

19. (I) (WE) believe that the Board of Supervisors should approve this request because: (include the grounds for the Conditional Use appeal or reasons both with respect to case law and fact for granting this use requested. Please reference to your attachment if additional space is needed.)

There was a mutual mistake between the applicant & the Township with respect to Condition 2.v. <u>Both entities thought a simple restriping of an existing faded right turn lane at the intersection was</u> feasible, which is not correct. There is no existing right turn lane at the intersection. As such, the condition requires modification based upon an impossibility.

20. Comments, Other Relevant Information or Additional Space for Answering Questions. Please indicate if additional attachments are with this appeal application:

Resolution 2023-23 is attached

I hereby certify that all of the above statements contained in this Conditional Use appeal application and any papers or plans submitted with this Conditional Use appeal to the Lower Providence Township Board of Supervisors herewith are true and correct to the best of my knowledge and belief.

Date 2 21 24	Gregg I. Adelman, Esquire, Attorney for Applicant (Print Name of applicant(s))		
Date 2 24/24	(Signature of applicant(s))		
COMMONWEALTH OF PENNSYLVANIA			

COUNTY OF MONTGOMERY

As subscribed and sworn to before me this _______ day of <u>February</u>, 200-2024

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and seals the day and year aforesaid.

(SEAL)

theen a. Elliott

NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal KATHLEEN A. ELLIOTT, Notary Public Montgomery County My Commission Expires February 18, 2025 Commission Number 1247732

LOWER PROVIDENCE TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA RESOLUTION No. 2023 - 23

WHEREAS, 960 Rittenhouse Road Associates, LLC (hereinafter referred to as "Applicant") has submitted a request for conditional use approval related to property located at 960 Rittenhouse Road, Lower Providence Township, Montgomery County, Pennsylvania, further identified as Tax Map Parcel Number 43-00-12256-00-4 (the "Property"); and

WHEREAS, the Property is located in the Mixed Use Overlay Sector of the Industrial Park Zoning District; and

WHEREAS, the Lower Providence Zoning Ordinance ("Ordinance") permits various uses by conditional use; and

WHEREAS, Applicant has submitted a request for conditional use approval to utilize the property for a warehouse use, pursuant to §143-136.A of the Ordinance.

WHEREAS, Township staff and the Township Engineer have reviewed the Application; and

WHEREAS, the Board of Supervisors of Lower Providence Township (hereinafter referred to as "Board") is prepared to GRANT approval of Applicant's request for conditional use approval, subject to certain conditions; and

WHEREAS, the Board is prepared to authorize the Township Manager to execute the written decision of the Township, pursuant to Section 913.2(b)(1) of the Pennsylvania Municipalities Planning Code.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Board of Supervisors of Lower Providence Township this 1st day of June, 2023, that said request for conditional {01628598;V2}1 use approval is GRANTED, subject to the following conditions:

- Plans: Applicant shall submit any and all plans reasonably required by the Township to review the Project and issue all required permits.
- 2. Conditions of Conditional Use Approval. Applicant shall comply with any and

all conditions of approval as documented in the written decision of the Township, which

are as follows:

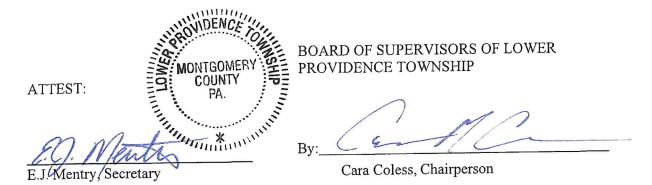
- i. Applicant shall comply with all objective criteria set forth in the Ordinance at §143-80.E(2)(b) and shall demonstrate such compliance to the satisfaction of the Township prior to issuance of any Certificate of Occupancy.
- ii. The proposed development shall be consistent with the exhibits and evidence introduced at the conditional use hearing. If there is a substantial change to same, including, but not limited to, a high-cube fulfillment warehouse use, the architectural renderings, landscaping plan, access, etc., additional conditional use approval will be required.
- iii. Applicant shall implement the restrictive truck movements depicted on the plans, including but not limited to a prohibition of truck traffic on Rittenhouse Road.
- iv. Applicant shall be subject to payment of a traffic impact fee based upon post development conditions 6 months after warehouse occupancy.
- v. Applicant shall re-stripe the intersection of Trooper Road and Van Buren Avenue and make sure that there is a clear right turn lane on Van Buren Avenue onto Trooper Road.
- vi. Applicant shall work with the Township for increased signage in the area to indicate where truck traffic should go coming in and out of the facility, and shall educate the tenant and drivers regarding the restrictions, particularly with respect to the prohibition of truck traffic on Rittenhouse Road.
- vii. The soil remediation will be undertaken by the Applicant without any involvement from the Township. Applicant will obtain any and all necessary approvals from the EPA and DEP, and copies of all such approvals shall be provided to the Township prior to construction beginning on the site.
- viii. Applicant shall ensure that soil remediation will be done in a managed process, so that stormwater will not further disturb the area during the remediation process, and Applicant will utilize proper soil sediment and erosion control

{01628598;V2}2

measures.

- ix. Applicant will work with the Township Engineer to design appropriate stormwater improvements to support development.
- x. Applicant shall use best efforts to ensure that noise coming from the property or from trucks coming and going from the property has a little impact on the neighboring and surrounding properties as is reasonably practicable, particularly between the hours of 10:00 p.m. and 7:00 a.m.
- xi. Applicant will comply with any requirements of the sewer authority for any sanitary sewer flow.
- xii. Applicant will comply with any requirements of any agency having jurisdiction over the property or the project.
- xiii. Compliance with all conditions of approval shall be at Applicant's sole cost and expense, with no cost or expense borne by the Township.
- Applicant shall comply with all applicable statutes, codes or ordinances during the permitting and construction of the Project.
- 4. The Township Manager is authorized to sign the aforementioned written decision on behalf of the Board of Supervisors.
- 5. This approval shall expire six (6) months from the date of this Decision.

RESOLVED and **APPROVED** this 1st day of June, 2023.



{01628598;V2}3

Exhibit

"A"

Findings of Fact

- Applicant is 960 Rittenhouse Road Associates, LLC ("Applicant"), equitable owner of certain real property located at 960 Rittenhouse Road, Lower Providence Township, Montgomery County, further identified as Montgomery County Tax Parcel Number 43-00-12256-00-4 ("Property").
- 2. The Property is approximately 5.86 acres, and is within the Mixed Use Overlay Sector ("MUO") of the Industrial Park Zoning District ("IP").
- 3. Uses permitted by conditional use in the IP District include warehouse uses, though such uses are not permitted in the MUO, Permitted uses in the IP are as set forth at §143-136.A of the Lower Providence Code of Ordinances ("Code").
- 4. The Property is currently occupied by a 25,000 square foot manufacturing building.
- 5. Applicant proposes to construct a new one-story 65,700 square foot warehouse facility together with associated parking, buffering, landscaping, utilities, stormwater management and other development-related aspects.
- 6. On or about February 15, 2023, Applicant submitted an application for Conditional Use approval requesting the following relief:
 - A. §143-136.A to permit the Property to be used for a warehouse use.
- 7. A public hearing was scheduled for April 20, 2023 with the Agreement of the Applicant. Notice of the hearing was advertised consistent with the Municipalities Planning Code. Prior to the April 20, 2023 hearing, the Applicant granted an extension for the Township's consideration of the hearing. The Property was posted with notice of the April 20, 2023 hearing consistent with the Municipalities Planning Code and notice of the hearing was mailed to neighboring property owners as required by the Code.
- 8. The following exhibits were admitted at the April 20, 2023 hearing:
 - **B-1** Proof of Publication
 - B-2 Proof of Posting
 - A-1 Conditional Use Application
 - A-2 Ryan Whitmore, CV
 - A-3 Conditional Use Plan dated 4/4/23
 - A-4 Conditional Use Stormwater Narrative dated 4/4/23
 - A-5 Viewshed Plan dated 4/4/23
 - A-6 Elevation/Rendering of proposed warehouse building
 - A-7 Township Engineer review letter dated 3/13/23
 - A-8 Landcore Engineering response letter dated 4/4/23
 - A-9 Matthew Hammond, CV

- A-10 Traffic Impact Study dated 3/31/23
- A-11 Township Traffic Engineer review letter dated 3/10/23

A-12 – Michael Gonshor, CV

- A-13 Environmental Contamination Summary memo
- 9. The Applicant was represented at the conditional use hearing by Gregg Adelman, Esquire, who offered the following summary of the Application:
 - A. Applicant proposes to demolish the existing manufacturing facility and redevelop the site with a warehouse use. Applicant does not know who the tenant will be. N.T., at 11.
 - B. Applicant is agreeable to a condition of approval that the proposed development will be consistent with the exhibits and evidence introduced at the conditional use hearing. If there is a substantial change to same, including the architectural renderings, landscaping plan, access, etc., additional conditional use approval would be required. N.T., at 37.
 - C. Applicant is agreeable to a condition of approval being added that would require implementation of the restrictive truck movements depicted on the plans, including but not limited to a prohibition of truck traffic on Rittenhouse Road. N.T., at 62.
 - D. Applicant is agreeable to payment of a traffic impact fee based upon post development conditions 6 months after warehouse occupancy. N.T., at 51-52, 62.
 - E. Applicant is agreeable to a condition of approval that the intersection of Trooper Road and Van Buren Avenue be re-striped and making sure that there is a clear right turn lane on Van Buren Avenue onto Trooper Road. <u>N.T.</u>, at 61.
 - F. Applicant is agreeable to a condition of approval that Applicant shall work with the Township for increased signage in the area to indicate where truck traffic should go coming in and out of the facility. <u>N.T.</u>, at 61.
 - G. The soil remediation will be undertaken by the Application without any involvement from the Township. Applicant will obtain any and all necessary approvals from the EPA and DEP, and copies of all such approvals shall be provided to the Township prior to construction beginning on the site. <u>N.T.</u>, at 81.
- 10. Ryan Whitmore, P.E., testified as follows:
 - A. The property is located on the eastern intersection of Van Buren Avenue and Rittenhouse Road and was developed for industrial purposes with appropriate parking and loading facilities. There are no environmentally sensitive features, such as woodlands, wetlands, floodplains. There is some known site

contamination on the property. N.T., at 14-15.

- B. Applicant proposes the construction of a roughly 66,000 square foot warehouse building, with primary access directly from Van Buren Avenue. That will function as a full movement driveway, except that truck traffic will be restricted from using Rittenhouse Road. Parking will consist of approximately 54 spaces on the Van Buren side. There will be 22 loading docks. <u>N.T.</u>, at 15-16.
- C. The plan is in conformity with all coverage, setback, and impervious requirements. <u>N.T.</u>, at 16.
- D. Applicant proposes a combination of stormwater management consisting of two aboveground rain gardens and an underground stormwater basin. Infiltration is not proposed due to the known site contamination. Each of the rain garden and underground basins will be lined with an impermeable liner to prevent any potential groundwater being moved through the infiltration process. The stormwater will drain in the same pattern and pipe location as currently exists on the site, which ultimately discharges to the Schuylkill River. <u>N.T.</u>, at 17, 28-30, 74-75.
- E. From a stormwater perspective, consideration must be given to properties downhill from the site. Applicant will work with the Township Engineer to design appropriate stormwater improvements to support development. <u>N.T.</u>, at 75-76.
- F. Trucks can adequately maneuver within the site. N.T., at 18.
- G. The landscaping plan includes street trees and ornamental trees on both frontages. In the parking fields, there will be shade trees and ornamental trees in parking islands. Applicant will install plantings to buffer the parking areas. Street trees will be planted along the street. <u>N.T.</u>, at 19-21.
- H. Adjacent uses are also industrial in nature. N.T., at 21.
- I. Sidewalks would be provided as required in the subdivision and land development ordinance. <u>N.T.</u>, at 21.
- J. The proposed building is 52 feet tall, where 90 feet is permitted in the ordinance. N.T., at 24.
- K. Mr. Whitmore reviewed the conditional use standards of the ordinance. The current use of the property is warehouse, and the proposed use is warehouse, which is permitted by conditional use. The proposed plan and redevelopment complies with the zoning ordinance requirements. Mr. Whitmore has reached out to the water and sewer providers for the property, and is awaiting certifications, but the property is currently served by public water and sewer so he does not {01627502: V4 }4

foresee any issues. N.T., at 26-27.

- L. Applicant proposes to construct a building that is not a typical industrial building, but rather one that is broken up visually as depicted on A-6. The building will be LEED certified. The architectural rendering could change during land development. N.T., at 31-33, 35.
- M. No trailer storage spaces are proposed. N.T., at 34.
- N. It is possible that the number of loading bay doors installed would be less than the 22 shown on the plans, but 22 would be the maximum. <u>N.T.</u>, at 35.
- 11. Matthew Hammond, P.E., testified to the following:
 - A. Mr. Hammond conducted a traffic impact study related to the proposed use of the property. <u>N.T.</u>, at 42.
 - B. The traffic study looks at six specific intersections: Rittenhouse and Audubon, Adams and Audubon, Adams and Van Buren, Van Buren and Trooper, Rittenhouse and Van Buren and Egypt and Rittenhouse. Mr. Hammond conducted traffic counts and did counts beyond just the typical peak hours to account for the traffic generated by a warehouse use. <u>N.T.</u>, at 43.
 - C. The traffic study took into account future developments proposed for Shannondell and another nearby parcel, as well as Norris Hall Road extension. <u>N.T.</u>, at 44.
 - D. The traffic study looked at the amount of traffic that would be generated by the use and superimposed it over the cited intersections. The study found that the site would have a minimal impact on the roadway network during all four peak times analyzed. <u>N.T.</u>, at 44.
 - E. Mr. Hammond recommended restricting truck traffic from utilizing Rittenhouse Road, so any truck exiting the facility would have to make a left turn and travel eastbound on Van Buren to Trooper Road. Applicant will work with Township staff to determine where appropriate signage should be and will educate the tenant and drivers regarding the restrictions. N.T., at 45, 56.
 - F. The study also proposes minor widening for Rittenhouse Road in order to meet Township requirements along with re-striping further down on Van Buren near Trooper Road. <u>N.T.</u>, at 46.
 - G. The trip generation for the proposed use is similar to other similarly sized facilities. Over the course of the day, it is anticipated that the facility would generate 143 trips, 43 of which would be truck traffic. <u>N.T.</u>, at 46-48.

- H. A high-cube¹ fulfillment center would generate significantly more traffic than a general warehouse, up to 425 trips per day. The size of the proposed building would not be likely to accommodate that type of use. <u>N.T.</u>, at 49-51.
- I. If the recommendations of the study are implemented, the proposed use complies with the requirements of the Township's ordinance that require that the proposed use provides for adequate access to public roads without crating hazardous conditions at intersection or areas of poor road alignment and without creating undue congestion. <u>N.T.</u>, at 54.
- 12. Michael Gonshor testified as follows:
 - A. Mr. Gonshor is a geologist with extensive experience in environmental contamination and remediation. <u>N.T.</u>, at 65.
 - B. Mr. Gonshor conducted an environmental study on the property. This included an environmental review of all other reports related to the property. In 2013, an EPA contractor found contaminated soils during a soil gas survey of the property. The report identified a neighboring property as a potential contaminator. <u>N.T.</u>, at 66-67.
 - C. In 2019, Storb Environmental took soil samples and sampled monitoring wells, and confirmed the presence of volatile organic compounds, primarily trichloroethylene, known as TCE, which is an industrial degreaser. <u>N.T.</u>, at 68.
 - D. In 2022, the EPA returned to the site for re-testing, and again confirmed the presence of TCE in the soil. <u>N.T.</u>, at 67-68.
 - E. The prospective purchaser of the property, Applicant, agreed to remediate the soil, but other entities were responsible for groundwater remediation. N.T., at 69.
 - F. Mr. Gonshor identified an area of about 6,000 square feet near the currently existing loading dock that contains the contaminated soil and has prepared a draft work plan, which has been submitted to the DEP and the EPA. Once approved, Applicant would remediate the soil consistent with that plan. <u>N.T.</u>, at 69-70.
 - G. Prior to remediation, Applicant will collect additional samples to attempt to refine the area requiring remediation. <u>N.T.</u>, at 70.
 - H. Soil remediation will be done in a managed process, so that stormwater will not further disturb the area during the remediation process, and Applicant will utilize

¹ The transcript references high "queue" fulfillment centers as an alternative warehouse use. However, ITE's publication, Trip Generation, 11th Edition, which was used for the traffic impact study, references high cube fulfillment centers. Therefore, references to high queue fulfillment centers have been modified to be consistent with the publication.

proper soil sediment and erosion control measures. N.T., at 79-80.

13. The Board of Supervisors found the testimony and statements of the Applicant's witnesses and the neighboring property owners to be credible and persuasive based upon their demeanor.

CONCLUSIONS OF LAW

- 1. Applicant seeks conditional use approval pursuant to §143-136.A to permit the Property to be used as a warehouse use, which is permitted by conditional use approval in the Industrial Park Zoning District.
- 2. Legal Authority

"A conditional use is nothing more than a special exception which falls within the jurisdiction of the municipal governing body rather than the zoning hearing board." <u>Williams</u> <u>Holding Group, LLC v. Bd. of Supervisors of W. Hanover Twp.</u>, 101 A.3d 1202 (Pa.Cmwlth 2014).

Pennsylvania law is well settled with respect to the burden of proof that the Board of Supervisors must apply when addressing conditional use applications. <u>Northampton Area</u> <u>School District v. E. Allen Township Bd. Of Supervisors</u>, 824 A.2d 372 (Pa. Cmwlth. 2003). The initial burdens of production and persuasion are placed upon the applicant to demonstrate that he or she meets all of the specific objective requirements for the conditional use as set forth in the zoning ordinance. <u>In re Land Use Appeal of Gresko</u>, 2009 Pa. Dist. & Cnty. Dec. LEXIS 419 (citing <u>Appeal of George Baker</u>, Jr., 19 Pa. Commw. 163, 339 A.2d 131 (Pa. Cmwlth. 1975)). The Commonwealth Court has explained that "[a]n applicant who satisfies this prima facie burden is entitled to approval..." Williams Holding Group, LLC v. Bd. of Supervisors of <u>W. Hanover Twp.</u>, 101 A.3d 1202 (Pa.Cmwlth. 2014). However, failure to sustain this burden of proof constitutes substantial evidence to reject or deny an application for conditional use approval. <u>In re AMA/American Marketing Ass'n, Inc.</u>, 2016 WL 3258103 (Pa.Cmwlth. 2016).

In considering a conditional use application, a local governing body is free to reject even uncontradicted testimony if it finds it lacking in credibility, including testimony offered by an expert witness. <u>Taliaferro v. Darby Twp. Zoning Hearing Bd.</u>, 873 A.2d 807 (Pa.Cmwlth.2005).

An applicant for special exception or conditional use must demonstrate that his proposed use meets the applicable requirements of the zoning ordinance when the application is submitted.

"An applicant is entitled to a conditional use as a matter of right, unless the governing body determines that the use does not satisfy the specific, objective criteria in the zoning ordinance for that conditional use. The applicant bears the initial burden of showing that the proposed conditional use satisfies the objective standards set forth in the zoning ordinance, and a proposed use that does so is presumptively deemed to be consistent with

the health, safety and welfare of the community. Once the applicant satisfies these specific standards, the burden shifts to the objectors to prove that the impact of the proposed use is such that it would violate the other general requirements for land use that are set forth in the zoning ordinance, i.e., that the proposed use would be injurious to the public health, safety and welfare." <u>EQT Production Company v. Borough of Jefferson</u> Hills, 652 Pa. 508 (2019).

Further, a promise to comply or conditions compelling future compliance cannot cure an otherwise noncompliant application. The Commonwealth Court has rejected arguments that assurances of future compliance should be sufficient, stating "[i]f we were to adopt a rule that to obtain a special exception all that would be required is for an applicant to promise to come into compliance at some future date, it would make the approval process meaningless because once an applicant promises it would be entitled to receive the special exception." In re Thompson, 896 A.2d 659, 680 (Pa.Cmwlth.2006) (emphasis supplied) (citations omitted).

3. Objective Ordinance Criteria.

The objective criteria for conditional use approval are set forth at §143-80.E(2)(b), as follows:

"[1] That the propose use is appropriate to the tract in question and will not adversely effect the character of the surrounding land uses and general neighborhood.

[2] That the proposed use provides for adequate access to public roads without creating hazardous conditions at intersections or areas of poor road alignment and without creating undue congestion. All applications shall be accompanied by a traffic impact analysis which meets the requirements of the Township's Subdivision and Land Development Ordinance, as last amended.

[3] That the proposed use conforms to all applicable requirements of this article.

[4] That the proposed use's water supply and sanitation systems are adequate and able to prevent disease, contamination and unsanitary conditions. Where applicable, a certificate of adequacy of sewage and water facilities shall be provided.

[5] That the proposed use will result in an appropriate use of land, the conservation of the value of buildings, safety from fire, panic and other dangers, adequacy of light and air, the prevention of overcrowding of land and congestion of population and the adequacy of public and community services."

There are no further objective criteria that are applicable to warehouse uses.

- 4. Applicant's Requests for Relief
 - A. As noted above, the Board found the testimony of Applicant's witnesses to be credible and persuasive. Applicant's witnesses testified regarding Applicant's compliance with each of the criteria set forth above.
 - B. Conditions of Approval. The Board of Supervisors imposes the following $\{01627502; \forall 4\}8$

conditions of approval on the Application:

- i. Applicant shall comply with all objective criteria set forth in the Ordinance at §143-80.E(2)(b) and shall demonstrate such compliance to the satisfaction of the Township prior to issuance of any Certificate of Occupancy.
- ii. The proposed development shall be consistent with the exhibits and evidence introduced at the conditional use hearing. If there is a substantial change to same, including, but not limited to, a high-cube fulfillment warehouse use, the architectural renderings, landscaping plan, access, etc., additional conditional use approval will be required.
- iii. Applicant shall implement the restrictive truck movements depicted on the plans, including but not limited to a prohibition of truck traffic on Rittenhouse Road.
- iv. Applicant shall be subject to payment of a traffic impact fee based upon post development conditions 6 months after warehouse occupancy.
- v. Applicant shall re-stripe the intersection of Trooper Road and Van Buren Avenue and make sure that there is a clear right turn lane on Van Buren Avenue onto Trooper Road.
- vi. Applicant shall work with the Township for increased signage in the area to indicate where truck traffic should go coming in and out of the facility, and shall educate the tenant and drivers regarding the restrictions, particularly with respect to the prohibition of truck traffic on Rittenhouse Road.
- vii. The soil remediation will be undertaken by the Applicant without any involvement from the Township. Applicant will obtain any and all necessary approvals from the EPA and DEP, and copies of all such approvals shall be provided to the Township prior to construction beginning on the site.
- viii. Applicant shall ensure that soil remediation will be done in a managed process, so that stormwater will not further disturb the area during the remediation process, and Applicant will utilize proper soil sediment and erosion control measures.
- ix. Applicant will work with the Township Engineer to design appropriate stormwater improvements to support development.
- x. Applicant shall use best efforts to ensure that noise coming from the property or from trucks coming and going from the property has as little {01627502;V4}9

impact on the neighboring and surrounding properties as is reasonably practicable, particularly between the hours of 10:00 p.m. and 7:00 a.m.

- xi. Applicant will comply with any requirements of the sewer authority for any sanitary sewer flow.
- xii. Applicant will comply with any requirements of any agency having jurisdiction over the property or the project.
- xiii. Compliance with all conditions of approval shall be at Applicant's sole cost and expense, with no cost or expense borne by the Township.

5. Conclusion

For the reasons set forth above in more particular detail, the Board of Supervisors found that Applicant sustained its burden of proof for the conditional use application, and GRANTED the application, subject to the conditions of approval set forth herein.





Gregg I. Adelman, Esquire Direct Dial: (610) 941-2552 Direct Fax: (610) 684-2001 Email: gadelman@kaplaw.com www.kaplaw.com

March 4, 2024

VIA HAND DELIVERY & EMAIL (MMROZINSKI@LOWERPROVIDENCE.ORG)

Mike Mrozinski, Director of Planning & Development Lower Providence Township 100 Parklane Drive Eagleville, PA 19403

RE: 960 Rittenhouse Road Associates, LLC -Conditional Use Application

Dear Mike:

As you are aware, I represent 960 Rittenhouse Road Associates, LLC ("**Applicant**"). Applicant previously submitted an application for conditional use approval for the use of a warehouse facility on property located at 960 Rittenhouse Road in Lower Providence Township. The application was heard and approved at the Board of Supervisors' June 1, 2023, subject to the conditions outlined in Resolution #2023-23 ("**Resolution**"). Applicant proposes to amend and/or modify Condition 2.v of the Resolution. Therefore, I am enclosing the following:

- 1. An original and fifteen (15) copies of a completed and notarized Conditional Use Application Amending Condition 2.v of the Resolution;
- 2. Sixteen (16) copies of the Resolution; and
- 3. A check made payable to Lower Providence Township in the amount of \$2,000.00 representing the application fee.

Kindly time-stamp the extra copy of the Conditional Use Application and return it to the courier.

Please inform me of when this matter will be placed on the Board of Supervisors' agenda.

Mike Mrozinski March 4, 2024 Page 2

Please feel free to contact if you have any questions or require anything further.

Sincerely yours,

Sh 710

Gregg I. Adelman, Esquire GIA/kds

Enclosure

cc (via email): Lauren Gallagher, Esquire (w/ encl.)



November 14, 2023

Michael Mrozinski, Director of Community Development Lower Providence Township 100 Parklane Drive Eagleville, PA 19403

Reference: 960 Rittenhouse Road – Warehouse Land Development Application

Dear Mike:

My office is in receipt of a revised set of plans prepared by REL Design, Inc. of Audubon, Pennsylvania. The plans have an original date of September 22, 2023, and have been most recently revised on November 3, 2023. Please recall that on October 11, of 2023, my office issued a review of the application measuring the plan against the conditional use approval as well as the subdivision land development ordinance. This plan revision is intended to address those earlier comments. This resubmission leaves the following items to be addressed by the applicant and the approval process:

1. Applicant shall comply with all the objective criteria set forth in the ordinance satisfying all criteria before the issuance of any certificate of occupancy.

This is to be confirmed with the Township's director of planning and zoning.

2. The applicant shall implement the restrictive truck movement depicted on the plans, including but not limited to a prohibition of truck traffic on Rittenhouse Road.

We look to McMahon and Associates for confirmation of restriction.

3. Applicant shall be subject to payment of a traffic impact fee based upon post development conditions six months after warehouse occupancy.

Open item – Compliance Acknowledged.

Approvals/Permits/Reviews – My office is looking for the applicant to secure the following approvals/permits/reviews in conjunction with the land development plan application.

- 1. Fire and potable water supply certification from the appropriate authority.
- 2. Lower Providence Township Sewer Authority.
- 3. PA DEP Waiver of or exemption from sewage facilities planning.
- 4. PA DEP NPDES permit approval.
- 5. PA DEP Resolution of any environmental contamination restrictions from earlier uses on the property.
- 6. Execution of land development and financial security agreements.
- 7. Execution of stormwater operation and maintenance agreement.
- 8. Execution of a trail easement for Rittenhouse Road

Subdivision Land Development Ordinance Review:

- 1. Section 123-32.A Curbs, sidewalk and storm sewers are required for the road frontages.
 - a. Along Van Buren Avenue Curbs exist along this frontage; however, the Township will reserve the right to require that damaged or misaligned curbs be replaced in conjunction with a preconstruction view of the property. A site inspection is to be arranged with public works and engineer.
 - b. Along Van Buren Avenue Very limited storm sewer infrastructure exists. We would like the opportunity to walk the site with the designers and our public works director to assure we have captured and managed runoff from this road frontage.
- 2. Section 123-41.E(2) The stormwater management system to the southeast side of the building discharges into an storm sewer system. Additional information is required through title to understand who has ultimate responsibility for maintenance and repair of the downstream infrastructure and to assure the right to make connection to this infrastructure through easement documentation or new easement creation. This office has been in contact with the adjacent owner. A follow up meeting is to convene with all parties.

General design comments:

1. Environmental Sustainability – The Township has adopted environmental sustainability guidance. We ask the applicant in this design to consider electric vehicle charging stations, the opportunity for solar panel charging, the opportunity for the implementation of pervious paving and parking lot areas, stormwater capture and reuse, and other green infrastructure to further these Township goals.

November 14, 2023 Michael Mrozinski, Director of Community Development Lower Providence Township Reference: 960 Rittenhouse Road – Warehouse Land Development Application

The developer, while accepting that these requests are not required, acknowledges their intent to install the necessary conduit to permit multiple parking spaces to be "EV" ready and capable of easily accepting EV charging apparatus. A note to this effect must be added to the plans and a land of the conduits shown.

Please feel free to contact me with any questions you may have regarding this matter.

Timothy P. Woodrow, P.E. Township Engineer Woodrow & Associates, Inc.

TPW/del

Sincerely,

cc: EJ Mentry, Township Manager – Lower Providence Township Michael Clarke, Esq., Township Solicitor – Rudolph Clarke, LLC Lauren Gallagher, Esq. – Rudolph Clarke, LLC Casey Moore, P.E., McMahon Associates Alan M. Rubendall, System Superintendent – L. Prov. Sewer Authority Ed Woyden, P.E. – Gannett Fleming Engineers William R. McNaney, P.E. – Robert E. Lamb, Inc. 960 Rittenhouse Road Associates – Applicant Greg Adelman, Esq – Kapling|Stewart

TOWNSHIP OF LOWER PROVIDENCE

ORDINANCE NO. 680

AN ORDINANCE OF THE TOWNSHIP OF LOWER PROVIDENCE, MONTGOMERY COUNTY, PENNSYLVANIA, AMENDING PROVISIONS OF THE LOWER PROVIDENCE TOWNSHIP RESTATED POLICE PENSION PLAN TO INCORPORATE CHANGES AGREED TO THROUGH COLLECTIVE BARGAINING

CERTIFICATION

I, E.J. MENTRY, BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT I AM THE TOWNSHIP MANAGER IN LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PA AND THAT ATTACHED HERETO IS A TRUE AND COMPLETE CORRECT COPY OF ORDINANCE NO. 680.

E.J. Mentry, Township Manager

ENACTED: _____

TOWNSHIP OF LOWER PROVIDENCE

ORDINANCE NO. 680

AN ORDINANCE OF THE TOWNSHIP OF LOWER PROVIDENCE, MONTGOMERY COUNTY, PENNSYLVANIA, AMENDING PROVISIONS OF THE LOWER PROVIDENCE TOWNSHIP RESTATED POLICE PENSION PLAN TO INCORPORATE CHANGES AGREED TO THROUGH COLLECTIVE BARGAINING

WHEREAS, the Township of Lower Providence (the "Township") has previously enacted an Ordinance establishing the Lower Providence Township Police Pension Plan (the "Plan"); and

WHEREAS, the Plan was totally amended and restated, effective April 17, 2002, and amended further in 2016; and

WHEREAS, following the most recent round of collective bargaining with the labor organization which represents the Township's Police Officers, as well as following the receipt and review of an actuarial study, the Township and the Union agreed to certain pension-related changes involving non-intervening military time purchase; and

WHEREAS, it is in the best interest of the Plan to incorporate the above changes into the Plan document to remain in compliance with applicable law.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED, by the Board of Supervisors of Lower Providence Township, as follows:

SECTION 1. Service. Section 1.10(e) of the Police Pension Plan is hereby amended to provide as follows:

(e). Credit for Military Service - Any employee employed as a member of the police force who has been a regularly appointed employee for a period of at least six months and who thereafter enters into the military service of the United States shall receive credit for all such military service, if he returns to employment with the employer within six months after his separation from military service.

In addition, an Officer may purchase service credit for up to five (5) years of active military service with the United States armed forces provided that such service occurred prior to the individuals employment as a Township Police Officer,

provided that the Officer is not entitled or eligible to receive and is not currently receiving, retirement benefits for such service from any retirement system administered and wholly or partially paid for by any other governmental agency. The amount due for the purchase of credit for military service other than intervening military service shall be computed in accordance with Section 4 of Act 600, 53 P.S. § 770. The amount due shall be calculated by applying the average normal cost rate for borough, town, township and regional police pension plans as certified by the Public Employee Retirement Commission or its successor, but not to exceed ten percent (10%), to the Officer's average annual rate of compensation over the first three (3) years of Township service and multiplying the result by the number of years and factional part of a year of creditable non-intervening military service being purchased together with interest at the rate of four and three-quarters (4.75%) compounded annually from the date of the initial entry into Township service to the date of payment.

Notwithstanding the preceding, effective December 12, 1994, contributions, benefits, and service credit with respect to qualified military service will be provided in accordance with IRC section 414(u).

SECTION 2. REPEALER.

All Ordinances or parts of Ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

SECTION 3. EFFECTIVE DATE.

The terms of this Ordinance shall take effect immediately.

ENACTED AND ORDAINED this _____day of ______, 2024 by the Board of Supervisors of the Township of Lower Providence.

TOWNSHIP OF LOWER PROVIDENCE BOARD OF SUPERVISORS

Dr. Janine Darby, Chair

Attested by:

E.J. Mentry Township Manager & Secretary



LOWER PROVIDENCE TOWNSHIP

100 Parklane Drive • Eagleville, PA 19403 • www.lowerprovidence.org Administration: 610 539-8020 • Fax: 610 539-6347 Police: 610-539-5901 • Fax: 610-630-2219



MEMORANDUM

TO:	Board of Supervisors
FROM:	E.J. Mentry, Township Manager
SUBJECT:	2024 Road Improvements Project Bid Award (Agenda Item 4.c.)
DATE:	March 12, 2024

Please recall that at the 2/15/24 meeting, the Board of Supervisors authorized advertisement of the 2024 Road Reconstruction bid ("road program"). The road program was duly advertised, and a mandatory pre-bid meeting was held on March 5, 2024. A total of six contractors attended. Please find attached the minutes from the pre-bid meeting.

The road program bid opening is scheduled for Wednesday, March 20 at 10:00 AM, the day before the Supervisors meeting. Unless there are significant issues with the bid opening, we anticipate having the bids reviewed, tabulated, and ready for an award recommendation for the Supervisors meeting on Thursday, March 21. Because of the timing of the bid opening, currently we do not have any updated materials for the BOS meeting packets. We will have printouts of the bid tabulation and award recommendation letter for each Supervisor Thursday night. If possible, we will send to the BOS in advance of the meeting.

Please let me know if you have any questions in advance of the meeting. I am happy to discuss in more detail with any of you individually.





MEMORANDUM

To:	All Attendees Rodney Hagenbuch, Public Works – Lower Providence Township
From:	Timothy P. Woodrow, P.E.
	E.J. Mentry, Township Manager – Lower Providence Township
Date:	March 5, 2024
	Lower Providence Township 2024 Road Improvement Project Pre-bid Meeting Minutes

On the morning of March 5, 2024, a meeting was convened at the offices of the lower Providence Township administration. The meeting was attended by the following attendees:

Meeting Attendees			
Name	Company/Affiliation	Phone	E-Mail
Ed Rodenberger	Gorecon, Inc.	484-522-8729	estimating@goreconinc.com
Jason Saylor	H&K Group	610-222-3086	jsaylor@HKGroup.com
Steve Clapper	Sacks and Sons	610-287-7393	steve@sacksandsons.com
Nathan Miller	Allan Myers	304-257-0340	nathan.miller@allanmyers.com
Mike Kossa	Allan Myers	804-314-5258	mike.kozza@allanmyers.com
Rich Somors	Innovative Con	610-470-8000	r.somers@inncon.com
Matt Uliasz	Glasgow Co., Inc.	215-884-8800	matt.uliasz@glasgowinc.com
Alan Rubendall	LPTSA	610-476-9104	arubendall@lptsa.org
Joe Chillano	L.P. Public Works Director	610-539-6347	jchillano@lowerprovidence.org
Tim Woodrow	Township Engineer	215-542-5648	twoodrow@woodrowinc.com
Ed Slaw	Woodrow & Assoc.	215-542-5648	eslaw1950@hotmail.com

Mr. Woodrow opened the meeting by introducing himself as the Township engineer as well as the balance of the Township team including Joe Chillano, LP Public Works Director; Rodney Hagenbuch, LP Public Works Dept.; Ed Slaw, Woodrow and Associates; Paul Donnelly, LP Assistant Manager and Alan Rubendall, L. Prov. Sewer Authority.

1. Mr. Woodrow reminded all that sealed bids are due on Wednesday, March 20, by 10:00 a.m., at which time they will be open and read aloud.

- 2. It is the expectation that the Lower Providence Board of Supervisors will authorize execution of contract documents at their meeting on Thursday Night, March 21, 2024.
- 3. Mr. Woodrow reminded that this was a mandatory pre-bid meeting; therefore, competition for the work sits in this room.
- 4. Mr. Chillano reviewed several points within the bid documents that include the possibility that the Lower Providence Township Sewer Authority may take on the responsibility of resetting sanitary sewer manhole castings.
- 5. It was made clear that the bid form will be evaluated based upon the total value of the base contract plus the alternates to achieve a lowest qualified bidder.
- 6. There is no road line striping included in this contract.
- 7. The limits of the work on the various highways have been painted in white as of Monday, March 4, 2024 All contractors are invited to visit the roads to get a better sense of the task ahead.
- 8. Mr. Chillano did point out that some of the paving extends through intersections and that intersection work will be part of the expectations of contract performance.
- 9. It is clear that there will be one award of the total contract requiring only one mobilization from the contractor.
- 10. Mr. Chillano will be reviewing asphalt mix designs and accepting only mix designs that have a maximum of 15% RAP.

The Township team would like to thank all contractors for participating in this meeting, and we look forward to accepting and receiving your bids on the 20th.

The meeting was adjourned.

LOWER PROVIDENCE TOWNSHIP

2024 Fee Schedule



LOWER PROVIDENCE TOWNSHIP ADMINISTRATION & FINANCE

Description	Fee	Comments
Taxes		1
Real Estate Tax (based on 100% Assessment)		
General Fund	2.1104	
Library Fund	0.345	
Debt Service Fund	0.276	
Emergency Services Fund	0.5]
Parks & Recreation	0.241	Ţ
Earned Income Tax	1.0% gross earnings (.5% LPT/.5% MSD)]
Local Services Tax	\$52.00 (\$47 LPT/\$5 MSD)	Ţ
Real Estate Transfer Tax	1% of purchase price (.5% LPT/.5% MSD)	Ţ
Amusement Tax	10% admission sales (5% LPT/5% MSD)	
Mechanical Device Tax	\$100.00 annually/ device	1
		-
Sales		
Maps/Plans]
Color 11x17	\$2.50	Ţ
Black & White 11x17	\$1.00	Ţ
Zoning Map	\$10.00	Ţ
Plans Copied	Cost of outsourcing plus \$25.00 courier	
Black and White 8 1⁄2 X 11 Copies	\$0.25 per copy	
Print (Duplicating) Black and White Oversize	\$.025/SF	Added to Cover
Scan Black and White Oversize	\$1.00/SF	Printing/Scanning/
Print (Duplicating) Color Oversize	\$8.00/SF	Copying on New
Scan Color Oversize	\$7.00/SF	Wide Format
E-Mail Electronic Files	\$15.00	Printer/Scanner
Documents Retrieved From Iron Mountain Storage	\$25.00 per box	
Postage	Actual cost per USPS	
Comprehensive Plan	\$25.00	
Budget Document	Per page as per Fee Schedule	
Bid Documents	\$50.00	
Bicentennial Booklet	\$5.00 (includes tax)	
History Book	\$10.00 (includes tax)	
		-
Fees		
Late Fee	1.5% per month on balance	
Administrative Fee	\$1.50 per month	
Real Estate Tax Certification (paid to Michael Deal, TC)	\$25.00	
Zoning Certification	\$25.00	
Lien Fee	\$90.00	
Returned Check Fee	\$25.00	
Copy of Public Meeting Recording	\$60.00	
Auditorium Rental	\$125.00 (1st 3 hrs) \$15.00 each add 'l hour	
Auditorium Rental Security Deposit	\$125.00]
A		7
Amusement Permit		4
Annual	\$100.00	
Temporary	\$25.00	
Replacement	\$5.00	2

LOWER PROVIDENCE TOWNSHIP POLICE/PUBLIC SAFETY

Description	Fee
Police Reports	
Accident Report	\$15.00
Incident Report (No fee for crime victims)	\$20.00

Alarm Fees	
False Fire Alarm – per calendar year*	
First	\$100.00
Second	\$200.00
Third and Up	\$300.00
Commercial Burglary/Hold Up	\$100.00
Residential Burglary/Panic Alarm	\$50.00

*Three false alarms are permitted each calendar year. For every subsequent false alarm the fee schedule applies.

Charges for Services		
Police Services – per officer and vehicle	\$130 per hour	
Fingerprinting	\$25.00	
Photograph DVD	\$2.00 per photo	
Print Photograph – 4x6	\$4.00	
Print Photograph – 5x7	\$8.00	
Print Photograph – 8x10	\$12.00	
Print Proof sheets	\$20.00	
Video	\$150.00	
Disaster or Life Safety Plan Review	\$300.00	
Floor Plan Layout	\$150.00 Per 1,000 sf or Fraction Thereof	

Miscellaneous Permits & Fees		
Solicitors permit	\$30.00 per day or \$100.00 per month	
Police Requested Tow Service	\$195.00 per vehicle	
Debris Clean-Up	\$45.00	
Storage-Per Day	\$55.00	

Special tow situations involving heavy equipment or other special circumstances, rates shall be subject to a fee which is reasonable and customary in Montgomery County.

Fire Marshal	
Fire Marshal Investigation Report (No fee for fire victims)	\$75.00
Recreational Fire Permit	\$50.00
Permanent Outdoor Fireplace Permit	\$100.00
Bonfire Permit	\$100.00

LOWER PROVIDENCE TOWNSHIP POLICE/PUBLIC SAFETY

Description Fee

Criminal History Record Information Act Fees

Initial Processing Fee	\$250.00
Electronic storage devices such as DVDs, flash drives, and external hard drives	Township Cost
Retrieval	\$6.25/fifteen minutes
Photocopying	\$0.25/page for black & white
riotocopying	\$0.50/page for color
Postage	Township Cost
Legal work, including but not limited to necessary redactions	Solicitor's hourly rate for litigation matters as imposed by the Lower Providence Township Board of Supervisors from time to time

LOWER PROVIDENCE TOWNSHIP Community Development

Description	Fee	Comments
Submission Type		
Major/Minor Subdivision*** Sketch, Preliminary, Preliminary/Final and Final Submission	\$1,500.00 plus \$100.00 per dwelling unit	
Major/Minor Land Development*** Sketch, Preliminary, Preliminary/Final and Final Submission	\$1,500.00 plus \$100.00 per acre	
Conditional Use Appeal	\$2,000.00 plus ½ Stenographer Fee*	
Request for Change of Zoning (Text or Map)	\$2,500.00 plus ½ Stenographer Fee*	
De minimis Plan Review	\$500.00 plus engineering review cost	
Hearing Postponement Only	50% of Application Fee	
Professional services not connected with other SALDO or permitted projects, including staff - solicitor meetings	As invoiced by the Township	

Please note: The maximum fee paid for all new submissions shall be \$10,000.00 See Attached Third Party Consultant Fee Schedules.

Escrows - Subdivisions/Land Development		
Subdivision	\$2,500/lot - \$30,000 MAX	
Land Development	\$7,500/lot - \$30,000 MAX	
Please note: The Township will draw down the escrow for all fees associated with the plan review process.		
Applicant will be required to replenish the escrow upon notice from the Township.		

See Attached Third Party Consultant Fee Schedules.

Traffic Impact Fees		
Transportation Service Area 1	\$1,822.00/peak hour trip	
Transportation Service Area 2	\$413.00/peak hour trip	
Park and Recreation Fees		
Dwelling Unit	\$1,160.00/unit	
<u>0</u>		
Indoor Commercial Building Floor Area	\$1.10/sf	
Indoor Office Building Floor Area	\$1.77/sf	
Indoor Industrial Building Floor Area	\$0.76/sf	

*The applicant must pay 1/2 of the stenographer's invoice beyond the initial meeting

***All applications for Subdivision and Land Development must be submitted to the Montgomery County Planning Commission (MCPC) for review. Costs associated with the County review are not included in the Township Fees. The County fee can be found on the current MCPC Act 247 Fee Schedule.

Zoning Hearing Board	
Variance, Special Exception, Enforcement Notice, and other Types of Zoning Appeals	
Residential	\$800.00 plus 1/2 Stenographer Fee*
Other Uses (Commercial, Industrial & Institutional)	\$1,700.00 plus 1/2 Stenographer Fee*
Request to Extend Hearing	stenographer fees, legal & advertising fees as invoiced to LPT
Request to Extend Decision	stenographer fees, legal & advertising fees as invoiced to LPT

Added to cover Township's Additional costs

Challenge to Validity of Ordinance and/or Map	\$6,500.00 plus 1/2 Stenographer Fee*
Curative Amendment	\$7,500.00 plus ½ Stenographer Fee*
Hearing Postponement Only	50% of Application Fee

Specific Types of Zoning Appeals

*The applicant must pay ½ of the stenographer's invoice following the initial meeting and for each subsequent meeting until the appeal

See Attached Third Party Consultant Fee Schedules.

LOWER PROVIDENCE TOWNSHIP Community Development

Description	Fee
Zoning Permit	
~Erection, construction, movement, placement, or expansion of a structure, building or sign ~Shed/Accessory Structures <1,000 sf ~Sign – new or change of existing monument sign ~Fence ~Patio ~New, change or expansion of use	\$75.00
Grading/Drainage	\$75.00 plus the cost of External Engineering Fees

See Attached Third Party Consultant Fee Schedules.

Miscellaneous Permits & Fees	
Residential Resale Certificate	\$100.00-intial & one follow-up inspection
Residential Resale Re-Inspections	\$50.00-all re-inspections beginning with third
Commercial – Resale Certificate ~Change of Ownership/Change of Tenancy	\$100.00 for minimum permit; \$200.00 for facility<10,000 sf; \$375.00 for facility≥10,000 sf
Contractor Registration: PA registered HIC	No Charge
Contractor Registration: ~Commercial & Residential New Construction	\$100.00 – annually renewable
Home-Based Business License	\$35.00 - annually renewable
Business License	\$150.00 – annually renewable
Business License Re-Inspection Fee	\$50.00 - Starting with Third Inspection
Occupant Load Calculation	\$250.00
Residential Alarm	\$25.00 – one-time fee
Yard Sale – Individual Sale	\$10.00 per day
Yard Sale – Group Sale (Multiple sites/houses)	\$15.00 per day
Special Event (For Profit Only)	\$125.00
Block Party Permit	\$50.00
Fireworks Permit	\$225.00
Emergency Responder Radio Coverage Test/Install Permit	1.5% of Job Cost
Missed Inspection Fee	\$25.00

Building Permits	
Residential	\$.40 per sf of area being added or altered; there is a \$99.00 minimum. Plus PA UCC fee**
Non-Residential	\$.67 per sf of area being added or altered; there is a \$99.00 minimum. Plus PA UCC fee**
Accessibility Permit	\$115.00 plus \$.07 per sf of floor area (or fraction thereof)
Swimming Pool	\$25.00 per \$1,000.00 (or fraction thereof) pool construction cost PLUS PA UCC Fee**; plus, engineering & legal fees as invoiced to LPT
Demolition	\$100.00 PLUS PA UCC Fee**
Additional Plan Review	~\$200.00 for ≤10,000 sf being added or altered ~\$375.00 for > 10,000 sf being added or altered
Re-Inspections	\$50.00 for each "Repeat" Inspection beginning with third
Working without a Permit	Double the cost of orginal permit

**An amount assessed per Commonwealth of PA Act 1 57 of 2006. Amount subject to change without notice ,but as of December 2020 - \$4.50

See Attached Third Party Consultant Fee Schedules.

LOWER PROVIDENCE TOWNSHIP Community Development

Description	Fee
Permits	
MECHANICAL PERMIT	
ELECTRICAL PERMIT	
SPRINKLER PERMIT	
PLUMBLING PERMIT	
COMMERCIAL ALARM	
Based on cost of construction (Fair-Market value)	
\$.50 - \$1,000.99	\$99.00 PLUS PA UCC Fee**
\$1,001.00 - \$2,500.99	\$132.00 PLUS PA UCC Fee**
\$2,501.00 - \$5,000.99	\$171.00 PLUS PA UCC Fee**
\$5,001.00 - \$7,500.99	\$259.00 PLUS PA UCC Fee**
\$7,501.00 - \$10,000.99	\$265.00 PLUS PA UCC Fee**
>\$10,000.99	\$265.00 plus \$19.00 per additional \$1,000.00 (or fraction thereof) PLUS PA UCC Fee**
Water and Service Lines	\$100.00 PLUS PA UCC Fee**

BUILDING CODE HEARING BOARD

~Building Code Appeals-Variance, Enforcement Notice, Etc.

Residential	\$500.00 plus ½ stenographer fee*
Other Uses (Commercial & Industrial)	\$1,750.00 plus 1/2 stenographer fee*
Hearing Postponement Only	50% of Application Fee

*The applicant must pay ½ of the stenographer's invoice following the initial meeting and for each subsequent meeting until the appeal of rezoning request is complete.

See Attached Third Party Consultant Fee Schedules.

LOWER PROVIDENCE TOWNSHIP Public Works

Description	Fee
Highway Occupancy Permits	
Non-Refundable Issuance Fee	\$50.00
Inspections	
50 linear ft. or less	\$50.00
Each additional 100 linear ft.	\$20.00
Street opening for utility (Connection / Repair)	\$50.00
Driveways/Sidewalks	
Driveway including curb cut	\$50.00
New curb or sidewalk	\$50.00
Repair existing sidewalk(up to 5 blocks)	\$50.00
Facilities	
Utility pole installation up to 4 poles	\$75.00
Each additional pole	\$20.00

Charges for Services	
Public Works Services – per employee	\$93.00 per hour

Equipment Rental/Sales		
Loader with Operator	\$173.00 per hour	
Backhoe with Operator	\$158.00 per hour	
Large Dump Truck with Operator	\$153.00 per hour	
Small Truck with Operator	\$120 per hour	
Large Tractor Mower with Operator	\$120.00 per hour	
Walk Behind Mower with Operator	\$100.00 per hour	
Riding Mower -Zero Turn with Operator	\$110 per hour	
Trimmer/Weedwhacker with Operator	\$100.00 per hour	
Air Compressor with Operator	\$110 per hour	
#40 Bag of Oil Dry	\$20.00 per bag	

LOWER PROVIDENCE TOWNSHIP Parks & Recreation

Description	Fee	
Lil' Perkiomy		
Three 2-week sessions (9:00am – 12:00noon)	Early Registration Savings Before April 1	After March 31
First Child	\$200.00	\$220.00
Additional Children in family	\$180.00	\$200.00
Non-Residents	\$230.00	\$230.00
Cancellation Fee – (No refunds after June 1st)	\$60.00	\$60.00
Camp Perkiomy		
6 weeks (8:00am – 4:00pm)	Early Registration Savings Before April 1	After March 31
First Child	\$900.00	\$970.00
Additional Children in family	\$875.00	\$945.00
Non-Residents	\$1,170.00	\$1,170.00
Extended Afternoon (Mon – Thurs/4:00pm-5:00pm	\$260.00	\$285.00
Counselor in Training	\$225.00	\$225.00
Cancellation Fee – (No refunds after June 1st)	\$60.00	\$60.00
Perkiomy Trail Blazers		
6 weeks (8:00am – 4:00pm)	Early Registration Savings Before April 1	After March 31
First Child	\$1,030.00	\$1,080.00
Additional Children in family	\$1,005.00	\$1,055.00
Non-Residents	\$1,320.00	\$1,320.00
Extended Afternoon (Mon – Thurs / 4:00pm – 5:00pm)	\$260.00	\$285.00
Cancellation Fee – (No refunds after June 1st)	\$60.00	\$60.00
Park Facilities*		
Pavilion Rental - \$100.00 Security Deposit required	Full Day	

Pavilion Rental - \$100.00 Security Deposit required	Full Day	
Residents	\$80.00	
Non-Residents	\$160.00	
Rain Dates (If canceled in advance \$10.00 is refunded)	\$20.00	
Ball Fields – \$500.00 Security Deposit required		
Community Organization ***		
Yearly maintenance Fee for Seasonal Users	\$500/Field/Year	
Residents**		
One Game/Practice (2 hours)	\$50.00	
Per Season (1 game/practice/week, 13 weeks)	\$275.00	
Per Season (2 games/practice/week, 13 weeks)	\$400.00	
Per Season (3 +games/practice/week, 13 weeks)	\$525.00	
Non-Residents		
One Game/Practice (2 hours)	\$100.00	
Per Season (1 game/practice/week, 13 weeks)	\$490.00	
Per Season (2 games/practice/week, 13 weeks)	\$880.00	
Per Season (3 +games/practice/week, 13 weeks)	\$1,270.00	

LOWER PROVIDENCE TOWNSHIP Parks & Recreation

Description	Fee	
Park Facilities* cont.		
Tennis/Pickleball/Bocce/Basketball		
Residents**	\$15.00/1 hours per court	
Non-Residents	\$25.00/1 hours per court	
Level Road Schoolhouse - \$100.00 Security Deposit		
Residents**	\$210.00 (4-6 hours)	
Non-Residents	\$260 (4-6 hours)	
Recreation Programs ***		
Programs Vary Per Season	See Program Schedule	
Early Registration Savings	See Attached explanation	
Cancellation Fee – Not to exceed \$60.00	50% of program fee up to 7 days before the start of program. Refunds less than 7 days prior to start of program subject to approval from P & R Director.	
Sales		
Walk of Honor	\$30.00 per brick	
Regal Movie Tickets	\$10.50	
Movie Tavern Tickets	\$9.50	
Additional Discount Tickets	Additional discount tickets maybe offered throughout the year through PRPS depending on availability. A commison set by PRPS will be paid to the Township for each ticket sold.	
Tree Donation		
Eastern Redbud	\$250.00	
Red or White Oak	\$350.00	

Red or White Oak	\$350.00
Dogwood (Rutgan Stellar Pink Only)	\$250.00
Sweet Bay Magnolia	\$300.00

Park Bench Donation

6' Park Bench

\$450.00 per bench

Early Registration Savings (ERS)

To help Lower Providence Township residents save on program offerings and to encourage early registrations, the Park & Recreation Department has implemented an Early Registration Savings fee. With the reduced fee, you will save an average of 10% just for registering early! To qualify for the ERS, all you need to do is live in Lower Providence Township and register more than 7 days before the start date of a program. Please note that the Camp Perkiomy ERS deadline is April 1.

Explanations for * / ** / ***

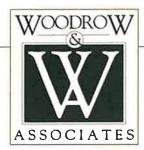
* Security Deposit is refundable upon completion of Township inspection. Failure to return keys (if applicable) will result in the forfeiture of the security deposit. Allow up to 30 days for refund. Community Organizations exempt.

** To obtain the resident fee, 50% or more of roster must be Lower Providence Township Residents.

*** To be considered a Community Organization the group must be a non-profit that makes a contribution equal or greater than the fee for each season (e.g.: makes approved repairs and/or improvements to facility, seeds & fertilizes fields, etc.).

Recreation Programs****

****All fees for Recreation Programs, Trips, and Special Events will be provided in the Parks & Recreation Program Brochure and on the Parks & Recreation website.



December 6, 2023

E.J. Mentry, Manager Lower Providence Township 100 Parklane Drive Eagleville, PA 19403

Reference: Township Engineering Position

Dear Ms. Walsh:

I would like to thank you and the Township for continuing to allow our firm to serve as the Township Engineers. I have enjoyed working with Lower Providence Township, and it continues to be a pleasure to collaborate with such a supportive group of professionals.

We would welcome the opportunity to serve you again in the upcoming 2024 year. Below is our suggested 2024 fee schedule.

Principal of firm Landscape/Lighting Review Surveyor Senior Engineer Project Engineer Drafts Person Designer Field Survey Crew (2 man) Administrative Assistant

Please let us know if you have any questions.

Sincerely

Timothy P. Woodrow, P.E. President Woodrow & Associates, Inc.

TPW/del

\$115.00 / Hr. \$112.50 / Hr. \$107.00 / Hr. \$102.00/ Hr. \$100.00 / Hr. \$ 90.00 / Hr. \$190.00 / Hr. \$ 54.00 / Hr.



Edward Rudolph Michael P. Clarke Peter C. Amuso Michael L. Barbiero* Lauren A. Gallagher* Alexander M. Glassman*

Barbara R. Merlie Leslie Pregel DiNapoli Kenneth Ferris Gregory R. Heleniak* Nicole L.M. Feight Patrick F. Seymour* Derek A. Keightly Samantha L. Newell Harrison E. Fonteix Shaina P. Bethala Ryan C. Thomas

*Member of PA & NJ Bars

OF COUNSEL: Matthew D. Bradford Steven J. Santarsiero Benjamin V. Sanchez* Maria Collett Joseph W. Pizzo Stephen G. Pollock

RUDOLPH CLARKE, LLC

Seven Neshaminy Interplex Suite 200 Trevose, PA 19053 Phone 215-633-1890 Fax 215-633-1830

www.rudolphclarke.com e-mail: mclarke@rudolphclarke.com

Please respond to: Trevose

Montgomery County Office 350 Sentry Parkway East Building 630, Suite 110A Blue Bell, PA 19422 Phone 484-368-3808 Fax 215-633-1830

Delaware County Office 10 Beatty Road, Suite 102 Media, PA 19063 By appointment only Phone 215-633-1890 Fax 215-633-1830

Chester County Office 101 Lindenwood Drive, Ste 225 Malvern, PA 19355 By appointment only Phone 215-633-1890 Fax 215-633-1830

Burlington County Office 10000 Lincoln Drive East 1 Greentree Center, Ste 201 Marlton, NJ 08053 By appointment only Phone 215-633-1890 Fax 215-633-1830

December 13, 2023

Board of Supervisors Lower Providence Township 100 Parklane Drive Eagleville, PA 19403

RE: Solicitorship

Dear Board Members:

I am writing at this time to request that the Board consider re-appointing our Firm as the Solicitor for Lower Providence Township at the following hourly rates by category, as submitted to the Township on January 12, 2022, effective January 1, 2024:

Hourly Fee	2024
165	General Municipal Law
180	Litigation
190	Real Estate / Land Use Matter
165	Research
165	Right to Know
165	Admin
165	Other

Board of Supervisors Lower Providence Township December 13, 2023 Page 2

All work performed by paralegals will be billed at the current rate of \$125.00 per hour effective January 1, 2024.

We have enjoyed the opportunity to serve the Board and the Township for the past two years and we look forward to continuing our representation of the Township.

If you should have any questions, please do not hesitate to contact me at your convenience.

Thank you for your kind consideration.

Very truly yours,

Apales & Cale

Michael P. Clarke

MPC/ec

cc: E. J. Mentry, Manager



THOMAS COMITTA ASSOCIATES, INC. Town Planners & Landscape Architects

2024 FEE SCHEDULE

January 2, 2024

The following hourly rates will apply during 2024:

- Thomas J. Comitta, AICP, CNU-A, RLA, President Certified Planner, Town Planner, Registered Landscape Architect \$195.00/hour
- Erin L. Gross, AICP, RLA Certified Planner, Registered Landscape Architect \$150.00/hour
- Daniel B. Mallach, RLA, AICP, CPRP Registered Landscape Architect, Certified Planner, ISA Certified Arborist PD-2782A, Certified Park and Recreation Professional \$155.00/hour
- Jennifer Leister Reitz, AICP, LEED AP Certified Planner \$160.00/hour
- Project Clerk \$90.00/hour
- Notes: In addition to the fees, expenses will be charged at cost for items such as mileage, copies, postage, telephone, telefax, prints, and the like. (Based on 2023 records, the expenses on various assignments were approximately 3%.)



McMahon, a Bowman Company

Hourly Rates

2024

CLASSIFICATION	HOURLY RATES
Principal/Branch Manager/Service Leader	\$220.00/HR
Senior Project Manager	\$205.00/HR
Survey Manager/Senior Technical Lead	\$195.00/HR
Project Manager/Technical Lead II	\$180.00/HR
Assistant Project Manager/Technical Lead I	\$165.00/HR
Senior Project Engineer/Senior Survey Technician	\$150.00/HR
Project Engineer	\$140.00/HR
Survey Party Chief	\$135.00/HR
Staff Engineer/Inspector	\$115.00/HR
Senior Technician/Survey Technician/Drone Pilot	\$105.00/HR
Technician/Admin/Survey Technician	\$ 95.00/HR
Field Personnel	\$ 65.00/HR

SERVICES

McMahon, a Bowman Company reserves the right to make adjustments for individuals within these classifications as may be desirable in its opinion by reason of promotion, demotion, or change in wage rates. Such adjustments will be limited to the manner in which charges are computed and billed and will not, unless so stated in writing, affect other terms of an agreement, such as estimated total cost. The following rates will apply to actual time devoted by McMahon, a Bowman Company staff to this project computed to the nearest quarter hour.

TERMS

1. Invoices – McMahon, a Bowman Company will invoice Client monthly or more frequently based on percentage of completion or actual hours, plus expenses. Payment is due to McMahon, a Bowman Company within 30 days of the invoice date. Unpaid balances beyond 30 days are subject to interest at the rate of 1.5% per month. This is an annual percentage rate of 18%.

2. Confidentiality – Technical and pricing information in this proposal is the confidential and proprietary property of McMahon, a Bowman Company and is not to be disclosed or made available to third parties without the written consent of McMahon, a Bowman Company.

3. Commitments – Fee and schedule commitments will be subject to renegotiation for delays caused by the client's failure to provide specified facilities or information, or any other unpredictable occurrences.

4. Expenses – Traffic data collection equipment usage will be billed at \$50.00 per 24-hour count. Drone equipment usage, inclusive of insurance costs, will be billed at \$250/day, or portion of a day. Incidental expenses are reimbursable at cost. These include reproduction, postage, graphics, reimbursement of automobile usage at the IRS-approved rate, parking and tolls. Expenses which by company policy are not billed as reimbursable expenses to clients and therefore, will not be billed as part of this contract include the following: air travel, rental car, lodging, meals, and long-distance phone charges between McMahon, a Bowman Company offices. If it becomes necessary during the course of this project to travel elsewhere, those travel costs will be treated as reimbursable expenses. These expenses will be reflected in the monthly invoices.

5. Attorney's Fees – In connection with any litigation arising from the terms of this agreement, the prevailing party shall be entitled to all costs including reasonable attorney's fees at both the trial and appellate levels.

6. Ownership and Use of Documents – All original drawings and information are to remain the property of McMahon, a Bowman Company. The client will be provided with copies of final drawings and/or reports for information and reference purposes.

7. Insurance –McMahon, a Bowman Company will maintain at its own expense Workman's Compensation Insurance, Comprehensive General Liability Insurance and Professional Liability Insurance and, upon request, will furnish the client a certificate to verify same.

8. Termination – This agreement may be terminated by the authorized representative effective immediately on receipt of written notice. Payment will be due for services rendered through the date written notice is received.

9. Binding Status – The client and McMahon, a Bowman Company bind themselves, their partners, successors, assigns, heirs, and/or legal representatives to the other party to this Agreement, and to the partners, successors, assigns and legal representatives of such other party with respect to all covenants of this Contract.

Initials: McMahon, a Bowman Company ____ / Client ____



100 Parklane Drive • Eagleville, PA 19403 • www.lowerprovidence.org Administration: 610 539-8020 • Fax: 610 539-6347 Police: 610-539-5901 • Fax: 610-630-2219



Additional Township Consultants

Zoning Hearing Solicitor Services:

Miller Turetsky Rule & McLennan:

Hourly Rate - \$150.00 Litigation Rate- \$175.00



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LOWER PROVIDENCE TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA RESOLUTION NO. 2024-17

A RESOLUTION OF THE LOWER PROVIDENCE TOWNHIP BOARD OF SUPERVISORS AUTHORIZING THE APPROPRIATE TOWNSHIP OFFICIALS TO AFFIX SIGNATURES ON CHECKS

WHEREAS, the Board of Supervisors of Lower Providence Township, County of Montgomery, Pennsylvania, has resolved to select TD Bank N.A., TD Ameritrade Institutional, Pennsylvania Local Government Investment Trust as those Institutions to be utilized by the Township for purpose of depositing Township funds;

NOW, THEREFORE, BE IT RESOLVED, by the Board of Supervisors of Lower Providence Township that the Financial Institutions named above, at any one or more of its offices or branches is hereby designated as a Financial Institution of and depository for the funds of this Governmental Entity, which may be withdrawn on checks, drafts, advices of debit, notes or other orders for the payment of monies (including electronic orders) bearing the signature of at least one (1) Township Employee and at least one (1) elected Township Supervisor, or two (2) elected Township Supervisors, who are listed below:

Name	Title		
Dr. Janine Darby	Supervisor		
Sarah Charles	Supervisor		
Terri Neufeglise	Supervisor		
Peter MacFarland	Supervisor		
Gary Neights	Supervisor		
E.J. Mentry	Township Manager/Secretary/Treasurer		
Paul Donnelly	Assistant Township Manager/Secretary/Treasurer		

RESOLVED and **ADOPTED** this 21st day of March 2024.

LOWER PROVIDENCE TOWNSHIP BOARD OF SUPERVISORS

Attest:

Secretary





100 Parklane Drive • Eagleville, PA 19403 • www.lowerprovidence.org

Administration: 610 539-8020 • Fax: 610 539-6347

Police: 610-539-5900 • Fax: 610-630-2219

LOWER PROVIDENCE TOWNSHIP INTER-OFFICE MEMORANDUM

- TO: Members of the Board of Supervisors; E.J. Mentry, Township Manager
- FROM: Mike Mrozinski, Director of Community Development

DATE: March 13, 2024

RE: Lauren and Dominic Cerminara-3524 Ridge - Fence Waiver Request

For your consideration is a request from Lauren and Dominic Cerminara-3524 Ridge, for a waiver pursuant to Chapter 81-1.D to permit the installation of a six foot high solid style fence, which extends into the frontage. This is a through lot. Please refer to the attached request letter for other details.



NOT APPROVED

Fences yards mu higher th tall and o design

8:32 🛈 C 🞯

Q

Fences within front yards must be no higher that 5 feet tall and of open design

> Chicken coops are not permitted in front yards and must meet the setbacks of the preimary structure

Fence 7ft tall can be laced in front of Lore behind, 36"featers

51%

February 26, 2024

Lauren and Dominic Cerminara 3524 Ridge Pike Collegeville, PA 19426

Dear Honorable Members of the Zoning Board of Appeals, Board of Supervisors

We are reaching out with a heartfelt plea to address a pressing safety concern that affects not only our family's sense of security but also the overall well-being of our community. Residing at 3524 Ridge Pike since September 2022, we have found ourselves in a unique situation that has prompted us to seek an exception to the fencing regulations stipulated under Chapter 143, regarding the height and design of backyard fences on properties with reversed frontage lots.

We respectfully request permission to install a 6-foot, solid vinyl fence around the back perimeter of our property. The current regulation, which limits fences to a maximum height of five feet with openings of no less than four inches, presents a significant safety concern for us, particularly due to the unexpected and frequent passage of unfamiliar individuals through our vard at various times.

This unusual foot traffic has not only heightened our anxiety for personal safety but has also raised serious concerns about the well-being of our small, 5-year-old dog, Remo. The open design of the currently permissible fence offers little deterrent to his wandering and provides inadequate protection from larger animals in the neighborhood, posing a constant threat to his safety.

Our request is driven by a deep commitment to ensuring the safety and security of our family and beloved pet. It is not merely a preference for privacy but a fundamental need to create a safe haven where the fear of intrusion or potential harm is significantly mitigated. The proposed 6-foot, solid vinyl fence is crucial in achieving this peace of mind, offering a barrier that secures our property against unwelcome access and creates a safe enclosure for Remo.

In our efforts to be considerate and communicative neighbors, we have engaged in discussions with our adjoining residents, who have expressed understanding and support for our situation.

Moreover, we have made a special effort to reach out to our deaf neighbor behind us, ensuring that our intentions are clear and that we maintain the harmonious and supportive spirit of our community.

We implore the Board to consider the unique circumstances that compel our appeal, recognizing that our request is not merely for aesthetic or conventional reasons but is deeply rooted in genuine safety concerns. We are fully committed to adhering to all other zoning and aesthetic guidelines to ensure that our fence is both a protective measure for our family and a visually pleasing addition to our neighborhood.

Should there be any further information needed or if a discussion would be beneficial, we are more than willing to provide whatever is necessary. Please feel free to contact us at

We sincerely thank you for considering our appeal and for your commitment to the safety and well-being of our community. We are hopeful for a favorable response that will allow us to secure our home and live with the peace of mind everyone deserves.

With deepest respect,

Joven Lem

Lauren and Dominic Cerminara



GERMANTOWN PIKE & EVANSBURG ROAD TRAFFIC SIGNAL IMPROVEMENT PROJECT

At

Germantown Pike and Evansburg Road (S.R. 4008)

within

Lower Providence Township, Montgomery County, PA

PROJECT NARRATIVE

This Montgomery County Transportation Program (CTP) project involves improvements to the existing signalized intersection of Germantown Pike and Evansburg Road (S.R. 4008). Improvements at this location will include the installation of pedestrian crossing restriction signs for the southbound Evansburg Road approach, installation of a westbound left-turn phase for the Germantown Pike approach, new countdown pedestrian signal indications and new ADA-compliant push buttons for existing curb ramp crossings, and installation of radar detection for Germantown Pike approaches and vehicular video detection for Evansburg Road approaches within Lower Providence Township, as detailed below and as summarized on the traffic signal construction plans:

Base Bid:

1. Germantown Pike and Evansburg Road (S.R. 4008) – Installation of no pedestrian crossing signs, westbound left-turn phase, new pedestrian push buttons, new pedestrian countdown signal indications and vehicular video and radar detection.

Bid documentation includes:

- Traffic Signal permit plan

- Traffic Signal construction plan

along with specifications enclosed herein. Bidding of the project will be done through PennBID.



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MEMORANDUM

TO:	E.J. Mentry, Township Manager	
FROM:	Rich Lafiata, Finance Director	
DATE:	3/12/2024	
SUBJECT:	Authorization to Advertise an Ordinance	

At the March 21, 2024, Board of Supervisors meeting, the Board will be presented with an action item to authorize the advertisement of an Ordinance that amends the Defined Contribution Plan for Full-Time, Non-Uniformed Employees. As a part of the American Federation of State and County Employees (AFSCME) contract negotiations, the Township and AFSCME came to the agreement that the Township would increase current contributions from 9% of gross wages to:

	2024-2025	2026-2027	2028
Percent of Gross Wages:	10%	10.50%	11%

The purpose of the Ordinance is to update the current Defined Contribution Plan Document that the Township offers to AFCME employees as well as other non-union employees to reflect the Township's new contribution rates. All plan changes must be amended via an Ordinance. After the advertisement period is complete, the Township Supervisors will then be asked to adopt the Ordinance and also be presented with the Township's revised 2024 Minimum Municipal Obligation (MMO) at the April 18, 2024 Board of Supervisors meeting.

It is important to note that although the Township's MMO has been increased to 10% of gross wages, the Township's 2024 budget needs no adjustment, as this was accounted for in the 2024 budget.

ORDINANCE NO. _____ LOWER PROVIDENCE TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA

AN ORDINANCE OF LOWER PROVIDENCE TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA AMENDING ITS EXISTING DEFINED CONTRIBUTION PLAN FOR FULL-TIME, NON-UNIFORMED EMPLOYEES

WHEREAS, Lower Providence Township ("Township") maintains an existing Defined Contribution Plan for full-time non-uniformed employees not participating in the Township's defined benefit pension plan; and

WHEREAS, the Township has agreed to increase the Employer contributions to the Defined Contribution Plan; and

WHEREAS, changes to the Plan must be adopted by Ordinance amendment; and

WHEREAS, the Township now wishes to adopt the necessary amendment.

BE IT ORDAINED AND ENACTED, by the Board of Supervisors of the Lower Providence Township and it is HEREBY ORDAINED AND ENACTED by the authority of the same:

The Plan is hereby amended effective January 1, 2024 (except as otherwise indicated) as follows:

Section VI., A. (Employer Contributions) is replaced with the following provisions:

A. <u>EMPLOYER CONTRIBUTIONS</u>

The Employer shall contribute on behalf of each Participant 10% of Earnings for Plan Years 2024 and 2025, 10.5% of Earnings for Plan Years 2026 and 2027, and 11% of Earnings for 2028 and later Plan Years.

Mandatory Participant Contributions are not required to be eligible for this Employer Contribution.

ORDAINED AND ENACTED into law this _____ day of _____, 2024.

ATTEST:

LOWER PROVIDENCE TOWNSHIP BOARD OF SUPERVISORS

E.J. Mentry, Secretary

Dr. Janine Darby, Chair

APPROVED as to form this _____ day of _____ 2024

Township Solicitor